

Committee of Adjustment
Received | Reçu le
2025-02-08
City of Ottawa | Ville d'Ottawa
Comité de dérogation

SCHEDULE			
PART	LOT	PLAN	P.I.N.
1	PART OF	331	ALL OF 04031-0200
2			

FOUND NO EVIDENCE

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE APRIL 20, 2023

J.P. SHIPMAN

PLAN 4R-

RECEIVED AND DEPOSITED

DATE

REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF OTTAWA-CARLETON (No.4)

PART OF LOT 1
REGISTERED PLAN 331
CITY OF OTTAWA
SCALE 1:150



METRIC

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

NOTES

BEARINGS SHOWN ON THIS PLAN ARE ASTRONOMIC, DERIVED FROM THE BEARING OF N22°26'W AS SHOWN FOR THE WESTERLY LIMIT OF NORTHWESTERN AVENUE ON PLAN 4R-12182.

DISTANCES SHOWN ON THIS PLAN ARE HORIZONTAL GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999933

S.I.B.	DENOTES 0.025 SQ., 1.2 LONG, STANDARD IRON BAR
S.S.I.B.	DENOTES 0.025 SQ., 0.6 LONG, SHORT STANDARD IRON BAR
I.B.	DENOTES 0.016 SQ., 0.6 LONG, IRON BAR
R.I.B.	DENOTES ROUND IRON BAR
C.P.	DENOTES CONCRETE PIN
■	DENOTES SURVEY MONUMENT FOUND
□	DENOTES SURVEY MONUMENT PLANTED
WT.	DENOTES WITNESS
I.P.	DENOTES IRON PIPE
S.U.	DENOTES SOURCE UNKNOWN
1236	DENOTES P.A. RIDDELL, O.L.S.
JDB	DENOTES J.D. BARNES, O.L.S.
AOG	DENOTES ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
P1	DENOTES PLAN 4R-25068
P2	DENOTES PLAN 4R-12182
P3	DENOTES PLAN 4R-12561
P4	DENOTES PLAN 5R-3873
P5	DENOTES BUILDING LOCATION SURVEY BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. ON PART OF LOT 1, REGISTERED PLAN 331 DATED DECEMBER 10, 1987 (JOB No. 725-87)
RP	DENOTES REGISTERED PLAN 331
M	DENOTES MEASURED
S	DENOTES SET
B.F.	DENOTES BOARD FENCE
U.P.L.	DENOTES UTILITIES POLE LINE
U.S.W.	DENOTES UTILITIES SERVICE WIRES
PROP	DENOTES PROPORTIONED
D1	DENOTES INST. LT1785605
P.W.	DENOTES PARTITION WALL

OBSERVED REFERENCE POINTS (ORP):MTM ZONE 9, NAD 83 (ORIGINAL)		
POINT IDENTIFICATION	NORTHING	EASTING
ORP A	5029369.01	364135.35
ORP B	5029328.46	364151.99

COORDINATES SHOWN TO RURAL ACCURACY IN ACCORDANCE WITH O.REG 216/10, SECTIONS 14, AND 31 TO 35 (BOTH INCLUSIVE).
COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM;
- THE SURVEY WAS COMPLETED ON THE 22nd DAY OF MARCH, 2023.

APRIL 20, 2023
DATE

J.P. SHIPMAN
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER XXXXXXX



H.A.KEN SHIPMAN SURVEYING LTD.

P.O. BOX 1340, KEMPTVILLE, ON, K0G-1J0, TEL: 613 489-3910

REF No.: OTT-835

FILE No.: 22-13209

ELEVATION NOTES

- ELEVATIONS ARE IN METRES AND ARE GEODETIC, DERIVED FROM GSC BENCHMARK 0011964U103, HAVING A PUBLISHED ELEVATION OF 78.90m. (CGVD 28:78)
- IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREE WITH THE INFORMATION SHOWN ON THIS DRAWING.

UTILITIES NOTES

- THIS DRAWING CANNOT BE ACCEPTED AS ACKNOWLEDGING ALL OF THE UTILITIES AND IT WILL BE THE RESPONSIBILITY OF THE USER TO CONTACT THE RESPECTIVE UTILITY AUTHORITIES FOR CONFIRMATION.
- A FIELD LOCATION OF UNDERGROUND PLANT BY THE PERTINENT UTILITY AUTHORITY IS MANDATORY BEFORE ANY WORK INVOLVING BREAKING GROUND, PROBING, EXCAVATING ETC.

SITE BENCHMARK
TOP OF SPINDLE OF FIRE HYDRANT
ELEVATION 63.78m. (CGVD 28:78)

FOUND NO EVIDENCE

SURVEYOR'S REAL PROPERTY REPORT

PART 1) PLAN OF
PART OF LOT 1
REGISTERED PLAN 331
CITY OF OTTAWA
SCALE 1:150



METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

NOTES

BEARINGS HEREON ARE ASTRONOMIC, DERIVED FROM THE BEARING OF N22°26'W AS SHOWN FOR THE WESTERLY LIMIT OF NORTHWESTERN AVENUE ON PLAN 4R-12182.

- S.I.B. DENOTES 0.025 SQ., 1.2 LONG, STANDARD IRON BAR
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I.B. DENOTES 0.016 SQ., 0.6 LONG, IRON BAR
JDB DENOTES SURVEY MONUMENT FOUND
■ DENOTES SURVEY MONUMENT PLANTED
□ DENOTES WITNESS
I.P. DENOTES IRON PIPE
S.U. DENOTES SOURCE UNKNOWN
1236 DENOTES P.A. RIDDELL, O.L.S.
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AOG DENOTES ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
P1 DENOTES PLAN 4R-25068
P2 DENOTES PLAN 4R-12182
P3 DENOTES PLAN 4R-12561
P4 DENOTES PLAN 4R-3873
P5 DENOTES BUILDING LOCATION SURVEY BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. ON PART OF LOT 1, REGISTERED PLAN 331 DATED DECEMBER 10, 1987 (JOB No. 725-87)
RP DENOTES REGISTERED PLAN 331
M DENOTES MEASURED
S DENOTES SET
E.O.A. DENOTES EDGE OF ASPHALT
E.O.S. DENOTES EDGE OF SIDEWALK
B.F. DENOTES BOARD FENCE
U.P.L. DENOTES UTILITIES POLE LINE
U.S.W. DENOTES UTILITIES SERVICE WIRES
C.B. DENOTES CATCH BASIN
M.H. DENOTES MAN HOLE
PROP DENOTES PROPORTIONED
D1 DENOTES INST. LT1785605

SURVEYOR'S REAL PROPERTY REPORT PART 2) REPORT SUMMARY

DESCRIPTION OF LAND
PART OF LOT 1, REGISTERED PLAN 331, CITY OF OTTAWA. P.I.N. 04031-0200
REGISTERED EASEMENTS AND/OR RIGHT OF WAYS
NONE
FEATURES
NOTE BOARD FENCES, CEDAR HEDGES, SHRUBS, TREELINE, UTILITIES SERVICE WIRES, RIVER ROCK.
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS
NOT CERTIFIED BY THIS REPORT.
ADDITIONAL REMARKS

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYOR'S ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 14th DAY OF DECEMBER, 2020.

