

**LOT 1 and PART OF LOT 2
(South Danforth Avenue)
REGISTERED PLAN 204
CITY OF OTTAWA**

Prepared by Annis, O'Sullivan, Vollebakk Ltd.

AMENDED July 12th, 2022 to illustrate tree sizes & locations,
additional street servicing & details, new vertical Benchmark
No. 1 and updated overhead wire locations & elevations.

Scale 1:150

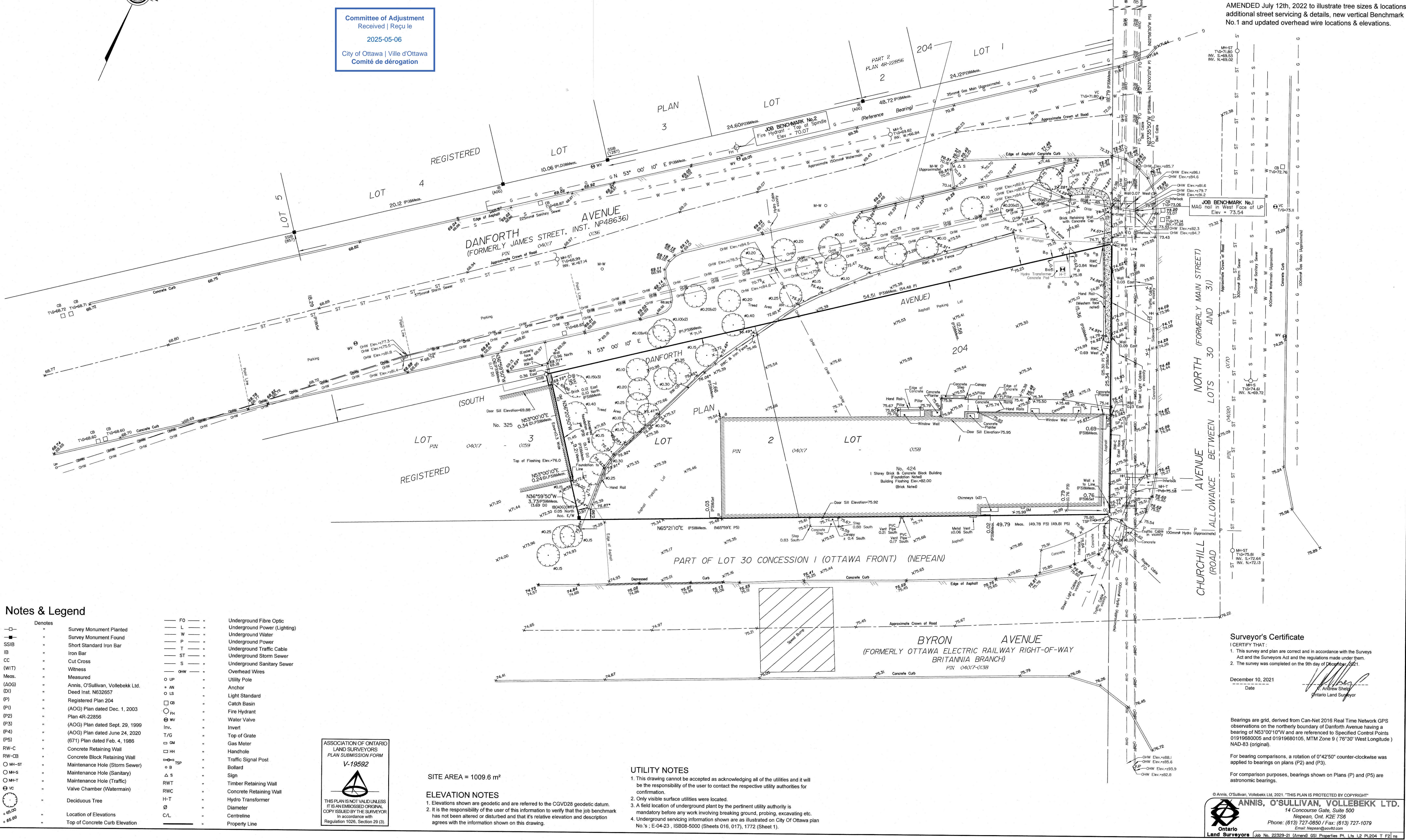
0 4.5 9 13.5 18 22.5 27 31.5 36 40.5 45 49.5 54 58.5 63 67.5 72 76.5 81 85.5 90 94.5 99 103.5 108 112.5 117 121.5 126 130.5 135 139.5 144 148.5 153 157.5 162 166.5 171 175.5 180 184.5 189 193.5 198 202.5 207 211.5 216 220.5 225 229.5 234 238.5 243 247.5 252 256.5 261 265.5 270 274.5 279 283.5 288 292.5 297 301.5 306 310.5 315 319.5 324 328.5 333 337.5 342 346.5 351 355.5 360 364.5 369 373.5 378 382.5 387 391.5 396 400.5 405 409.5 414 418.5 423 427.5 432 436.5 441 445.5 450 454.5 459 463.5 468 472.5 477 481.5 486 490.5 495 499.5 504 508.5 513 517.5 522 526.5 531 535.5 540 544.5 549 553.5 558 562.5 567 571.5 576 580.5 585 589.5 594 598.5 603 607.5 612 616.5 621 625.5 630 634.5 639 643.5 648 652.5 657 661.5 666 670.5 675 679.5 684 688.5 693 697.5 702 706.5 711 715.5 720 724.5 729 733.5 738 742.5 747 751.5 756 760.5 765 769.5 774 778.5 783 787.5 792 796.5 801 805.5 810 814.5 819 823.5 828 832.5 837 841.5 846 850.5 855 859.5 864 868.5 873 877.5 882 886.5 891 895.5 900 904.5 909 913.5 918 922.5 927 931.5 936 940.5 945 949.5 954 958.5 963 967.5 972 976.5 981 985.5 990 994.5 999 1003.5 1008 1012.5 1017 1021.5 1026 1030.5 1035 1039.5 1044 1048.5 1053 1057.5 1062 1066.5 1071 1075.5 1080 1084.5 1089 1093.5 1098 1102.5 1107 1111.5 1116 1120.5 1125 1129.5 1134 1138.5 1143 1147.5 1152 1156.5 1161 1165.5 1170 1174.5 1179 1183.5 1188 1192.5 1197 1201.5 1206 1210.5 1215 1219.5 1224 1228.5 1233 1237.5 1242 1246.5 1251 1255.5 1260 1264.5 1269 1273.5 1278 1282.5 1287 1291.5 1296 1300.5 1305 1309.5 1314 1318.5 1323 1327.5 1332 1336.5 1341 1345.5 1350 1354.5 1359 1363.5 1368 1372.5 1377 1381.5 1386 1390.5 1395 1399.5 1404 1408.5 1413 1417.5 1422 1426.5 1431 1435.5 1440 1444.5 1449 1453.5 1458 1462.5 1467 1471.5 1476 1480.5 1485 1489.5 1494 1498.5 1503 1507.5 1512 1516.5 1521 1525.5 1530 1534.5 1539 1543.5 1548 1552.5 1557 1561.5 1566 1570.5 1575 1579.5 1584 1588.5 1593 1597.5 1602 1606.5 1611 1615.5 1620 1624.5 1629 1633.5 1638 1642.5 1647 1651.5 1656 1660.5 1665 1669.5 1674 1678.5 1683 1687.5 1692 1696.5 1701 1705.5 1710 1714.5 1719 1723.5 1728 1732.5 1737 1741.5 1746 1750.5 1755 1759.5 1764 1768.5 1773 1777.5 1782 1786.5 1791 1795.5 1800 1804.5 1809 1813.5 1818 1822.5 1827 1831.5 1836 1840.5 1845 1849.5 1854 1858.5 1863 1867.5 1872 1876.5 1881 1885.5 1890 1894.5 1899 1903.5 1908 1912.5 1917 1921.5 1926 1930.5 1935 1939.5 1944 1948.5 1953 1957.5 1962 1966.5 1971 1975.5 1980 1984.5 1989 1993.5 1998 2002.5 2007 2011.5 2016 2020.5 2025 2029.5 2034 2038.5 2043 2047.5 2052 2056.5 2061 2065.5 2070 2074.5 2079 2083.5 2088 2092.5 2097 2101.5 2106 2110.5 2115 2119.5 2124 2128.5 2133 2137.5 2142 2146.5 2151 2155.5 2160 2164.5 2169 2173.5 2178 2182.5 2187 2191.5 2196 2200.5 2205 2209.5 2214 2218.5 2223 2227.5 2232 2236.5 2241 2245.5 2250 2254.5 2259 2263.5 2268 2272.5 2277 2281.5 2286 2290.5 2295 2299.5 2304 2308.5 2313 2317.5 2322 2326.5 2331 2335.5 2340 2344.5 2349 2353.5 2358 2362.5 2367 2371.5 2376 2380.5 2385 2389.5 2394 2398.5 2403 2407.5 2412 2416.5 2421 2425.5 2430 2434.5 2439 2443.5 2448 2452.5 