

SURVEYOR'S REAL PROPERTY REPORT

PART 1 Plan of  
LOT 544  
REGISTERED PLAN 352  
CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Scale 1 : 150  
6 4.5 3.0 1.5 0 3 6 Metres

Metric  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate

I CERTIFY THAT:  
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.  
2. The survey was completed on the 28th day of June, 2024.

July 18, 2024  
Date

V. Andrew Shelp  
Ontario Land Surveyor

PART 2  
THIS PLAN MUST BE READ IN CONJUNCTION WITH  
SURVEY REPORT DATED: JULY 18, 2024

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to  
Landric Homes (The Client), their solicitors,  
mortgagees, and other related parties, permission to use original, signed, sealed  
copies of the Surveyor's Real Property Report in transactions involving The Client.

Notes & Legend

Denotes	
—	Survey Monument Planted
—	Survey Monument Found
SIB	Standard Iron Bar
SSIB	Short Standard Iron Bar
IB	Iron Bar
IB#	Round Iron Bar
IP	Iron Pipe
(WIT)	Witness
Meas.	Measured
(AOG)	Annis, O'Sullivan, Vollebakk Ltd.
(P1)	Registered Plan 352
(P2)	Plan 4R-18462
(P3)	Plan 5R-7566
(P4)	Plan 5R-11881
(P5)	(AOG) Plan April 26, 1985
(P6)	(AOG) Plan July 15, 2021
(N1)	(632) Field Notes August 24, 1955
(N2)	(AOG) Field Notes December 13, 1982 (Ref. 352-4)
○ FH	Fire Hydrant
○ MH	Maintenance Hole (Unidentified)
○ GV	Gas Valve
— OHW	Overhead Wires
□ CB	Catch Basin
□	Gas Meter
CLF	Chain Link Fence
BF	Board Fence
Fdn.	Foundation
U/S	Underside
□ AC	Air Conditioner
—	Location of Elevations
—	Top of Concrete Curb / Wall Elevations
C/L	Centreline
—	Property Line
T/G	Top of Grate
Inv.	Invert
○	Deciduous Tree
○ W	Water Valve
WRW	Wooden Retaining Wall

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS  
observations and are referenced to MTM Zone 9 (76°30' West Longitude)  
NAD-83 (original).

For comparison purposes, bearings shown on Plans P2, P3, P4 are  
astronomic bearings.

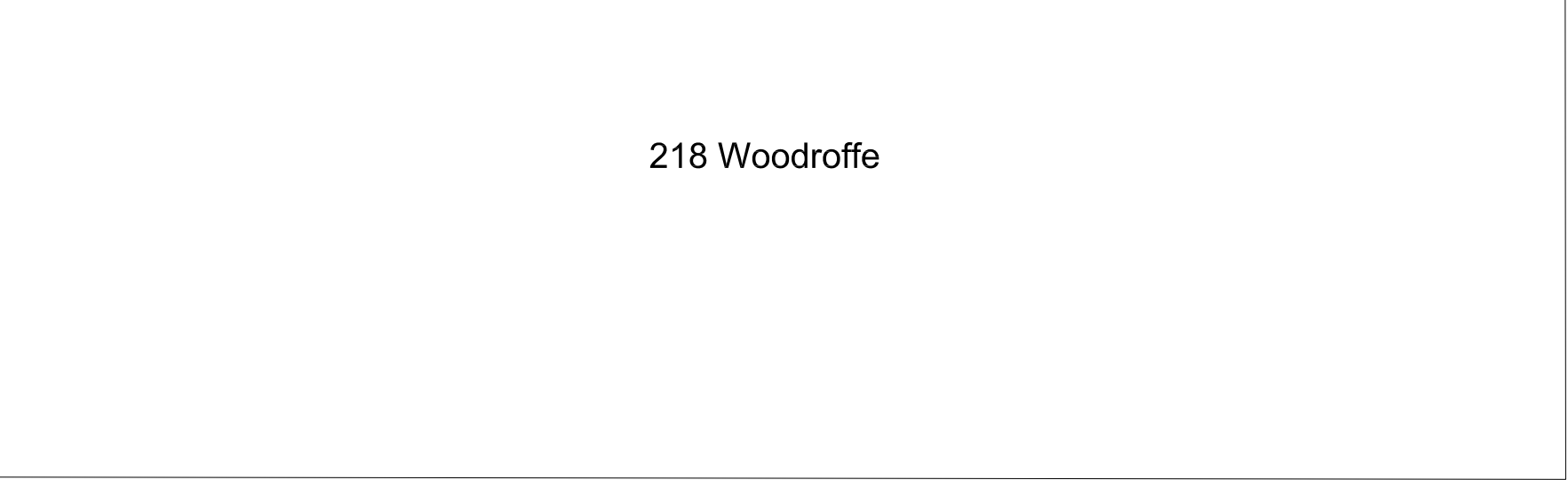
ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
V-84230