DECEMBER 23, 2020

[Signature]
I.P. SHIPMAN
AOG
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2143676

THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3)

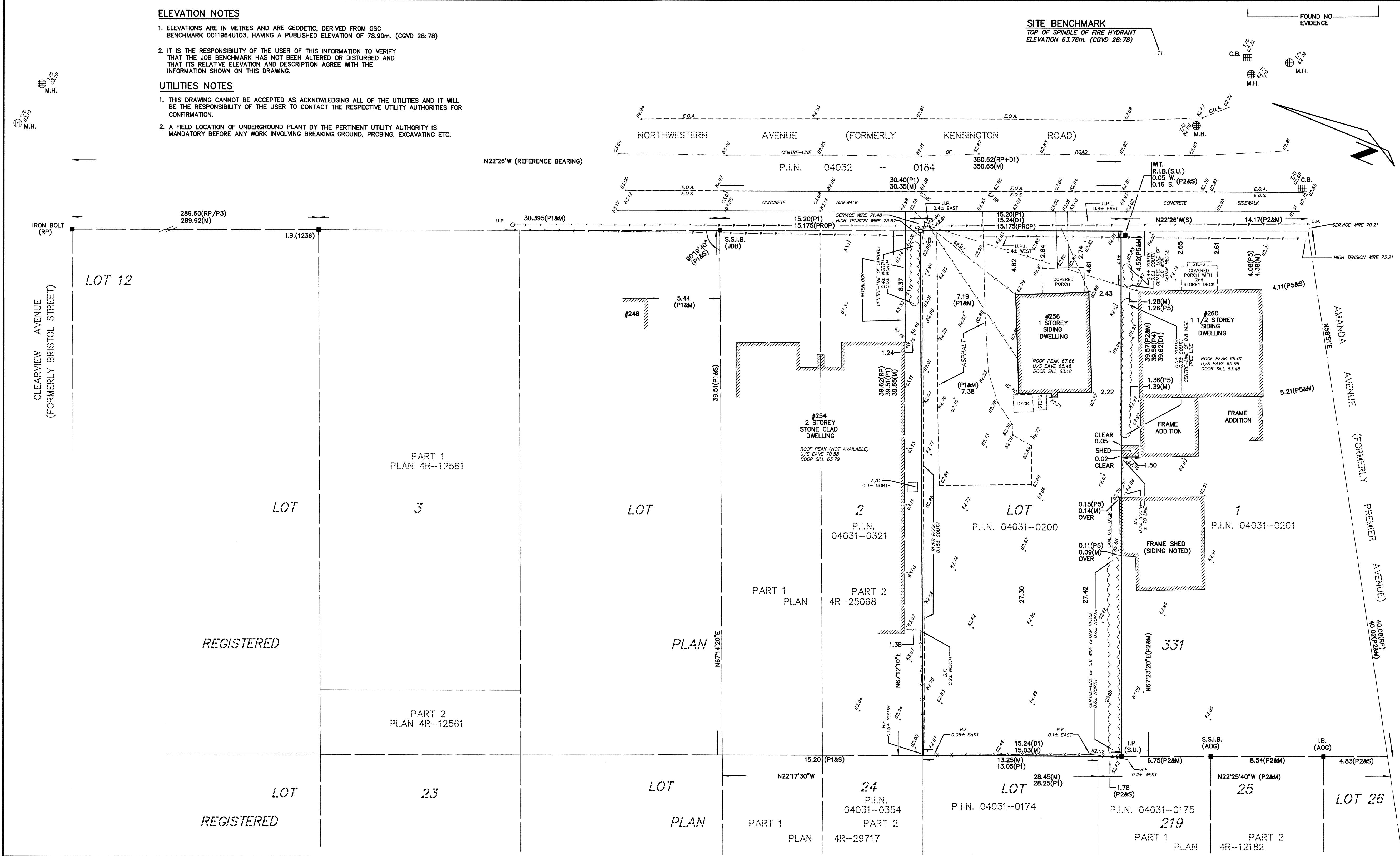
NOTE: THIS REPORT WAS PREPARED FOR Z.G. ARCHITECTURE & DESIGN AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

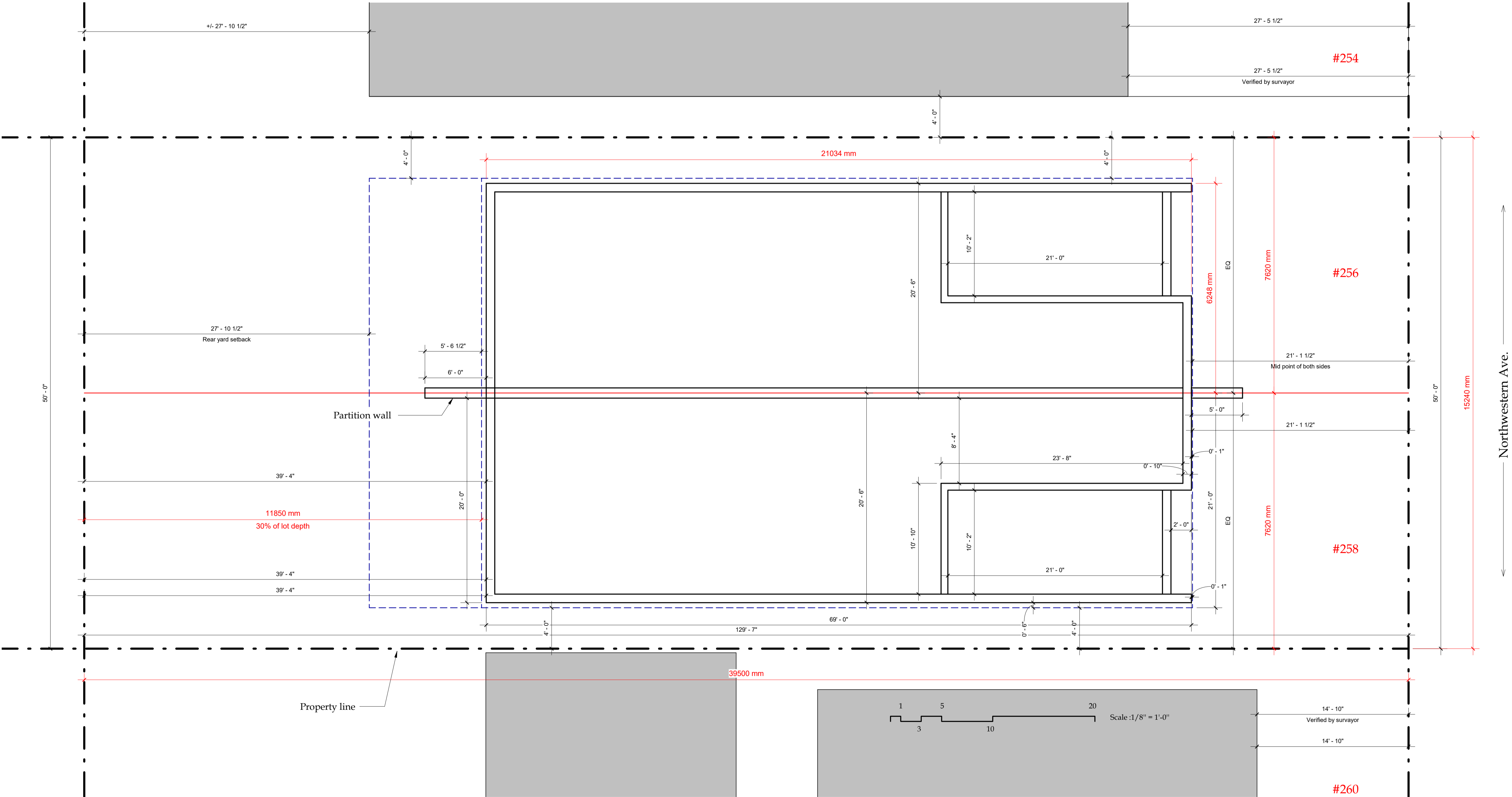
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NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF H.A.KEN SHIPMAN SURVEYING LTD.