2457 2461.5 2466 2470.5 2475 2479.5 2484 2488.5 2493 2497.5 2502 2506.5 2511 2515.5 2520 2524.5 2529 2533.5 2538 2542.5 2547 2551.5 2556 2560.5 2565 2569.5 2574 2578.5 2583 2587.5 2592 2596.5 2601 2605.5 2610 2614.5 2619 2623.5 2628 2632.5 2637 2641.5 2646 2650.5 2655 2659.5 2664 2668.5 2673 2677.5 2682 2686.5 2691 2695.5 2700 2704.5 2709 2713.5 2718 2722.5 2727 2731.5 2736 2740.5 2745 2749.5 2754 2758.5 2763 2767.5 2772 2776.5 2781 2785.5 2790 2794.5 2799 2803.5 2808 2812.5 2817 2821.5 2826 2830.5 2835 2839.5 2844 2848.5 2853 2857.5 2862 2866.5 2871 2875.5 2880 2884.5 2889 2893.5 2898 2902.5 2907 2911.5 2916 2920.5 2925 2929.5 2934 2938.5 2943 2947.5 2952 2956.5 2961 2965.5 2970 2974.5 2979 2983.5 2988 2992.5 2997 3001.5 3006 3010.5 3015 3019.5 3024 3028.5 3033 3037.5 3042 3046.5 3051 3055.5 3060 3064.5 3069 3073.5 3078 3082.5 3087 3091.5 3096 3100.5 3105 3109.5 3114 3118.5 3123 3127.5 3132 3136.5 3141 3145.5 3150 3154.5 3159 3163.5 3168 3172.5 3177 3181.5 3186 3190.5 3195 3199.5 3204 3208.5 3213 3217.5 3222 3226.5 3231 3235.5 3240 3244.5 3249 3253.5 3258 3262.5 3267 3271.5 3276 3280.5 3285 3289.5 3294 3298.5 3303 3307.5 3312 3316.5 3321 3325.5 3330 3334.5 3339 3343.5 3348 3352.5 3357 3361.5 3366 3370.5 3375 3379.5 3384 3388.5 3393 3397.5 3402 3406.5 3411 3415.5 3420 3424.5 3429 3433.5 3438 3442.5 3447 3451.5 3456 3460.5 3465 3469.5 3474 3478.5 3483 3487.5 3492 3496.5 3501 3505.5 3510 3514.5 3519 3523.5 3528 3532.5 3537 3541.5 3546 3550.5 3555 3559.5 3564 3568.5 3573 3577.5 3582 3586.5 3591 3595.5 3600 3604.5 3609 3613.5 3618 3622.5 3627 3631.5 3636 3640.5 3645 3649.5 3654 3658.5 3663 3667.5 3672 3676.5 3681 3685.5 3690 3694.5 3699 3703.5 3708 3712.5 3717 3721.5 3726 3730.5 3735 3739.5 3744 3748.5 3753 3757.5 3762 3766.5 3771 3775.5 3780 3784.5 3789 3793.5 3798 3802.5 3807 3811.5 3816 3820.5 3825 3829.5 3834 3838.5 3843 3847.5 3852 3856.5 3861 3865.5 3870 3874.5 3879 3883.5 3888 3892.5 3897 3901.5 3906 3910.5 3915 3919.5 3924 3928.5 3933 3937.5 3942 3946.5 3951 3955.5 3960 3964.5 3969 3973.5 3978 3982.5 3987 3991.5 3996 4000.5 4005 4009.5 4014 4018.5 4023 4027.5 4032 4036.5 4041 4045.5 4050 4054.5 4059 4063.5 4068 4072.5 4077 4081.5 4086 4090.5 4095 4099.5 4104 4108.5 4113 4117.5 4122 4126.5 4131 4135.5 4140 4144.5 4149 4153.5 4158 4162.5 4167 4171.5 4176 4180.5 4185 4189.5 4194 4198.5 4203 4207.5 4212 4216.5 4221 4225.5 4230 4234.5 4239 4243.5 4248 4252.5 4257 4261.5 4266 4270.5 4275 4279.5 4284 4288.5 4293 4297.5 4302 4306.5 4311 4315.5 4320 4324.5 4329 4333.5 4338 4342.5 4347 4351.5 4356 4360.5 4365 4369.5 4374 4378.5 4383 4387.5 4392 4396.5 4401 4405.5 4410 4414.5 4419 4423.5 4428 4432.5 4437 4441.5 4446 4450.5 4455 4459.5 4464 4468.5 4473 4477.5 4482 4486.5 4491 4495.5 4500 4504.5 4509 4513.5 4518 4522.5 4527 4531.5 4536 4540.5 4545 4549.5 4554 4558.5 4563 4567.5 4572 4576.5 4581 4585.5 4590 4594.5 4599 4603.5 4608 4612.5 4617 4621.5 4626 4630.5 4635 4639.5 4644 4648.5 4653 4657.5 4662 4666.5 4671 4675.5 4680 4684.5 4689 4693.5 4698 4702.5 4707 4711.5 4716 4720.5 4725 4729.5 4734 4738.5 4743 4747.5 4752 4756.5 4761 4765.5 4770 4774.5 4779 4783.5 4788 4792.5 4797 4801.5 4806 4810.5 4815 4819.5 4824 4828.5 4833 4837.5 4842 4846.5 4851 4855.5 4860 4864.5 4869 4873.5 4878 4882.5 4887 4891.5 4896 4900.5 4905 4909.5 4914 4918.5 4923 4927.5 4932 4936.5 4941 4945.5 4950 4954.5 4959 4963.5 4968 4972.5 4977 4981.5 4986 4990.5 4995 5000