THIS PLAN IS NOT VALID UNLESS  
IT IS AN ENCLOSED ORIGINAL  
COPY ISSUED BY THE SURVEYOR  
In accordance with  
Regulation 1026, Section 29 (3).

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Job No. 2083-21 Landric LI 544 PL 352 T P2



zoning/mechanism	required	proposed	notes
Minimum lot width	22.00 m	15.25 m	variance required
Minimum lot area	660.00 m <sup>2</sup>	464.13 m <sup>2</sup>	variance required
Maximum building height	11.00 m	10.96 m	
Minimum front yard setback	6.00 m	4.89 m	variance required
Minimum rear yard setback	8.54 m	8.54 m	(30.49 m x 0.28)
28% of lot depth			
Minimum interior side yard setback	1.50 / 6.00 m	1.50 / 1.50 m	variance required for the last 0.95 m
1.5 m within 2.1 m from front prop. line, 6 m otherwise			
Minimum no. of bike parking spaces	4.00	8.00	
Mn. habitable floor area (main floor)	40.00 m <sup>2</sup>	36.40 m <sup>2</sup>	variance required
Mn. habitable floor area (second floor)	40.00 m <sup>2</sup>	41.90 m <sup>2</sup>	
Mn. % front yard soft landscaping	40.00	57.64	
Mn. % rear yard soft landscaping	15.00	57.16	
Mn. rear yard area	116.03 m <sup>2</sup>	129.98 m <sup>2</sup>	



Committee of Adjustment  
Received | Reçu le  
Revised | Modifié le : 2025-04-04  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

Client :  
Landric Homes  
63 Chemin du Montclair E.,  
Gatineau, QC J8M 1K3  
613-216-3413

Mechanical + Electrical Engineer :  
QM&E Engineering Ltd.  
9 Gurdwara Road, suite 200,  
Ottawa, ON K2E 7X6  
613-366-4763

Structural Engineer :  
Goodeve Structural Inc.  
77 Auriga Drive,  
Nepean, ON K2E 7Z7  
613-226-4558

Planner :  
P H Robinson Consulting  
100 Palomino Drive,  
Ottawa, ON K2M 1N3  
613-599-9216

08	Issued for minor variance application revision	03 April 2025
07	Issued for minor variance application	23 Jan. 2025
06	Issued for building permit	29 Dec. 2024
05	Issued for final review	17 Dec. 2024
04	Issued for planning consultant review	03 Sep. 2024
03	Issued for team coordination	22 July 2024
rev. / issue	description	date MM/DD/YY

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECTS' GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND PROMPTLY REPORT ALL ERRORS AND/OR OMISSIONS TO THE CONSULTANT BEFORE WORK COMMENCES.

ALL WORK IS TO FOLLOW THE OBC 2012 AND ANY OTHER APPLICABLE CODES AND REGULATIONS.

DO NOT SCALE DRAWINGS.

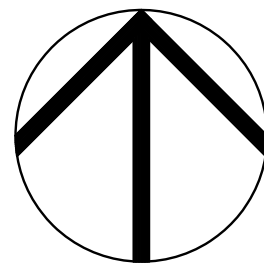
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professional stamp



project north



open plan architects inc.