H.A.KEN SHIPMAN SURVEYING LTD.
P.O. BOX 53, NORTH GOWER, ONT. KOA 2T0 TEL: 489-3910

REF. No.: OTT-795

FILE No.: 20-12455





1 Site Plan Proposed
3/16" = 1'-0"

ARCHITECTURAL PLANS	
#	SHEET NAME
A000	Presentation
A001	Demolition
A002	3D RENDER
A003	Basement plan - Design
A004	Main floor plan - Design
A005	2nd Story - Design
A006	Wall types and General notes
A200	Site plan
A200b	Landscape plan
A201	Foundation plan
A202	Basement plan
A203	Main floor plan
A204	2nd story floor plan
A205	Roof plan
A301	Elevations
A302	Elevations
A303	Elevations
A401	Building sections
A402	Building sections
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A403	Wall section
A404	Wall section
A501	Wall section
A502	Details
A503	Details
A504	Details
A601	Kitchen plans and elevations
A602	Basement Kitchen plans
A701	Electrical plans - Basement
A702	Electrical plans - Main floor
A703	Electrical plans - 2nd story
A900	Windows and Doors



Zorán Gavran
Architecture & Design

E: info@zg-architecture.com
T: (819) 639 - 9968

BCIN : 47250100 boul. Montcalm, unit 405
Gatineau, Quebec, J8X 0C6

No.	Description	Date
1	For Permit	12-10-2022

New residence :
256/258 Northwestern
Ave.

Site plan

Project num. : ZG21-2020

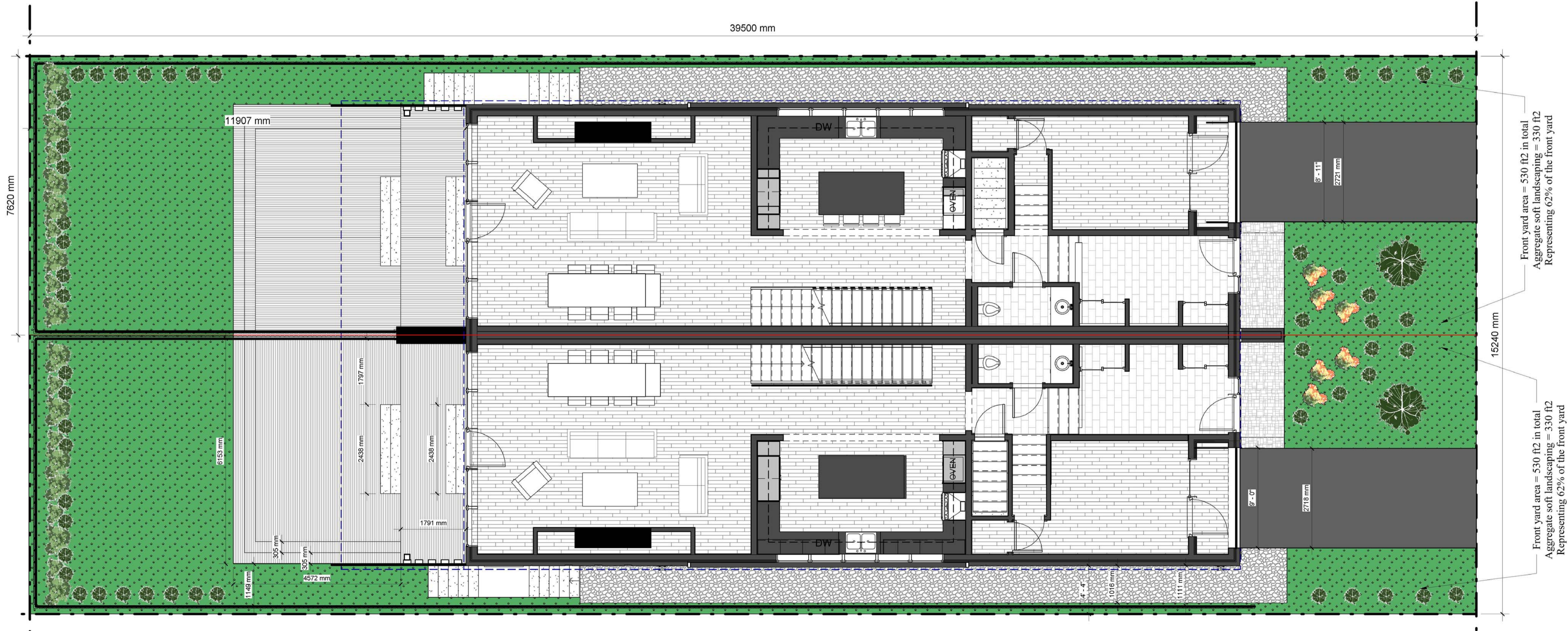
Date : 16-Feb.-2023

Drawn by : Z.G.

Verified by: Z.G.

A200

Scale: 3/16" = 1'-0"



ARCHITECTURAL PLANS	
#	SHEET NAME
A000	Presentation
A001	Demolition
A002	3D RENDER
A003	Basement plan - Design
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A005	2nd Story - Design
A006	Wall types and General notes
A200	Site plan
A200b	Landscape plan
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A203	Main floor plan
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A703	Electrical plans - 2nd story
A900	Windows and Doors



Zoran Gavran

Architecture & Design

E: info@zg-architecture.com
T: (819) 639 - 9968

BCIN : 47250

100 boul. Montcalm, unit 405
Gatineau, Quebec, J8X 0C6

No.	Description	Date
1	For Permit	12-10-2022

New residence :
256/258 Northwestern
Ave.

