



Attn: Ottawa Trim and Door Inc. (C/O Tony Faranda)
7660 Mansfield Rd,
Stittsville, ON K2S 1B8

Committee of Adjustment
Received | Reçu le

2025-03-11

City of Ottawa | Ville d'Ottawa
Comité de dérogation

Re: 7660 Mansfield Rd- Severance Application

As requested by the property owner, Ottawa Trim and Door Inc. (C/O Tony Faranda) , Minimum Distance Separation (MDS) calculations were completed to assess the required setbacks from existing livestock barns and manure storage for primary and secondary severance applications.

As per Section 62, (2) of Ottawa Zoning By-Law (2008-250, as amended) and policy 2.6 (5) of the Provincial Policy Statement (2024) MDS calculations are required to support rural severance applications.

A total of four properties were identified as being within 750m of the subject property and containing evidence of a livestock barn and/or manure storage areas. Two of these properties showed active evidence of livestock. The remaining two properties were evaluated as unoccupied livestock barns as per Guideline 20. The method of information collection consisted of historical aerial imagery, Google streetview imagery, business websites, and information provided by the client.

The information was logged, calculated, and setbacks were generated using Agrisuite by the Ontario Ministry of Agriculture, Food, and Rural Affairs (OMAFRA). The following pages contain the reports generated for each property including the required MDS setbacks and the actual setbacks between the barns in question and the subject property. The appendix document contains current aerial imagery, required setbacks, and provided setbacks for each property. The proposed severances conform to all required MDS setbacks.

If you have any questions, do not hesitate to contact our office.

A handwritten signature in black ink, appearing to read 'Jasmine Paoloni'.

Jasmine Paoloni, B.A.S, LEED® Green Associate™
P-Squared Concepts Inc
2200 Thurston Dr, Unit 203,
Ottawa, ON K1G 6E1

Minimum Distance Separation Calculations
 7660 Mansfield, Stittsville
 Severance Application

March 4th, 2025



2464 Munster Rd

Farm contact information ⓘ

ON

Location of existing livestock facility or anaerobic digester

City of Ottawa
 City of Ottawa
 GOULBOURN
 Concession 7 , Lot 10
 Roll number: 0614

Total lot size

36 ac

Livestock/manure summary

Manure Form	Type of livestock/manure	Existing maximum number	Existing maximum number (NU)	Estimated livestock barn area ⓘ
Solid	Horses, Medium-framed, mature; 227 - 680 kg (including unweaned offspring)	6	6 NU	1500 ft²

⚠ Confirm Livestock/Manure Information (2464 Munster Rd)
 The livestock/manure information has not been confirmed with the property owner and/or farm operator.

Setback summary

Existing manure storage	No storage required (manure is stored for less than 14 days)		
Design capacity	6 NU		
Potential design capacity	12 NU ⓘ		
Factor A (odour potential) 0.7 ⓘ	Factor B (design capacity) 173.33 ⓘ		
Factor D (manure type) 0.7 ⓘ	Factor E (encroaching land use) 1.1 ⓘ		

Building base distance 'F' (A x B x D x E) (minimum distance from livestock barn)	94 m (308 ft) ⓘ	Actual distance from livestock barn	582 m (1909 ft)
Storage base distance 'S' (minimum distance from manure storage)	No existing manure storage	Actual distance from manure storage	NA

Minimum Distance Separation Calculations
 7660 Mansfield, Stittsville
 Severance Application