340 gladstone ave. | suite 301 | ottawa | on  
613-234-8883 info@openplan.ca

project

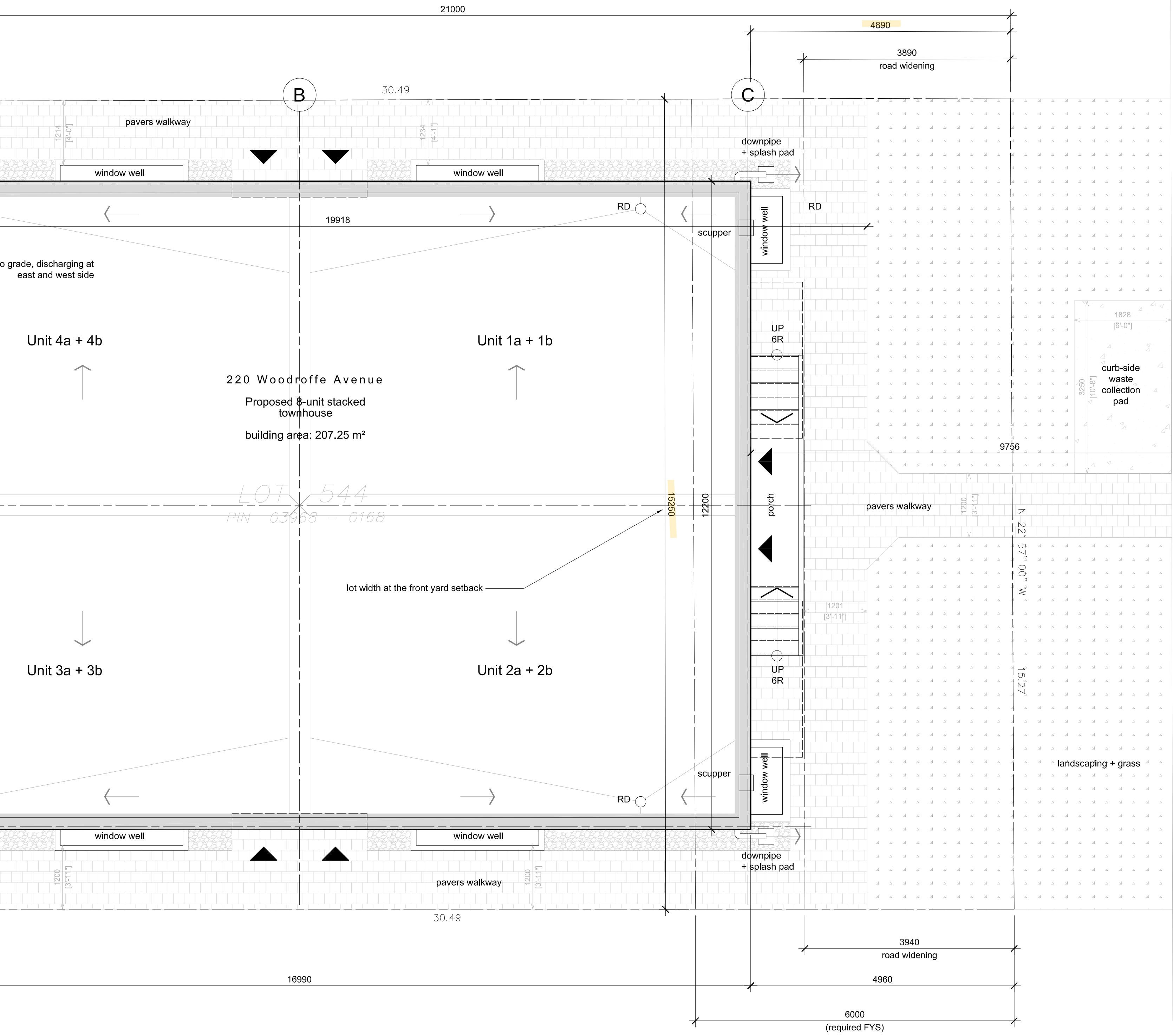
220 Woodroffe Avenue  
Stacked Towns  
Ottawa

drawing

Site plan

drawn	KDB	date	MARCH_2024
approved	KDB	revision	1
project no.	2404	scale	1 to 75
drawing no.			