Landscape plan

Project num. : ZG21-2020

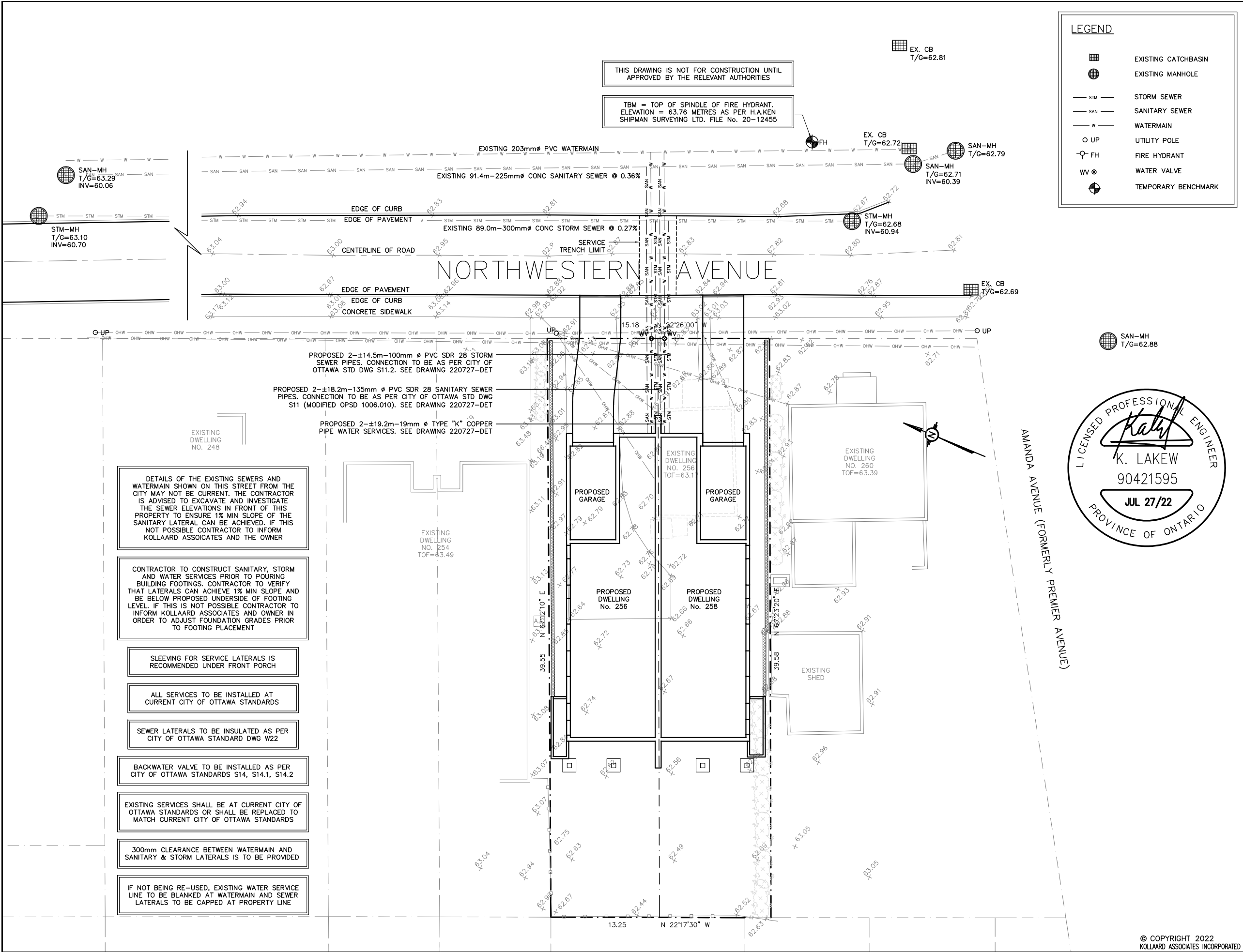
Date : 16-Feb.-2023

Drawn by : Author

Verified by: Checker

A200b

Scale:



DRAWING NUMBER: 220727-SER

- CONSTRUCTION NOTES:
- All dimensions and elevations are in metres. Do not scale drawing.
 - This drawing is not a legal survey, a utility plan or a site plan and is for sanitary, storm and water servicing only.
 - TBM = Top of spindle of fire hydrant. Elevation = 63.76 metres as per H.A.Ken Shipman Surveying Ltd. File No. 20-12455.
 - This drawing cannot be accepted as acknowledging all of the utilities, and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
 - This drawing is not for construction until approved by the relevant authorities.
 - Top of Foundation (TOF) elevations and assumed Underside of Footing (USF) elevations are shown on drawing.
 - Existing location of watermain, sanitary sewer and storm sewer as shown on this plan are approximate. Contractor to verify in the field to confirm exact location prior to construction.
 - Service laterals to be insulated where soil is cover is less than 2.4 metres for water services and 2 metres sanitary and storm services as per City of Ottawa Standard Drawing W22.
 - If water service is less than 2.4 metres from sewer manhole or catchbasin, contractor shall insulate between them with s/m rigid insulation as per City of Ottawa Standard Drawing W23.
 - Bedding for sewers and watermain installation shall be granular type "A" compacted to 95% dry proctor density.
 - All dimensions to be verified on site by contractor prior to construction.
 - Client is responsible for acquiring all necessary permits.
 - A geotechnical engineer should be retained to provide geotechnical recommendations with respect to the subgrade conditions prior to footing installation.
 - Elevations of existing storm and sanitary services were provided by the Information Centre at the City of Ottawa.
 - Any changes made to this plan must be verified and approved by Kollaard Associates Inc.

REV.	NAME	DATE	DESCRIPTION
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Kollaard Associates
Engineers
(613) 860-0923