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Committee of Adjustment
Received | Reçu le

2025-05-06

City of Ottawa | Ville d'Ottawa
Comité de dérogation



Notes & Legend

Denotes	Survey Monument Planted	FO	Underground Fibre Optic
SSIB	Survey Monument Found	L	Underground Power (Lighting)
IB	Short Standard Iron Bar	W	Underground Water
CC	Iron Bar	P	Underground Power
(WIT)	Cut Cross	T	Underground Traffic Cable
Meos.	Witness	ST	Underground Storm Sewer
(AOG)	Measured	S	Overhead Wires
(D)	Annis, O'Sullivan, Vollebakk Ltd.	QHW	Overhead Wires
(P)	Registered Plan 204	UP	Utility Pole
(P2)	(AOG) Plan dated Dec. 1, 2003	AN	Anchor
(P3)	Plan 4R-22856	LS	Light Standard
(P4)	(AOG) Plan dated Sept. 29, 1999	CB	Catch Basin
(P5)	(AOG) Plan dated June 24, 2020	PH	Fire Hydrant
RW-C	(671) Plan dated Feb. 4, 1986	WV	Water Valve
RW-CB	Concrete Retaining Wall	Inv.	Invert
MH-ST	Concrete Block Retaining Wall	T/G	Top of Grate
MH-T	Maintenance Hole (Storm Sewer)	GM	Gas Meter
VC	Maintenance Hole (Sanitary)	HH	Handhole
VC	Maintenance Hole (Traffic)	TRSP	Traffic Signal Post
VC	Valve Chamber (Watermain)	B	Bollard
VC	Deciduous Tree	Δ	Sign
VC	Location of Elevations	RWT	Timber Retaining Wall
VC	Top of Concrete Curb Elevation	RWC	Concrete Retaining Wall
VC		H-T	Hydro Transformer
VC		Ø	Diameter
VC		C/L	Centreline
VC			Property Line

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-19592
THIS PLAN IS NOT VALID UNLESS
IT IS AN ENCLOSED ORIGINAL
COPY ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29 (3)

SITE AREA = 1009.6 m²

ELEVATION NOTES

- Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
- It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES

- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
- Only visible surface utilities were located.
- A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating, etc.
- Underground servicing information shown are as illustrated on City of Ottawa plan No.'s: E-04-23, ISB08-5000 (Sheets 016, 017), 1772 (Sheet 1).

Surveyor's Certificate

- I CERTIFY THAT:
- This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
 - The survey was completed on the 9th day of December, 2021.

