

Committee of Adjustment

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City of Ottawa | Ville d'Ottawa

Comité de dérogation



MINOR VARIANCE APPLICATION
COMMENTS TO THE COMMITTEE OF ADJUSTMENT
PANEL 2
PLANNING, DEVELOPMENT AND BUILDING SERVICES DEPARTMENT

Site Address: 220 Woodroffe Avenue
Legal Description: Lot 544, Registered Plan 352
File No.: D08-02-25/A-00079

Report Date: April 29, 2025
Hearing Date: May 06, 2025
Planner: Shoma Murshid
Official Plan Designation: Outer Urban Transect, Neighbourhood Designation
Zoning: R4D with Mature Neighbourhoods Overlay

DEPARTMENT COMMENTS

The Planning, Development and Building Services Department **has no concerns with** the application, provided the condition below from Infrastructure Services is applied.

DISCUSSION AND RATIONALE

Staff have reviewed the subject minor variance application against the “four tests” as outlined in Section 45 (1) of the *Planning Act*, R.S.O. 1990 c. P.13, as amended.

ADDITIONAL COMMENTS

Transportation Engineering

Please note that Woodroffe Avenue is designated as a protected right of way and requires 26m ROW be maintained as per Schedule C16 of the Official Plan. It is acknowledged the future road widening has been considered in the proposed front yard setback and layout of the site plan.

Right-of-Way Management

The Right-of-Way Management Department has no concerns with the proposed Minor Variance Application. From the plans, there is no plan for parking and therefore the existing driveway needs to be removed.

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A Private approach permit is required to construct any newly created or modified driveway/approaches or close redundant approaches.

Please contact the ROW Department for any additional information at rowadmin@ottawa.ca or visit the City webpage [Driveways | City of Ottawa](#) to submit a Private Approach application.

Infrastructure Engineering

Additional Comments:

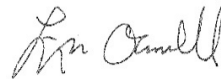
- The **Planning, Development and Building Services Department** will do a complete review of grading and servicing during the building permit process.
- At the time of building permit application, a grading/servicing plan prepared by a Professional Engineer, Ontario Land surveyor or a Certified Engineering Technologist will be required.
- Any proposed works to be located within the road allowance requires prior written approval from the Infrastructure Services Department.
- The surface storm water runoff including the roof water must be self contained and directed to the City Right-of-Way, not onto abutting private properties as approved by **Planning, Development and Building Services Department**.
- A private approach permit is required for any access off of the City street.
- Existing grading and drainage patterns must not be altered.
- Existing services are to be blanked at the owner's expense.
- This property does not have frontage on a storm sewer.
 - Connection to the catch basin is not permitted.
- Service lateral spacing shall be as specified in City of Ottawa Standard S11.3.
- In accordance with the Sewer Connection By-Law a minimum spacing of 1.0m is required between service laterals and the foundation face.

The Department further requests that the following conditions be imposed on the Minor Variance application, if approved:

- That prior to the issuance of a building permit, the Owner(s) provide proof that a grading and drainage plan including rooftop storage stormwater management, or other suitable equivalent, prepared by a qualified Civil Engineer, licensed in the Province of Ontario, has been provided to the satisfaction of the Manager of Development Review All Wards Branch within Planning, Development and Building Services Department, or their designate.



Shoma Murshid
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Planning, Development and Building
Services Department



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