210 PRESCOTT STREET
PO BOX 189
KEMPTVILLE ONTARIO
K0G 1J0

FAX (613) 258-0475
www.kollaard.ca
info@kollaard.ca

CLIENT: VYACHESLAV SOLOVYEV

PROJECT: SEMI-DETACHED DWELLING

DRAWING: PROPOSED LOT SERVICING PLAN

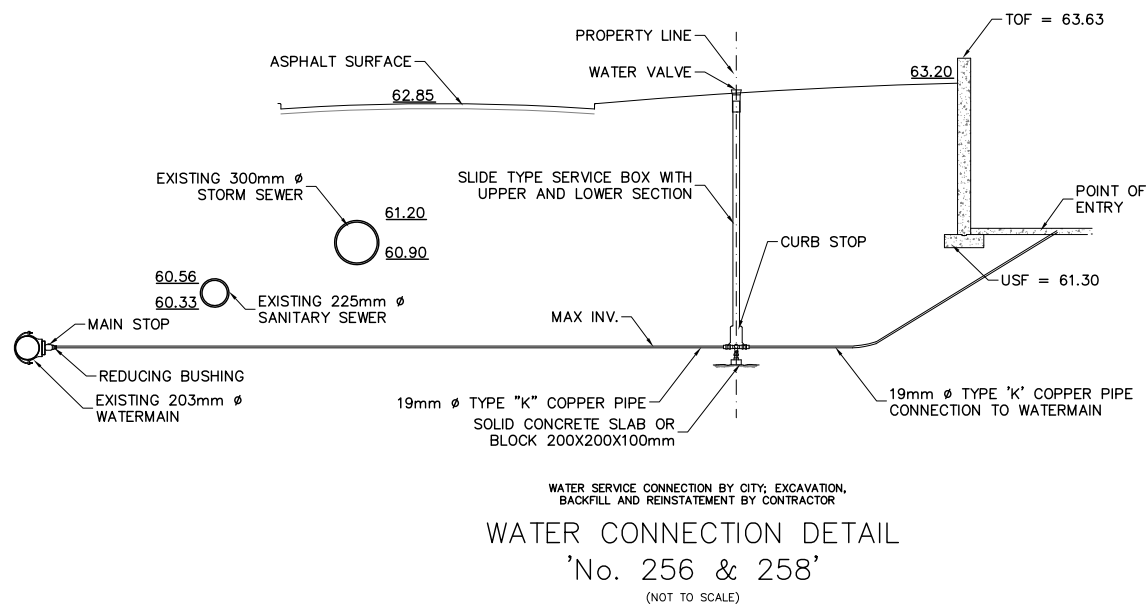
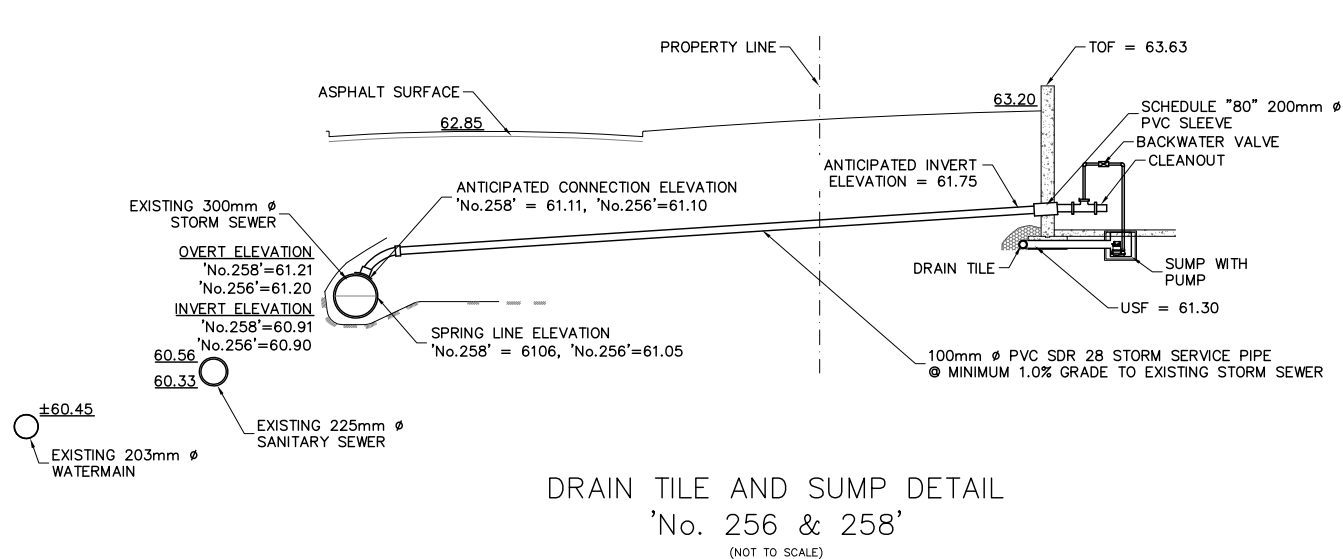
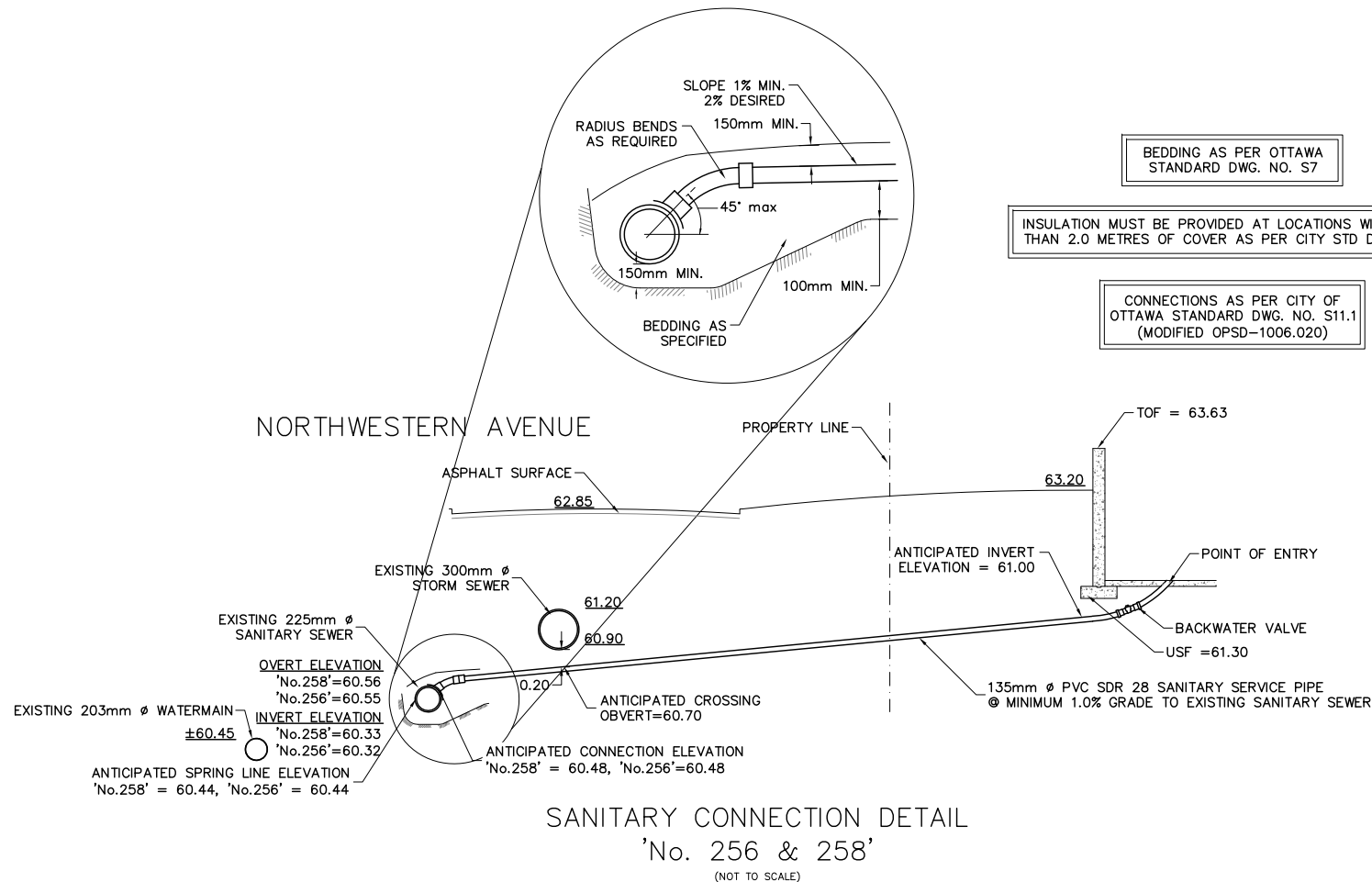
LOCATION:
256-258 NORTHWESTERN AVENUE
R.PLAN 4R-12182, PART OF LOT 1
LOT 34, CONC. A,
OLD OTTAWA,
CITY OF OTTAWA, ONTARIO