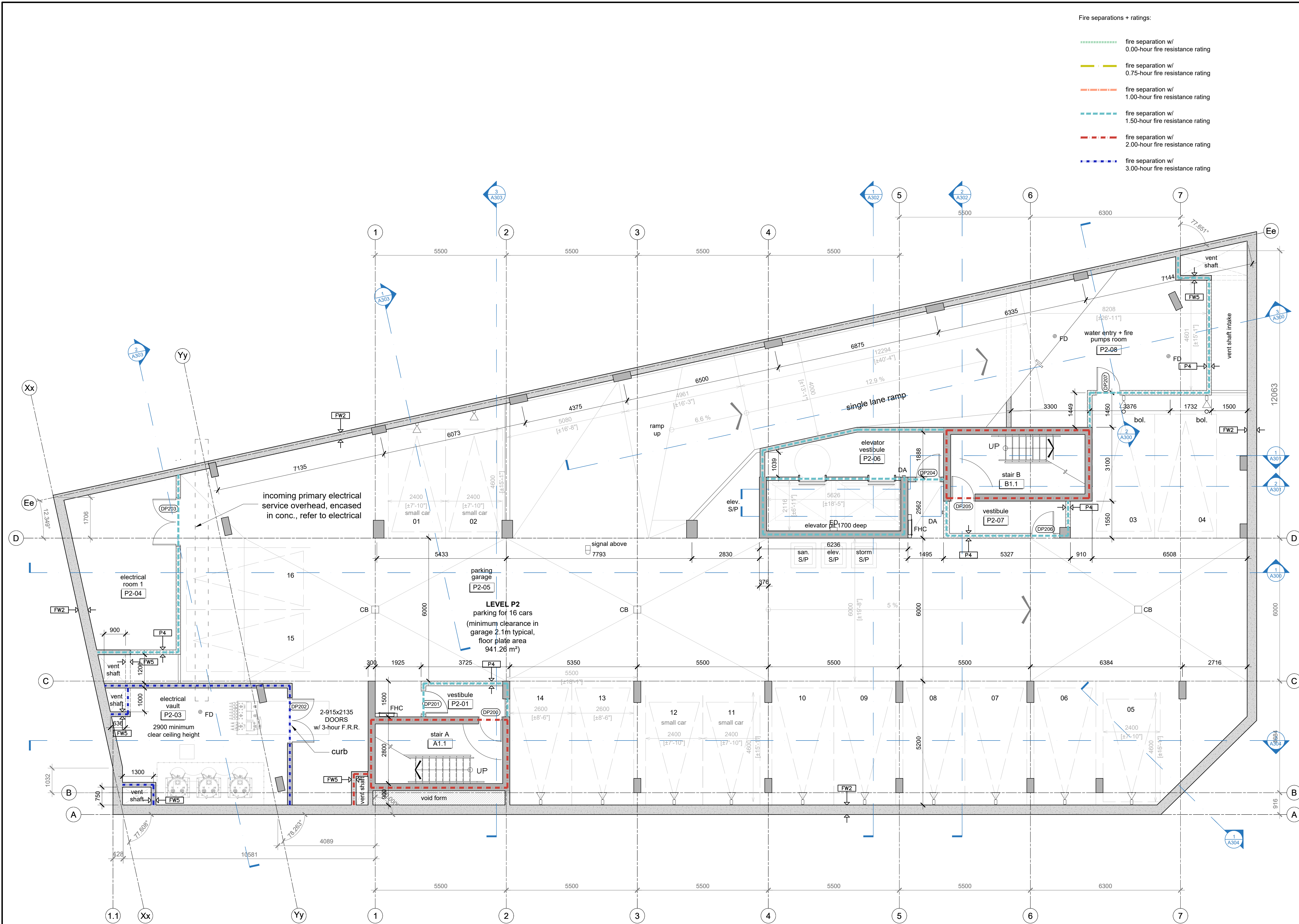
December 10, 2021
Date

Andrew Sheld
Ontario Land Surveyor

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations on the northerly boundary of Danforth Avenue having a bearing of N53°00'10"W and are referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

For bearing comparisons, a rotation of 0°42'50" counter-clockwise was applied to bearings on plans (P2) and (P3).

For comparison purposes, bearings shown on Plans (P) and (P5) are astronomic bearings.



- Fire separations + ratings:
- fire separation w/ 0.00-hour fire resistance rating
 - fire separation w/ 0.75-hour fire resistance rating
 - fire separation w/ 1.00-hour fire resistance rating
 - fire separation w/ 1.50-hour fire resistance rating
 - fire separation w/ 2.00-hour fire resistance rating
 - fire separation w/ 3.00-hour fire resistance rating

CLIENT / OWNER :
CHURCHILL PROPERTIES INC.
5-145 SELECT AVE.
TORONTO, ON M1V 5M8
416-292-9920

CONSULTING PLANNER :
FOTENN
396 COOPER STREET, SUITE 300
OTTAWA, ON K2P 2H7
613-730-5709

ARCHITECT :
OPEN PLAN ARCHITECTS INC.
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OTTAWA, ON K2P 0Y8
613-234-8883

STRUCTURAL ENGINEER :
D + M STRUCTURAL
333 PRESTON STREET, SUITE 110
OTTAWA, ON K1S 5N4
613-651-9490

MECHANICAL ELECTRICAL & CIVIL ENGINEER :
LRL ENGINEERING
5430 CANOTEK ROAD,
OTTAWA, ON K1J 9G2
613-842-3434

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127 WALGREEN ROAD,
OTTAWA, ON K0A 1I0
613-636-0934

TRANSPORTATION ENGINEER :
CASTLEGLAN CONSULTANTS INC.
2460 LANCASTER ROAD,
OTTAWA, ON K1B 4S5
613-731-4622

rev. / issue	description	date
02	Issued for minor variance	30 April 2025
01	Issued for 95% tender - base building	29 April 2025

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND PROMPTLY REPORT ALL ERRORS AND/OR OMISSIONS TO THE CONSULTANT BEFORE WORK COMMENCES.

ALL WORK IS TO FOLLOW THE OBC 2012 AND ANY OTHER APPLICABLE CODES AND REGULATIONS.

DO NOT SCALE DRAWINGS.

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project north

open plan architects inc.

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project

424 CHURCHILL AVENUE N.,
APARTMENT BUILDING

drawing

Floor plan - level P2

drawn	KDB	date	2024
approved	KDB	revision	0
project no.	2119	scale	1:75
drawing no.			