March 4th, 2025



2535 Munster Rd

Farm contact information		Location of existing livestock facility or anaerobic digester	Total lot size	
ON		City of Ottawa City of Ottawa GOULBOURN Concession 7, Lot 11 Roll number: 0614	173 ac	
Livestock/manure summary				
Manure Form	Type of livestock/manure	Existing maximum number	Existing maximum number (NU)	Estimated livestock barn area
Liquid	Dairy, Heifers Medium Frame (148 - 455 kg) (eg. Guernseys), Free Stall	8	3.3 NU	480 ft ²
Liquid	Dairy, Milking-age Cows (dry or milking) Medium Frame (455 - 545 kg) (eg. Guernseys), Tie Stall	4	4.7 NU	360 ft ²
Confirm Livestock/Manure Information (2535 Munster Rd) The livestock/manure information has not been confirmed with the property owner and/or farm operator.				
Setback summary				
Existing manure storage	No storage required (manure is stored for less than 14 days)			
Design capacity	8 NU			
Potential design capacity	16.1 NU			
Factor A (odour potential)	0.7	Factor B (design capacity)	186.93	
Factor D (manure type)	0.8	Factor E (encroaching land use)	1.1	
Building base distance 'F' (A x B x D x E) (minimum distance from livestock barn)	116 m (381 ft)	Actual distance from livestock barn	360 m (1181 ft)	
Storage base distance 'S' (minimum distance from manure storage)	No existing manure storage	Actual distance from manure storage	NA	

Minimum Distance Separation Calculations
 7660 Mansfield, Stittsville
 Severance Application

March 4th, 2025



7535 Mansfield

Farm contact information ⓘ	Location of existing livestock facility or anaerobic digester	Total lot size
ON	City of Ottawa City of Ottawa GOULBOURN Concession 7, Lot 12 Roll number: 0614	22.24 ac

Livestock/manure summary

Manure Form	Type of livestock/manure	Existing maximum number	Existing maximum number (NU)	Estimated livestock barn area ⓘ
Solid	Unoccupied Livestock Barn	4958 ft²	23 NU	4958 ft²

⚠ Confirm Livestock/Manure Information (7535 Mansfield)
 The livestock/manure information has not been confirmed with the property owner and/or farm operator.

⚠ Unoccupied Barn or Unused Storage (7535 Mansfield)
 The calculated setback is based on assumptions for an unoccupied barn or unused storage that may not reflect the actual design capacity.

Setback summary

Existing manure storage	No storage required (manure is stored for less than 14 days)		
Design capacity	23 NU		
Potential design capacity	46.1 NU ⓘ		
Factor A (odour potential) 1 ⓘ	Factor B (design capacity) 252.12 ⓘ		
Factor D (manure type) 0.7 ⓘ	Factor E (encroaching land use) 1.1 ⓘ		

Building base distance 'F' (A x B x D x E) (minimum distance from livestock barn)	195 m (640 ft) ⓘ	Actual distance from livestock barn	630 m (2066 ft)
Storage base distance 'S' (minimum distance from manure storage)	No existing manure storage	Actual distance from manure storage	NA

Minimum Distance Separation Calculations
7660 Mansfield, Stittsville
Severance Application

March 4th, 2025



7542 Mansfield

Farm contact information

ON

Location of existing livestock facility or anaerobic digester

City of Ottawa
City of Ottawa
GOULBOURN
Concession 6 , Lot 12
Roll number: 0614

Total lot size

97.7 ac

Livestock/manure summary

Manure Form	Type of livestock/manure	Existing maximum number	Existing maximum number (NU)	Estimated livestock barn area
Solid	Unoccupied Livestock Barn	5233 ft²	24.3 NU	5233 ft²

Confirm Livestock/Manure Information (7542 Mansfield)
The livestock/manure information has not been confirmed with the property owner and/or farm operator.

Unoccupied Barn or Unused Storage (7542 Mansfield)
The calculated setback is based on assumptions for an unoccupied barn or unused storage that may not reflect the actual design capacity.

Setback summary

Existing manure storage	No storage required (manure is stored for less than 14 days)
Design capacity	24.3 NU
Potential design capacity	48.6 NU

Factor A (odour potential) 1

Factor B (design capacity) 257.24

Factor D (manure type) 0.7

Factor E (encroaching land use) 1.1

Building base distance 'F' (A x B x D x E)
(minimum distance from livestock barn)

199 m (653 ft)

Actual distance from livestock barn

444 m (1456 ft)

Storage base distance 'S'
(minimum distance from manure storage)

No existing manure storage

Actual distance from manure storage

NA



7660 Mansfield

General information

Application date
Feb 18, 2025

Municipal file number

Proposed application

Lot creation for a maximum of three non-agricultural use lots

Applicant contact information

Tony Faranda
7660 Mansfield Rd
Ottawa, ON
K2S 1B8
613-223-4036
tonyfaranda@rogers.com