DESIGNED BY: NR
DATE: JUL 27, 2022

DRAWN BY: NR
SCALE: 1:250

KOLLAARD FILE NUMBER: 220727

(NOT TO SCALE) © COPYRIGHT 2022
KOLLAARD ASSOCIATES INCORPORATED



DRAWING NUMBER: 220727-DET

- CONSTRUCTION NOTES:
1. All dimensions and elevations are in metres. Do not scale drawing.
 2. This drawing is not a legal survey, a utility plan or a site plan and is for sanitary, storm and water servicing only.
 3. TBM = Top of spindle of fire hydrant. Elevation = 63.76 metres as per H.A.Ken Shipman Surveying Ltd. File No. 20-12455.
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 9. If water service is less than 2.4 metres from sewer manhole or catchbasin, contractor shall insulate between them with s/m rigid insulation as per City of Ottawa Standard Drawing W23.
 10. Bedding for sewers and watermain installation shall be granular type 'A' compacted to 95% dry proctor density.
 11. All dimensions to be verified on site by contractor prior to construction.
 12. Client is responsible for acquiring all necessary permits.
 13. A geotechnical engineer should be retained to provide geotechnical recommendations with respect to the subgrade conditions prior to footing installation.
 14. Elevations of existing storm and sanitary services were provided by the Information Centre at the City of Ottawa.
 15. Any changes made to this plan must be verified and approved by Kollaard Associates Inc.

REV.	NAME	DATE	DESCRIPTION
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Kollaard Associates
Engineers
(613) 860-0923

210 PRESCOTT STREET
PO BOX 189
KEMPTVILLE ONTARIO
K0G 1J0

FAX (613) 258-0475
www.kollaard.ca
info@kollaard.ca

CLIENT: VYACHESLAV SOLOVYEV

PROJECT: SEMI-DETACHED DWELLING

DRAWING: PROPOSED SERVICING DETAILS

LOCATION: 256-258 NORTHWESTERN AVENUE
R.PLAN 4R-12182, PART OF LOT 1
LOT 34, CONC. A,
OLD OTTAWA,
CITY OF OTTAWA, ONTARIO

DESIGNED BY: NR
DATE: JUL 27, 2022

DRAWN BY: NR
SCALE: N.T.S.

KOLLAARD FILE NUMBER: 220727



2 Elevation D - Back
1/4" = 1'-0"



1 Elevation A - Front
1/4" = 1'-0"

ARCHITECTURAL PLANS	
#	SHEET NAME
A000	Presentation
A001	Demolition
A002	3D RENDER
A003	Basement plan - Design
A004	Main floor plan - Design
A005	2nd Story - Design
A006	Wall types and General notes
A200	Site plan
A200b	Landscape plan
A201	Foundation plan
A202	Basement plan
A203	Main floor plan
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A701	Electrical plans - Basement
A702	Electrical plans - Main floor
A703	Electrical plans - 2nd story
A900	Windows and Doors

Zoran Gavran
Architecture & Design
E: info@zg-architecture.com
T: (819) 639 - 9968
BCIN : 47250 100 boul. Montcalm, unit 405
Gatineau, Quebec, J8X 0C6

No.	Description	Date
1	For Permit	12-10-2022

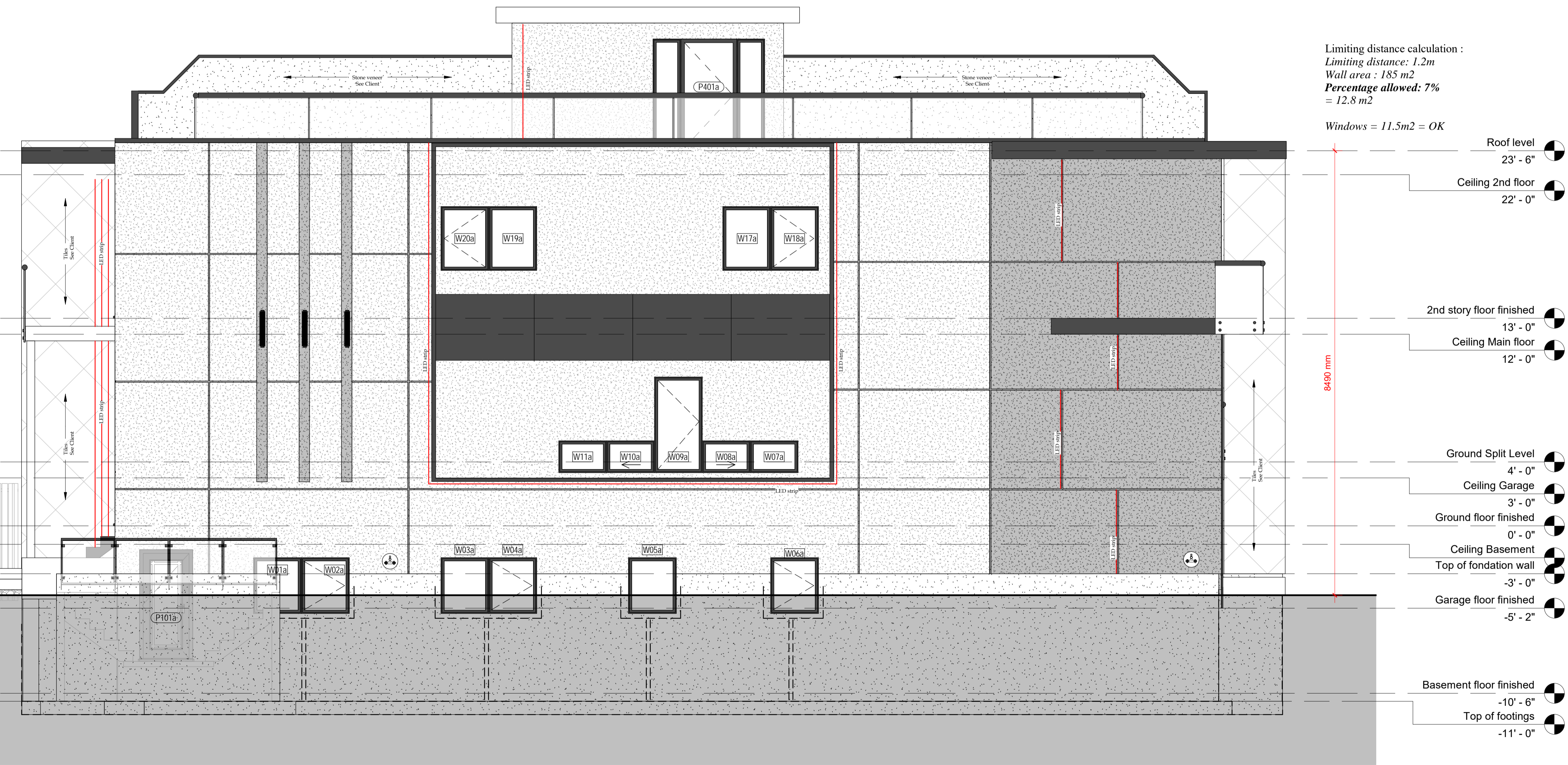
**New residence :
256/258 Northwestern
Ave.**

Elevations

Project num. : ZG21-2020
Date : 16-Feb.-2023
Drawn by : Z.G.
Verified by: Z.G.