A100

D07-12-22-0152
18881

WASTE CAPACITY REQUIREMENTS:	
waste:	0.11 yd ² / DU = 8 yd ² (7.7) 8 yd ² provided
GMP:	0.018 yd ² / DU = 2 yd ² (1.24) 2 yd ² provided
fiber:	0.038 yd ² / DU = 3 yd ² (2.66) 4 yd ² provided
organic:	240 L cart / 50 DU = 2 carts 480 L provided

- Fire separations + ratings:
- fire separation w/ 0.00-hour fire resistance rating
 - fire separation w/ 0.75-hour fire resistance rating
 - fire separation w/ 1.00-hour fire resistance rating
 - fire separation w/ 1.50-hour fire resistance rating
 - fire separation w/ 2.00-hour fire resistance rating
 - fire separation w/ 3.00-hour fire resistance rating

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TORONTO, ON M1V 5M8
416-292-9920

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396 COOPER STREET, SUITE 300
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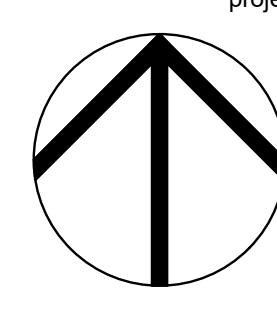
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project

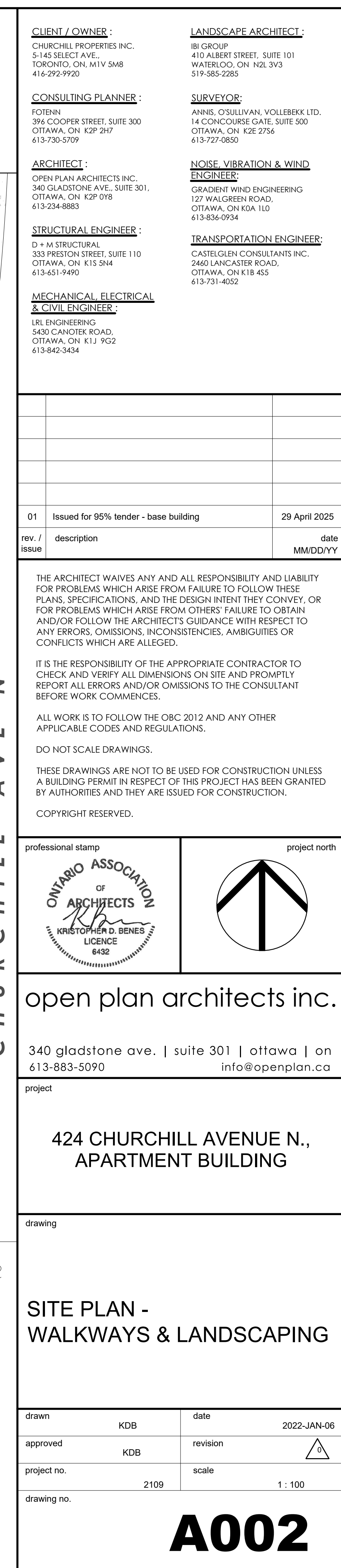
424 CHURCHILL AVENUE N.,
APARTMENT BUILDING

drawing

Floor plan - level P1

drawn	KDB	date	2024
approved	KDB	revision	
project no.	2119	scale	1:75
drawing no.			

A101





1 EAST ELEVATION
A201 1 : 125



2 WEST ELEVATION
A201 1 : 125

MATERIALS LEGEND :

- AG aluminum guard - charcoal coloured
- AL3 aluminum window framing - aged-copper coloured
- AL2 aluminum window framing - charcoal coloured
- CB poured concrete - w/ blasted finish
- CC poured concrete
- GL1 glass type 1
- GL2 glass type 2
- GL3 glass type 3 - translucent patterned
- GL4 glass type 4 - translucent
- M1 metal interlocking tile cladding - dark colour (levels P1, 1 + 8)
- M2 metal interlocking tile cladding - light colour (penthouse)
- ML metal louver - colour to match adjacent cladding material
- CR rubber overhead door
- PC1 pre-cast concrete panels - colour + finish type 1
- PC2 pre-cast concrete panels - colour + finish type 2
- PC3 pre-cast concrete panels - colour + finish type 3
- PV1 pre-cast concrete panels - w/ vertical flutes colour + finish type 2
- SP1 aluminum insulated spandrel panel - aged-copper coloured
- SP2 aluminum insulated spandrel panel - charcoal coloured (louvered where required for mechanical)
- SP3 aluminum insulated spandrel panel - with opaque spandrel glass
- ZF zinc drip flashing

General Notes:

- Provide shop drawings for all windows, doors and glazing. Provide engineer's stamp where specified.
- All windows with sill heights below 1070mm from finished interior floor shall be designed as guards by an engineer. Provide limiters to all of these windows.
- Window, door and glazing energy performance characteristics shall comply with the SB-10 requirements identified in this drawings package.
- All balcony guards to be designed by the supplier's engineer. Stamped shop drawings shall be provided to architect.

CLIENT / OWNER :
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416-292-9920

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340 gladstone ave. | suite 301 | ottawa | on
613-883-5090 info@openplan.ca

project

424 CHURCHILL AVENUE N.,
APARTMENT BUILDING

drawing

EAST AND WEST
ELEVATIONS

drawn	KDB	date	2022-SEP-12
approved	KDB	revision	
project no.	2109	scale	1 : 125
drawing no.			

A201

Committee of Adjustment
Received | Reçu le
2025-05-06
City of Ottawa | Ville d'Ottawa
Comité de dérogation



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5-145 SELECT AVE.,
TORONTO, ONTARIO

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Arcadis Professional Services (Canada) Inc.
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ISSUES		
No.	DESCRIPTION	DATE
1	ISSUED FOR ZBA & SPA REVIEW	2022-10-21
2	ISSUED FOR ZBA & SPA REVIEW	2023-03-24
3	ISSUED FOR ZBA & SPA REVIEW	2024-08-12



LEGEND

- EXISTING DECIDUOUS TREE
- TEMPORARY TREE PROTECTION FENCING
- PROJECT SITE BOUNDARY

TREE IDENTIFICATION TAGS

- 000 P — TREE TO BE PRESERVED
- 000 R — TREE TO BE REMOVED

SEAL

PRIME CONSULTANT
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410 Albert Street - Suite 101
Waterloo ON N2L 3V3 Canada
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www.arcadis.com