A001

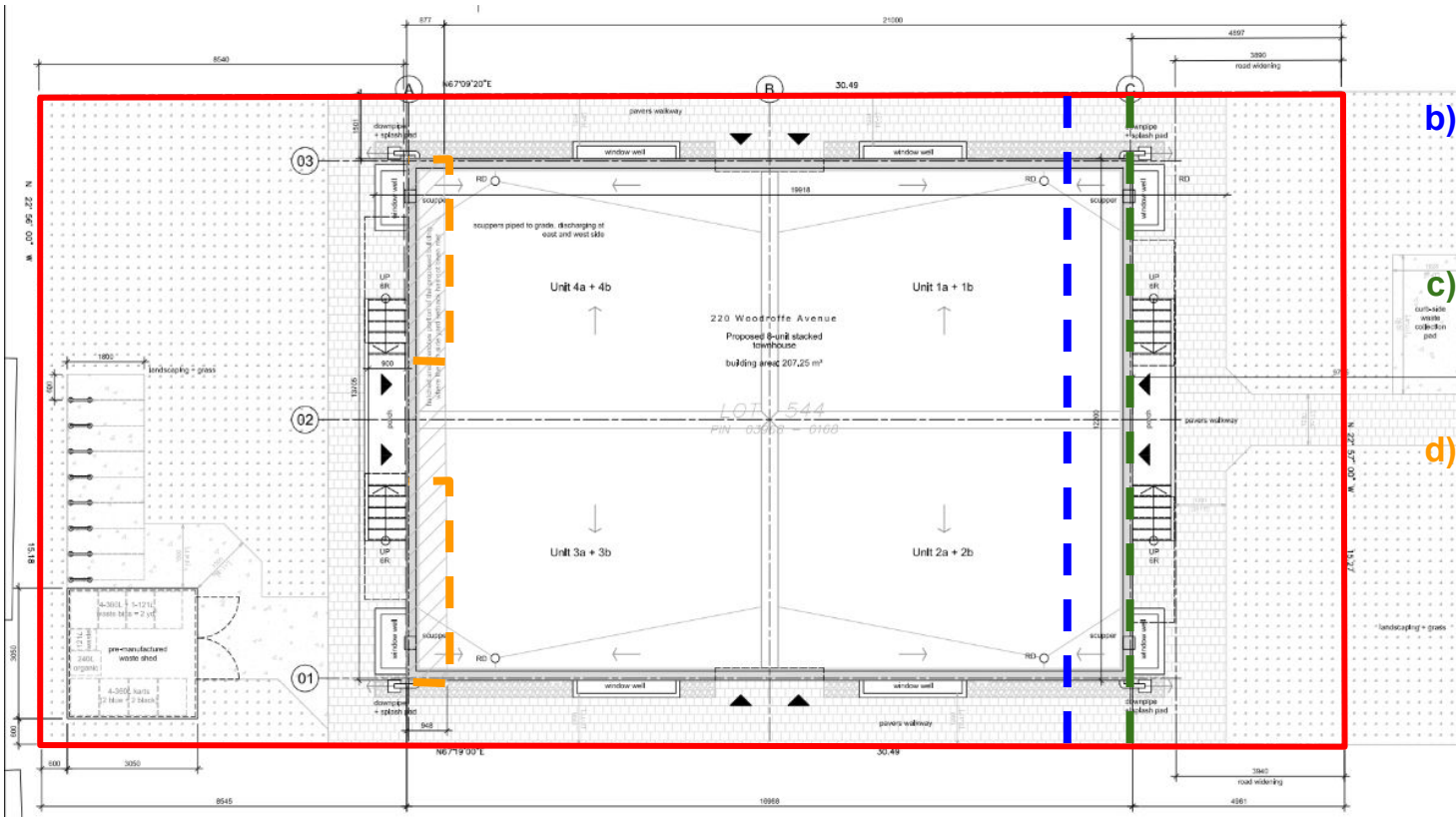


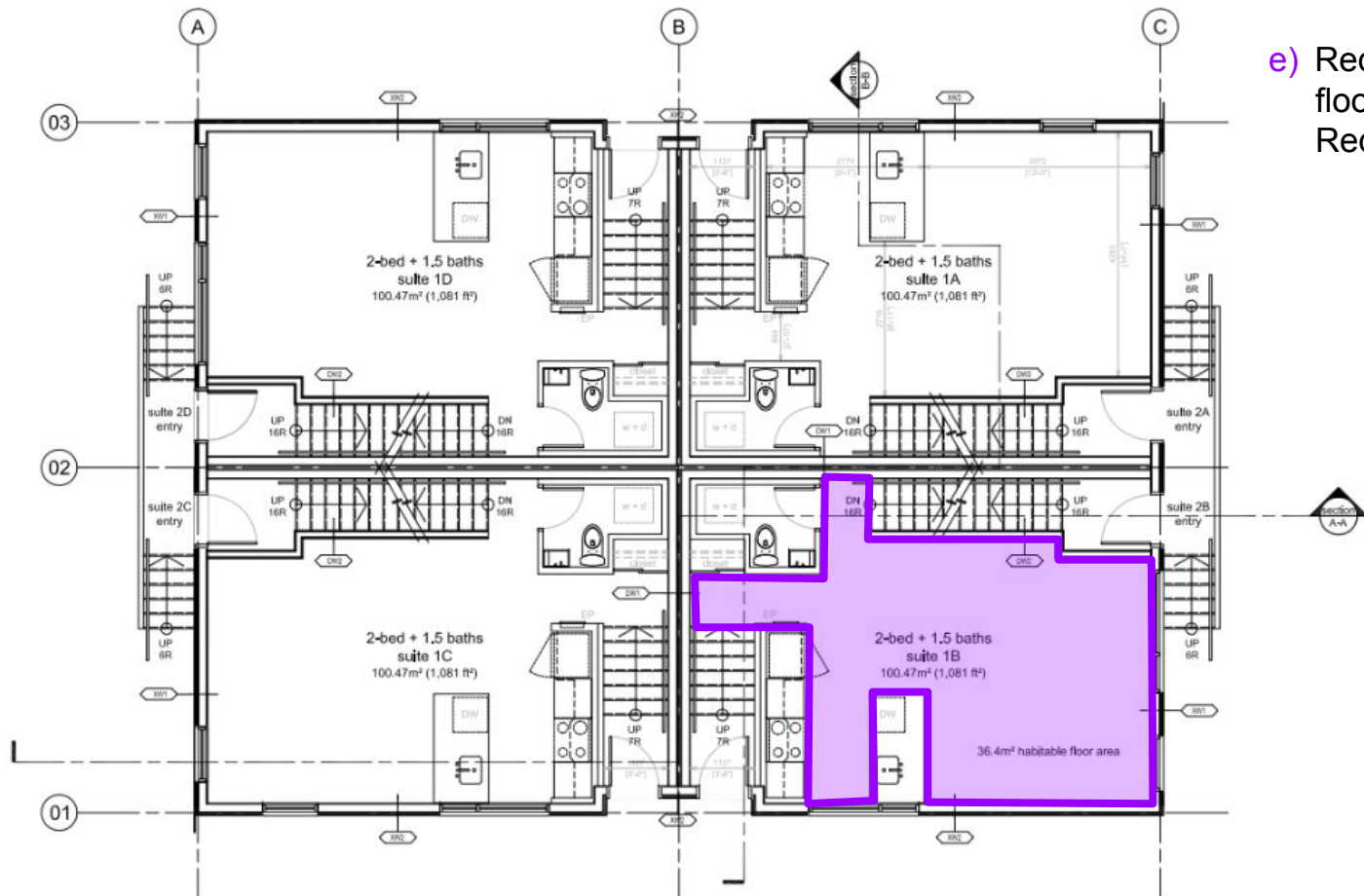
**b)** Reduced lot width of 15.25 m.  
Required: 22 m

<p><b>c)</b></p> <p>curb-side width code-30 m pave</p>	<p>Reduced front yard setback of 4.89 m. Required: 6 m</p>	
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d) Reduced side yard setback beyond 21m from the front property line of 1.5 m.

Required: 6m for any portion of a building located beyond 21m from the front property line





- e) Reduced first floor habitable floor space of 36.4 m2.  
Required: 40 m2





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project north

open plan architects inc.

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613-234-8883 info@openplan.ca

project

220 Woodroffe Avenue  
Stacked Towns  
Ottawa

drawing

Elevations

drawn	KDB	date	MARCH_2024
approved	KDB	revision	0
project no.	2404	scale	as shown
drawing no.	A200		