A301

Scale: 1/4" = 1'-0"



1 Elevation C - Side
1/4" = 1'-0"

Limiting distance calculation :
Limiting distance: 1.2m
Wall area : 185 m2
Percentage allowed: 7%
= 12.8 m2
Windows = 11.5m2 = OK

- Roof level
23' - 6"
- Ceiling 2nd floor
22' - 0"
- 2nd story floor finished
13' - 0"
- Ceiling Main floor
12' - 0"
- Ground Split Level
4' - 0"
- Ceiling Garage
3' - 0"
- Ground floor finished
0' - 0"
- Ceiling Basement
-3' - 0"
- Top of fondation wall
-3' - 0"
- Garage floor finished
-5' - 2"
- Basement floor finished
-10' - 6"
- Top of footings
-11' - 0"

ARCHITECTURAL PLANS	
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T: (819) 639 - 9968

BCIN : 47250 100 boul. Montcalm, unit 405
Gatineau, Quebec, J8X 0C6

No.	Description	Date

**New residence :
256/258 Northwestern
Ave.**

Elevations

Project num. : ZG21-2020

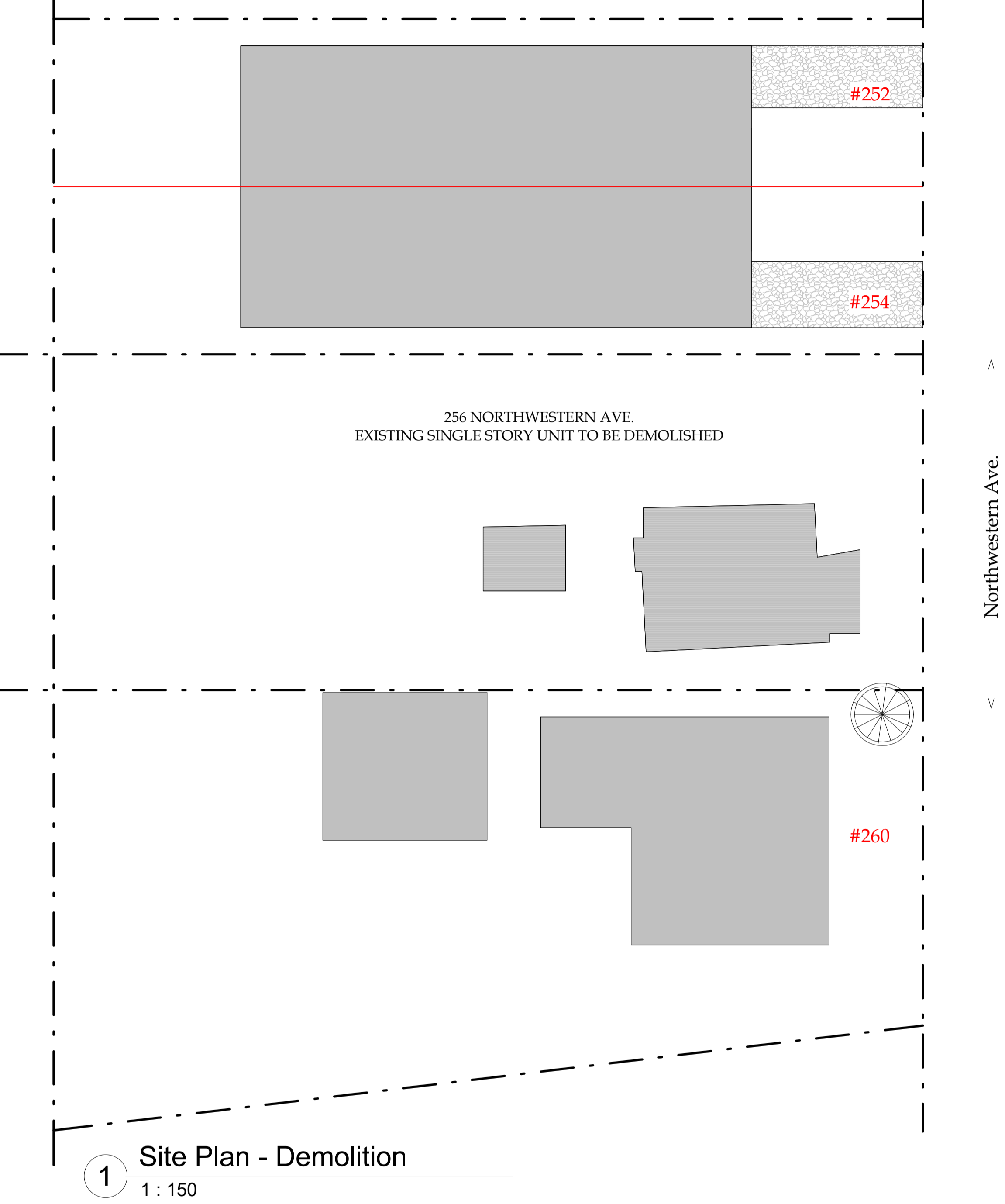
Date : 16-Feb.-2023

Drawn by : Z.G.

Verified by: Z.G.