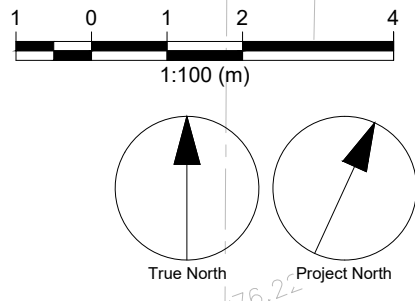
PROJECT
424 Churchill Ave

CITY OF OTTAWA

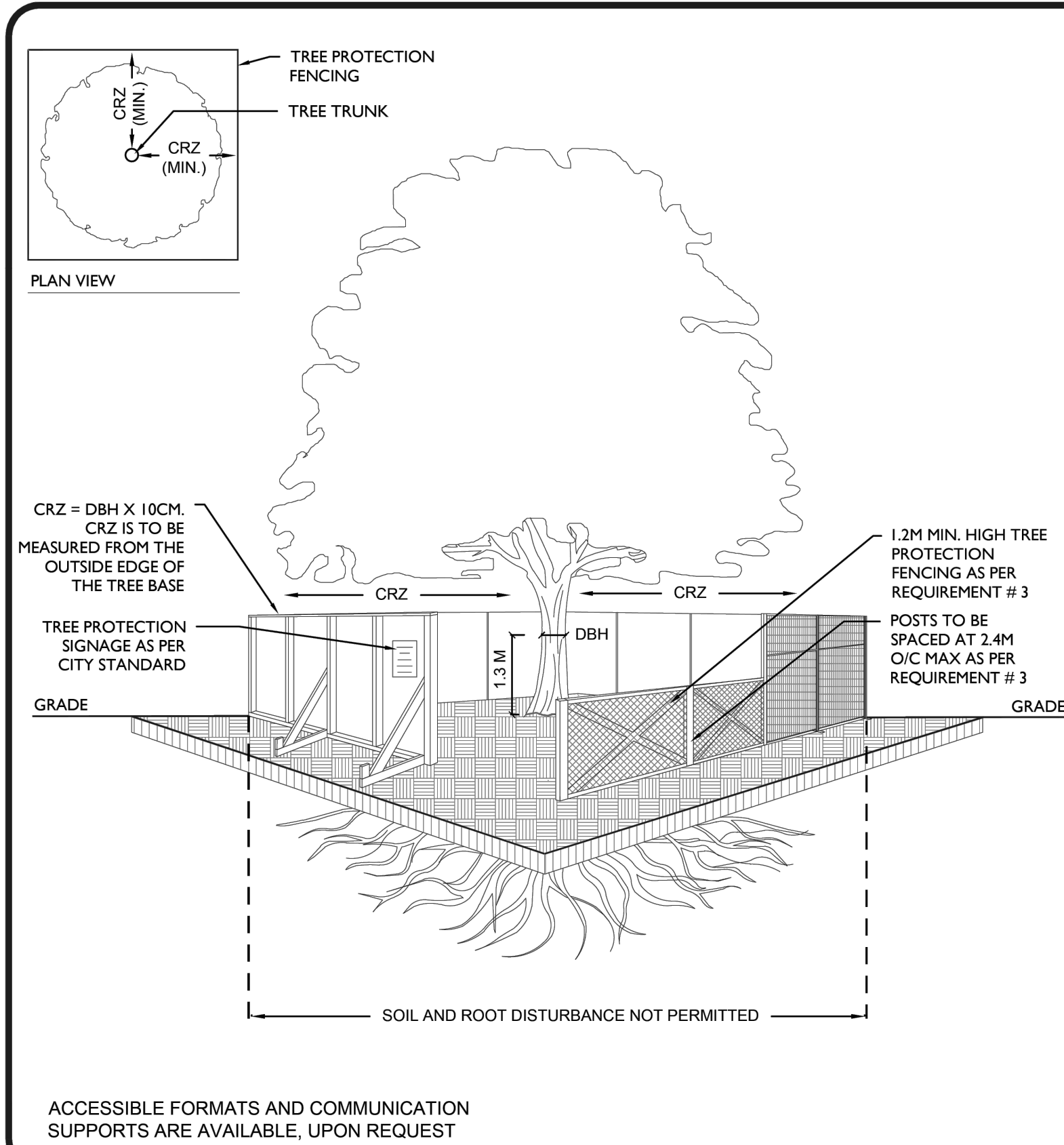
PROJECT NO:
139413
DRAWN BY:
E.L.
CHECKED BY:
E.L.
PROJECT MGR:
M.P.
APPROVED BY:
T.M.

SHEET TITLE
TREE PRESERVATION PLAN

SHEET NUMBER
TPP-1
ISSUE
3



File Location: J:\139413_424_Churchill\7.0_Production\7.03_Design\05_Landscape\Sheets\139413_TPP.dwg Last Saved: March 27, 2023, by 162223 Plotted: August 14, 2024 10:51:48 AM by LI, Erick



- TREE PROTECTION REQUIREMENTS:**
- PRIOR TO ANY WORK ACTIVITY WITHIN THE CRITICAL ROOT ZONE (CRZ = 10 X DIAMETER) OF A TREE, TREE PROTECTION FENCING MUST BE INSTALLED SURROUNDING THE CRITICAL ROOT ZONE, AND REMAIN IN PLACE UNTIL THE WORK IS COMPLETE.
 - UNLESS PLANS ARE APPROVED BY CITY FORESTRY STAFF, FOR WORK WITHIN THE CRZ:
 - DO NOT PLACE ANY MATERIAL OR EQUIPMENT - INCLUDING OUTHOUSES;
 - DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE;
 - DO NOT RAISE OR LOWER THE EXISTING GRADE;
 - TUNNEL OR BORE WHEN DIGGING;
 - DO NOT DAMAGE THE ROOT SYSTEM, TRUNK, OR BRANCHES OR ANY TREE;
 - ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARD ANY TREE CANOPY.
 - DO NOT EXTEND HARD SURFACE OR SIGNIFICANTLY CHANGE LANDSCAPING
 - TREE PROTECTION FENCING MUST BE AT LEAST 1.2M IN HEIGHT, AND CONSTRUCTED OF RIGID OR FRAMED MATERIALS (E.G. MODULOC - STEEL, PLYWOOD HOARDING, OR SNOW FENCE ON A 2"x4" WOOD FRAME) WITH POSTS 2.4M APART, SUCH THAT THE FENCE LOCATION CANNOT BE ALTERED. ALL SUPPORTS AND BRACING MUST BE PLACED OUTSIDE OF THE CRZ, AND INSTALLATION MUST MINIMISE DAMAGE TO EXISTING ROOTS. (SEE DETAIL.)
 - THE LOCATION OF THE TREE PROTECTION FENCING MUST BE DETERMINED BY AN ARBORIST AND DETAILED ON ANY ASSOCIATED PLANS FOR THE SITE (E.G. TREE CONSERVATION REPORT, TREE INFORMATION REPORT, ETC). THE PLAN AND CONSTRUCTED FENCING MUST BE APPROVED BY CITY FORESTRY STAFF PRIOR TO THE COMMENCEMENT OF WORK.
 - IF THE FENCED TREE PROTECTION AREA MUST BE REDUCED TO FACILITATE CONSTRUCTION, MITIGATION MEASURES MUST BE PRESCRIBED BY AN ARBORIST AND APPROVED BY CITY FORESTRY STAFF. THESE MAY INCLUDE THE PLACEMENT OF PLYWOOD, WOOD CHIPS, OR STEEL PLATING OVER THE ROOTS FOR PROTECTION OR THE PROPER PRUNING AND CARE OF ROOTS WHERE ENCOUNTERED.
- THE CITY'S TREE PROTECTION BY-LAW, 2020-340 PROTECTS BOTH CITY-OWNED TREES, CITY-WIDE, AND PRIVATELY-OWNED TREES WITHIN THE URBAN AREA. PLEASE REFER TO WWW.OTTAWA.CA/TREEBYLAW FOR MORE INFORMATION ON HOW THE TREE BY-LAW APPLIES.