Location of subject lands

City of Ottawa
City of Ottawa
GOULBOURN
Concession 6, Lot 12
Roll number: 0614271815233000000

Preparer signoff & disclaimer

Preparer contact information

Yasaman Bahadori
P-SQUARED CONCEPTS INC.
2200 Thurston Drive
Unit 203
Ottawa, ON
K1G 6E1
613-695-0192
planning@p2concepts.ca

Signature of preparer

Yasaman Bahadori

2025-02-28

Yasaman Bahadori, Planner

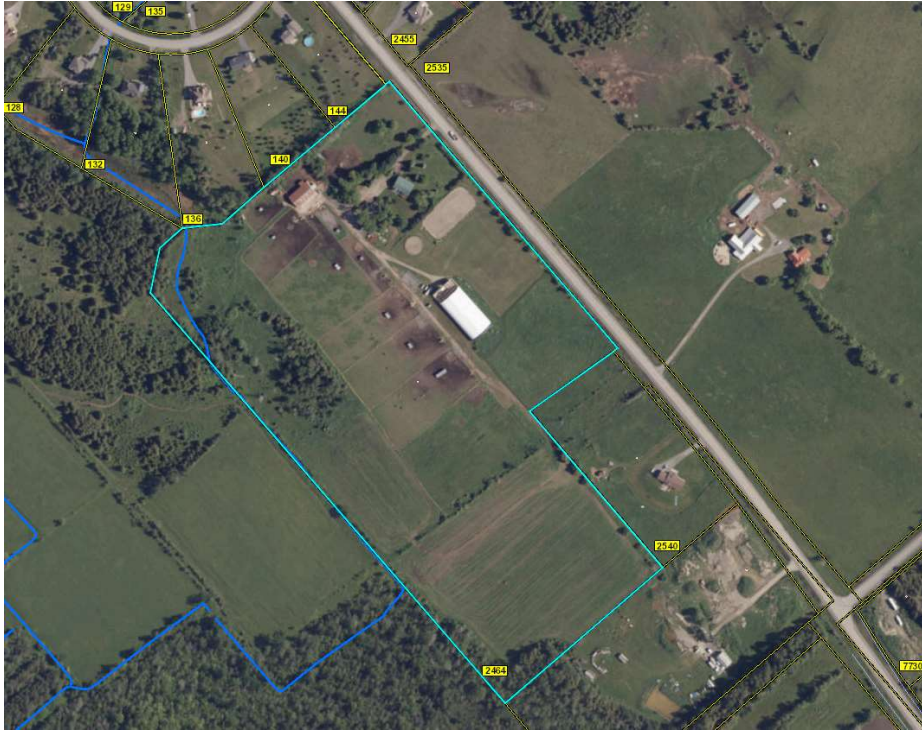
Date (mmm-dd-yyyy)



