



PROJECT INFORMATION

ZONING	RSB(2459) (H/18)	55,880.0 sq. m. 13,808 acres	601,490 sq. ft.
DEVELOPMENT TYPE	PLANNED UNIT DEVELOPMENT		
BUILDING HEIGHT		18.5 M	
FRONT YARD SETBACK		3.0 M	
CORNER SIDE YARD SETBACK		3.0 M	

BUILDING STATISTICS - EXISTING

PAVED SURFACE =	23,990.0 sq. m.	42.93%
BUILDING FOOTPRINT =	14,250.0 sq. m.	25.50%
LANDSCAPE OPEN SPACE =	17,640.0 sq. m.	31.57%
TOTAL =	55,880.0 sq. m.	100.0%

BUILDING HEIGHTS

740 SPRINGLAND	18.0 M - 6 STOREYS
790 SPRINGLAND	18.0 M - 6 STOREYS
840 SPRINGLAND	18.0 M - 6 STOREYS
2660 NORBERRY	30.0 M - 10 STOREYS

UNIT COUNT - PER BUILDING

740 SPRINGLAND	168 UNITS
790 SPRINGLAND	171 UNITS
840 SPRINGLAND	171 UNITS
2660 NORBERRY	251 UNITS

TOTAL: 761 UNITS

CAR PARKING - OVERALL SITE EXISTING

COVERED	145 SPACES
ABOVE GRADE SURFACE	88 SPACES
TOTAL	759 SPACES
RESIDENTIAL:	741 SPACES (0.97/UNIT)
VISITOR:	18 SPACES (0.02/UNIT)

BUILDING STATISTICS - PROPOSED

FRONT YARD SETBACK	REQUIRED: 3.0 M MIN. PROPOSED: VARIES - 6.0 M MIN.
CORNER SIDE YARDS SETBACK	REQUIRED: 3.0 M MIN. PROPOSED: VARIES - 6.0 M MIN.

BUILDING HEIGHTS

BUILDING 'A'	18.5 M - 6 STOREYS
BUILDING 'B'	18.6 M - 6 STOREYS
BUILDING 'C'	17.2 M - 5 STOREYS

BUILDING FOOTPRINT

BUILDING 'A'	1,225.0 m <sup>2</sup> (13,186 sq. ft.)
BUILDING 'B'	1,096.2 m <sup>2</sup> (11,799 sq. ft.)
BUILDING 'C'	3,936.5 m <sup>2</sup> (42,370 sq. ft.)
TOTAL NEW:	6,257.7 m <sup>2</sup> (67,357 sq. ft.)

UNIT COUNT - PER BUILDING

BUILDING 'A'	103 UNITS
BUILDING 'B'	94 UNITS
BUILDING 'C'	90 UNITS
TOTAL NEW:	287 UNITS

AMENITY SPACE - PER BUILDING

BUILDING 'A' - REQUIRED (8M <sup>2</sup> /UNIT, 3M <sup>2</sup> COMMON MINIMUM)	618 M <sup>2</sup>
BUILDING 'A' - PROVIDED, PRIVATE:	0 M <sup>2</sup>
BUILDING 'A' - PROVIDED, COMMON:	742 M <sup>2</sup>
BUILDING 'A' - PROVIDED, TOTAL:	742 M <sup>2</sup>
BUILDING 'B' - REQUIRED (8M <sup>2</sup> /UNIT, 3M <sup>2</sup> COMMON MINIMUM)	564 M <sup>2</sup>
BUILDING 'B' - PROVIDED, PRIVATE:	0 M <sup>2</sup>
BUILDING 'B' - PROVIDED, COMMON:	564 M <sup>2</sup>
BUILDING 'B' - PROVIDED, TOTAL:	564 M <sup>2</sup>
BUILDING 'C' - REQUIRED (8M <sup>2</sup> /UNIT, 3M <sup>2</sup> COMMON MINIMUM)	540 M <sup>2</sup>
BUILDING 'C' - PROVIDED, PRIVATE:	0 M <sup>2</sup>
BUILDING 'C' - PROVIDED, COMMON:	715 M <sup>2</sup>
BUILDING 'C' - PROVIDED, TOTAL:	715 M <sup>2</sup>