TREE PROTECTION SPECIFICATION

TO BE IMPLEMENTED FOR RETAINED TREES, BOTH ON SITE AND ON ADJACENT SITES, PRIOR TO ANY TREE REMOVAL OR SITE WORKS AND MAINTAINED FOR THE DURATION OF WORK ACTIVITIES ON SITE.

SCALE: NTS

DATE: MARCH 2021

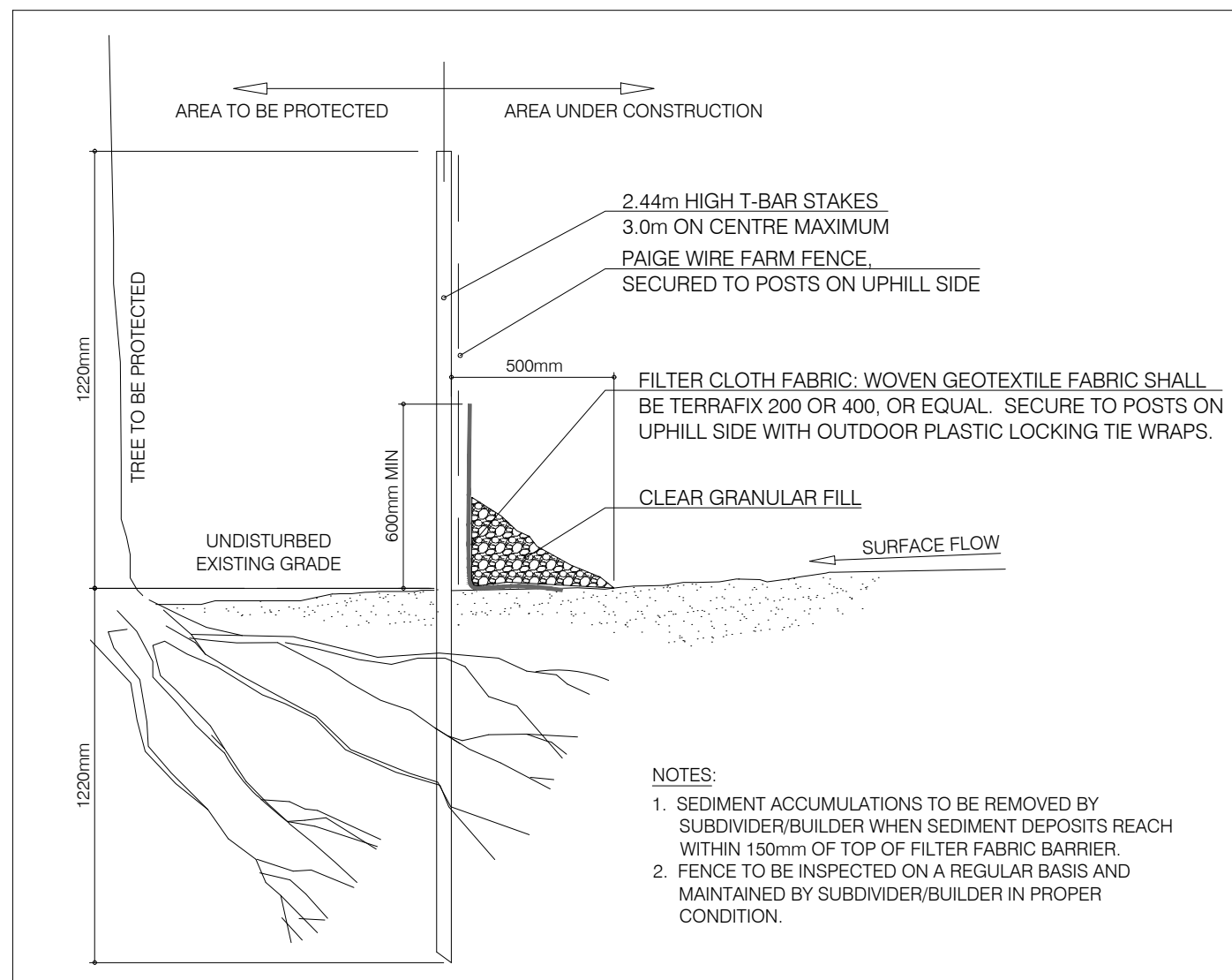
DRAWING NO.: 1 of 1

Table 1 - Existing Tree Inventory
424 Churchill, Ottawa, Ontario
Project #: 139413