APPENDIX A

Aerial imagery, required setbacks, provided setbacks

➤ **2464 Munster Rd**



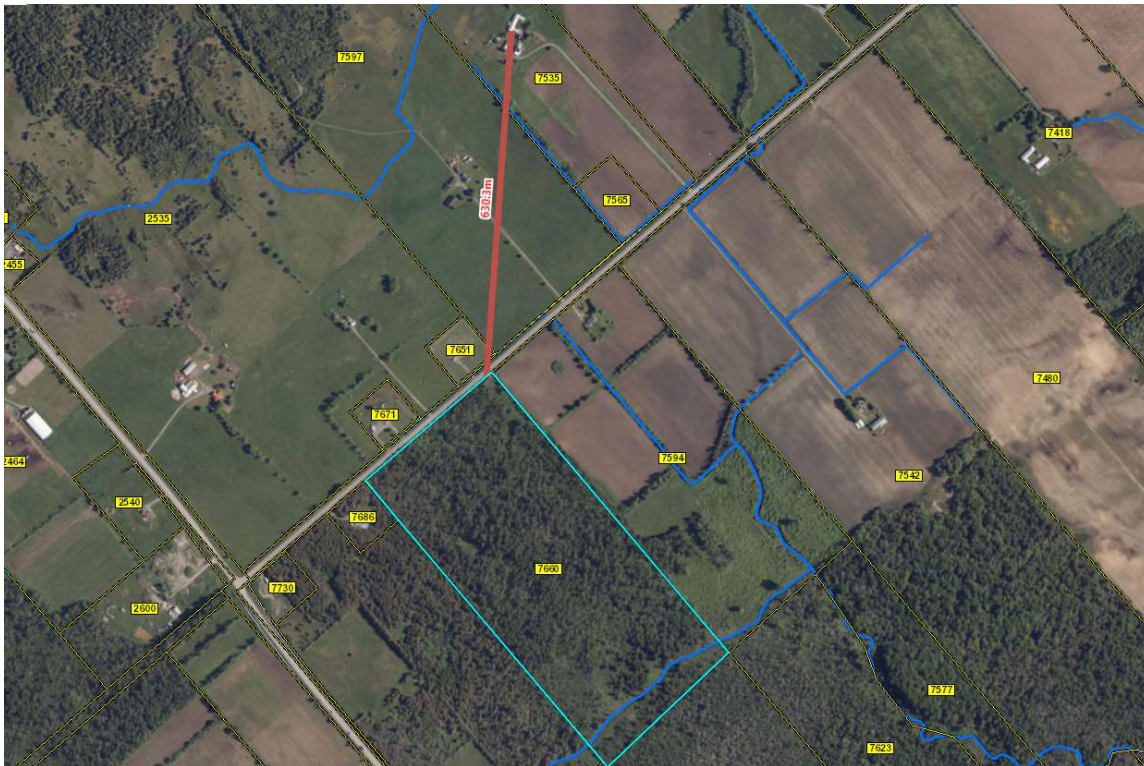
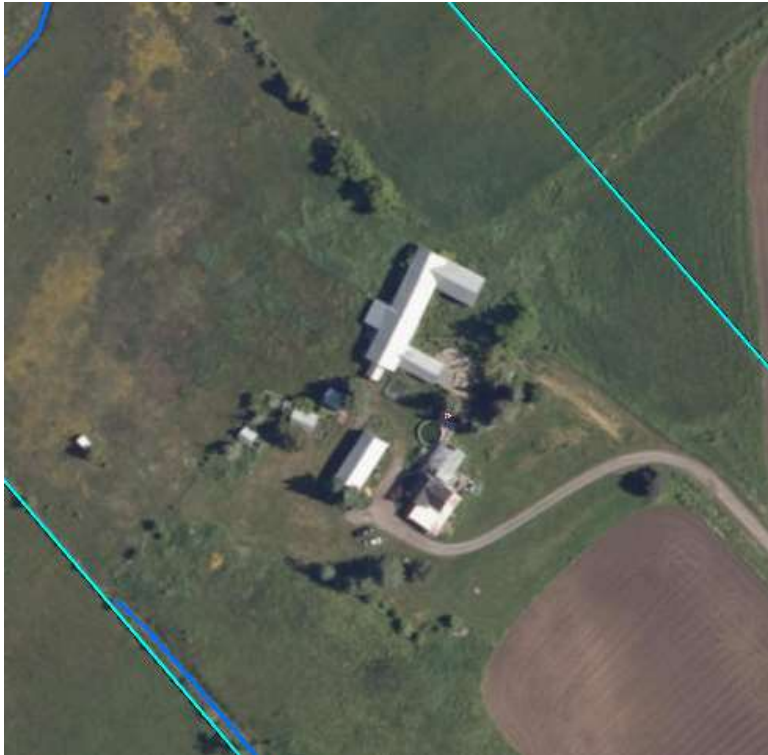
Required minimum distance: 94 m
Provided Setback: 582 m

➤ 2535 Munster Rd



Required minimum distance: 116 m
Provided Setback: 360 m

➤ 7535 Mansfield Rd



Required minimum distance: 195 m
Provided Setback: 630 m

➤ 7542 Mansfield



Required minimum distance: 199 m
Provided Setback: 444 m