A303

Scale: 1/4" = 1'-0"



ARCHITECTURAL PLANS	
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A006	Wall types and General notes
A200	Site plan
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A900	Windows and Doors



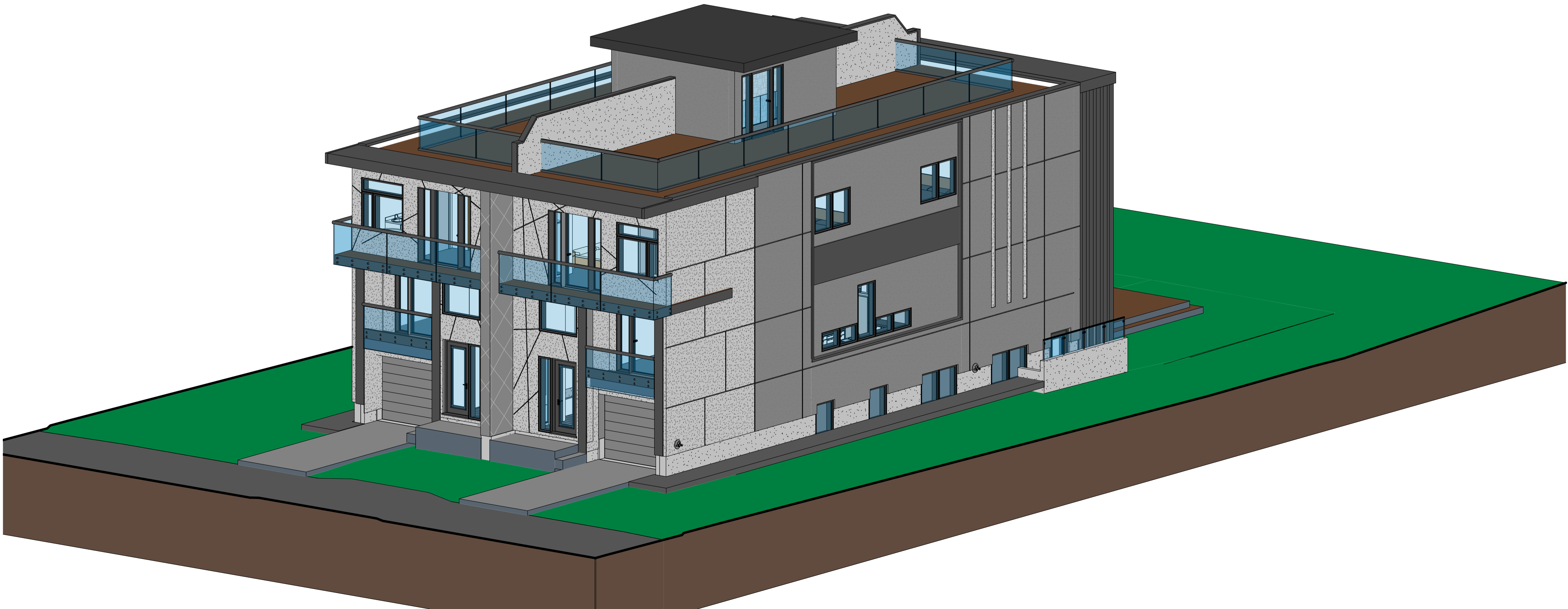
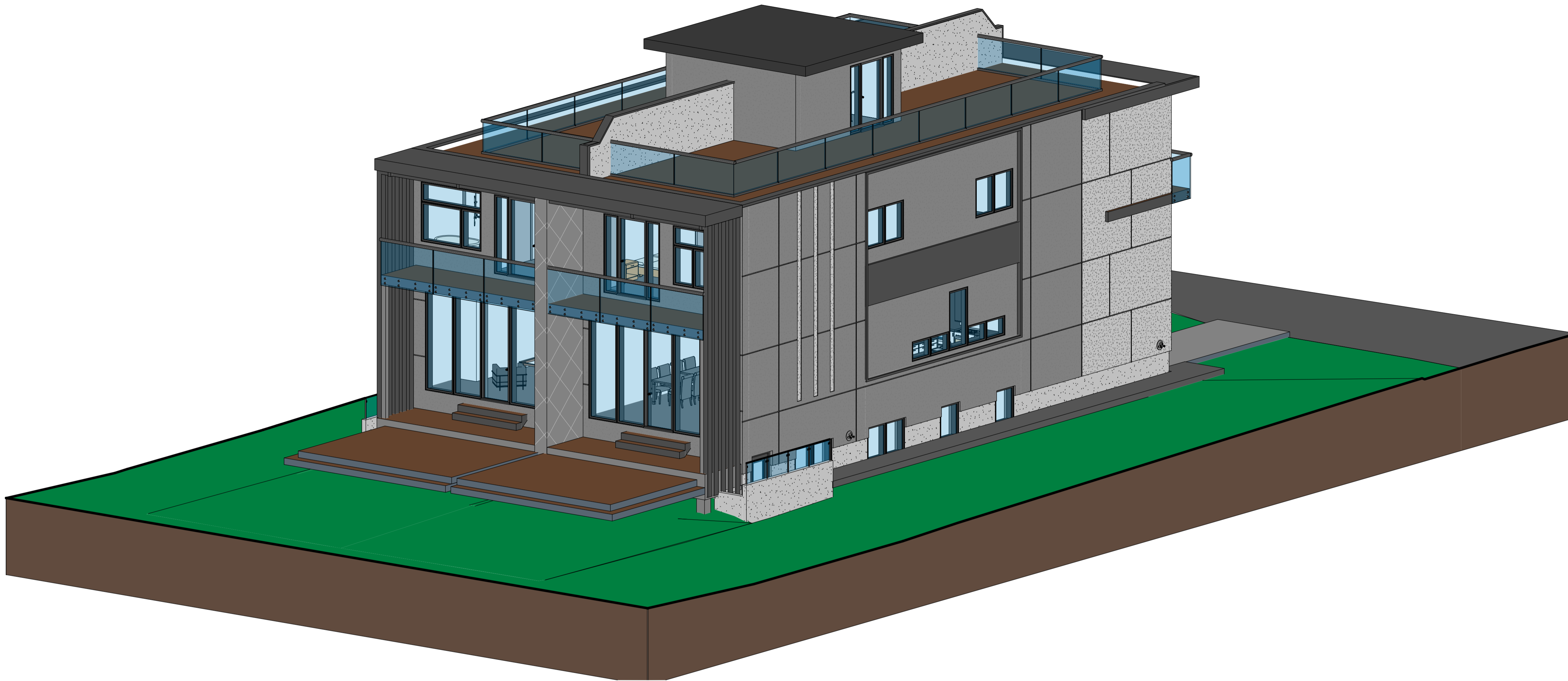
Zoran Gavran
Architecture & Design

E: info@zg-architecture.com
T: (819) 639 - 9968

BCIN : 47250100 boul. Montcalm, unit 405
Gatineau, Quebec, J8X 0C6

No.	Description	Date
1	For Permit	12-10-2022

New residence : 256/258 Northwestern Ave.	
Demolition	
Project num. :	ZG21-2020
Date :	16-Feb.-2023
Drawn by : :	Z.G.
Verified by:	Z.G.
A001	
Scale:	1 : 150



ARCHITECTURAL PLANS	
#	SHEET NAME
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A004	Main floor plan - Design
A005	2nd Story - Design
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A703	Electrical plans - 2nd story
A900	Windows and Doors



Zoran Gavran

Architecture & Design

E: info@zg-architecture.com

T: (819) 639 - 9968

BCIN : 47250

100 boul. Montcalm, unit 405
Gatineau, Quebec, J8X 0C6

No.	Description	Date

New residence :
256/258 Northwestern
Ave.

3D RENDER

Project num. :

ZG21-2020

Date :

16-Feb.-2023

Drawn by : :

Z.G.

Verified by:

Z.G.

A002

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