Tag #	Species	Common Name	Diameter at Breast Height (DBH) cm or range (cm)	Drip Line Radius (cm)	Multistem Tree	Overall Condition	Recommended Action	Notes	Ownership
1	<i>Acer negundo</i>	Manitoba Maple	10	480	---	Good	Protection to installed at property limits with reduced protection areas.	Hard lean to south	Private on adjoining site
2	<i>Ulmus americana</i>	American Elm	22	280	---	Fair	Protection to installed at property limits with reduced protection areas.	Lean to south	Private on adjoining site
3	<i>Acer platanoides</i>	Norway Maple	11	250	---	Poor	Remove - Due to grading and infrastructure improvement		Private on site
4	<i>Acer platanoides</i>	Norway Maple	11	200	---	Good	Remove - Due to grading and infrastructure improvement		Private on adjoining site
5	<i>Malus spp.</i>	Apple spp.	11	200	---	Good	Protection to installed at property limits with reduced protection areas.		Private on adjoining site
6	<i>Juglans nigra</i>	Black Walnut	26	500	---	Good	Protection to installed at property limits with reduced protection areas.		Private on adjoining site
7	<i>Acer negundo</i>	Manitoba Maple	11	350	---	Fair	Remove - Due to grading and infrastructure improvement		Private on site
8	<i>Ulmus americana</i>	American Elm	25	350	---	Poor	Remove - Due to grading and infrastructure improvement		Private on site
9	<i>Acer platanoides</i>	Norway Maple	13	490	---	Very Good	Remove - Due to building construction and excavation		Private on site
10	<i>Acer negundo</i>	Manitoba Maple	11	370	---	Good	Remove - Due to building construction and excavation		Private on site
11	<i>Acer negundo</i>	Manitoba Maple	37	850	---	Very Good	Remove - Due to grading and infrastructure improvement		Private on site
12	<i>Acer platanoides</i>	Norway Maple	17	360	---	Very Good	Remove - Due to grading and infrastructure improvement		Private on site
13	<i>Acer negundo</i>	Manitoba Maple	12	280	---	Poor	Remove - Due to grading and infrastructure improvement		Private on site
14	<i>Ulmus americana</i>	American Elm	15	50	---	Poor	Remove - Due to building construction and excavation		Private on site
15	<i>Acer negundo</i>	Manitoba Maple	19	440	---	Poor	Remove - Due to building construction and excavation		Private on site
16	<i>Unknown</i>	Unknown	19	240	---	Dead	Remove - Due to building construction and excavation		Private on site
17	<i>Acer platanoides</i>	Norway Maple	19	580	---	Very Good	Remove - Due to grading and infrastructure improvement		City Tree
18	<i>Rhamnus cathartica</i>	Common Buckthorn	10	730	---	Good	Remove - Due to grading and infrastructure improvement	Hard lean north	City Tree
19	<i>Acer negundo</i>	Manitoba Maple	25	1220	---	Very Good	Remove - Due to building construction and excavation		Private on site
20	<i>Acer negundo</i>	Manitoba Maple	35	640	---	Good	Remove - Due to grading and infrastructure improvement		Private on site
21	<i>Tilia americana</i>	Basswood	11	520	Yes	Poor	Remove - Due to grading and infrastructure improvement		City Tree
22	<i>Tilia americana</i>	Basswood	12	540	Yes	Good	Remove - Due to grading and infrastructure improvement		City Tree
23	<i>Acer platanoides</i>	Norway Maple	15	360	---	Very Good	Remove - Due to grading and infrastructure improvement		City Tree
24	<i>Acer negundo</i>	Manitoba Maple	35	1090	Yes	Poor	Remove - Due to grading and infrastructure improvement		City Tree
25	<i>Ulmus americana</i>	American Elm	20	470	---	Good	Remove - Due to grading and infrastructure improvement		City Tree
26	<i>Ulmus americana</i>	American Elm	16	440	---	Good	Remove - Due to grading and infrastructure improvement		City Tree
27	<i>Juglans nigra</i>	Black Walnut	20	1040	---	Good	Remove - Due to grading and infrastructure improvement		City Tree
28	<i>Tilia americana</i>	Basswood	14	0	---	Dead	Remove - Due to grading and infrastructure improvement		City Tree
29	<i>Acer negundo</i>	Manitoba Maple	18	710	---	Good	Remove - Due to grading and infrastructure improvement		City Tree
30	<i>Acer negundo</i>	Manitoba Maple	19	350	---	Very Good	Remove - Due to grading and infrastructure improvement		City Tree
31	<i>Acer negundo</i>	Manitoba Maple	15	410	---	Good	Remove - Due to grading and infrastructure improvement		City Tree
32	<i>Acer negundo</i>	Manitoba Maple	11	0	---	Dead	Remove - Due to grading and infrastructure improvement		City Tree
33	<i>Rhamnus cathartica</i>	Common Buckthorn	11	810	---	Very Good	Remove - Due to grading and infrastructure improvement		City Tree
34	<i>Tilia americana</i>	Basswood	28	430	---	Poor	Remove - Due to grading and infrastructure improvement		City Tree
35	<i>Acer negundo</i>	Manitoba Maple	12	0	---	Dead	Remove - Due to grading and infrastructure improvement		City Tree
36	<i>Acer platanoides</i>	Norway Maple	11	30	---	Very Good	Remove - Due to grading and infrastructure improvement		City Tree
37	<i>Acer negundo</i>	Manitoba Maple	27	810	Yes	Poor	Remove - Due to grading and infrastructure improvement		City Tree
38	<i>Acer negundo</i>	Manitoba Maple	14	450	Yes	Very Good	Remove - Due to grading and infrastructure improvement		City Tree
39	<i>Quercus macrocarpa</i>	Burr Oak	22	220	Yes	Very Good	Remove - Due to grading and infrastructure improvement		City Tree

1 TREE PROTECTION SPECIFICATION

TPP-2 N.T.S.



2 EROSION CONTROL AND SEDIMENTATION FENCING

TPP-2 N.T.S.

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PROJECT
424 Churchill Ave

CITY OF OTTAWA

PROJECT NO:
139413
DRAWN BY:
E.I.
PROJECT MGR:
M.P.
CHECKED BY:
E.I.
APPROVED BY:
T.M.

SHEET TITLE
TREE PRESERVATION PLAN

SHEET NUMBER
TPP-2
ISSUE
3