BUILDING STATISTICS - TOTAL SITE

PAVED SURFACE =	14,220.0 sq. m.	25.45%
BUILDING FOOTPRINT =	20,507.7 sq. m.	36.70%
LANDSCAPE OPEN SPACE =	21,152.3 sq. m.	37.85%
TOTAL =	55,880.0 sq. m.	100%

LOT COVERAGE

PAVED SURFACE =	14,220.0 sq. m.	25.45%
BUILDING FOOTPRINT =	20,507.7 sq. m.	36.70%
LANDSCAPE OPEN SPACE =	21,152.3 sq. m.	37.85%
TOTAL =	55,880.0 sq. m.	100%

UNIT COUNT - OVERALL

EXISTING	761 UNITS
PROPOSED	287 UNITS
TOTAL:	1048 UNITS

CAR PARKING - OVERALL PROVIDED

COVERED	248 SPACES
ABOVE GRADE SURFACE	498 SPACES
TOTAL (INCLUDES 104 VISITOR SPACES)	848 SPACES

REDUCED SIZE PARKING SPACES: 2.4 x 4.6m MIN. 369 SPACES (MAX 50% SPACES (429))

REQUIRED PARKING:	692 SPACES (0.66/UNIT)
RESIDENTIAL:	104 SPACES (0.11/UNIT AFTER 12)
VISITOR:	796 SPACES

BIKE STORAGE - NEW CONSTRUCTION ONLY

BUILDING 'A':	28 SPACES
ENCLOSED:	32 SPACES
EXTERIOR:	60 SPACES
TOTAL:	52 SPACES

BUILDING 'B':	14 SPACES
ENCLOSED:	34 SPACES
EXTERIOR:	48 SPACES
TOTAL:	47 SPACES

BUILDING 'C':	20 SPACES
ENCLOSED:	16 SPACES
EXTERIOR:	36 SPACES
TOTAL:	45 SPACES

SITE TOTAL:	144 SPACES
REQUIRED:	144 SPACES

LEGAL DESCRIPTION

TOPOGRAPHICAL PLAN OF

**BLOCK A**  
**REGISTERED PLAN 749 and**  
**BLOCK D**  
**REGISTERED PLAN 775**  
**CITY OF OTTAWA**  
Prepared by Annis, O'Sullivan, Vollebakk Ltd.

DRAWING NOTES:

- PROPERTY LINE
- 3.0m FRONTYARD SETBACK LINE
- NEW VISITOR PARKING IN EXISTING ENTRANCE DRIVEWAY
- PROPOSED PAD-MOUNT TRANSFORMER
- EXISTING VEHICLE RAMP (TO BE REPLACED)
- SEE LANDSCAPE PLAN FOR NEW LANDSCAPING
- FIRE HYDRANT - EXISTING
- 6.0 METRE WIDE FIRE ACCESS ROUTE
- SIAMESE CONNECTION
- EXTERIOR BIKE STORAGE ON CONCRETE PAD - SEE LANDSCAPE PLANS
- 1:12 SLOPE MAX. B/F RAMP C/W 620mm HIGH HANDRAIL
- EXISTING GAS METERS
- LINE OF EXISTING GARAGE TO BE REMOVED
- NEW ENTRANCE TO COVERED PARKING GARAGE - SEE FLOOR PLANS
- NEW RETAINING WALL - SEE CIVIL
- EXISTING SIDEWALK TO BE REMOVED
- EXTEND EXISTING ASPHALT SIDEWALK
- LINE OF EXISTING ENTRANCE CANOPY ABOVE
- EXISTING LOADING/GARAGE STORAGE BAY
- LINE OF 3x3M SITE TRIANGLE
- LINE OF 3x3M SITE TRIANGLE
- 2.0M WIDE CONCRETE SIDEWALK AS PER CITY STANDARDS, DEPRESSED CURBS & TWSI AT ALL INTERSECTIONS AS PER SEC 7.1
- LINE OF LIMITING DISTANCE FROM EXISTING BUILDING, UNLIMITED PERMITTED OPENINGS (7.5M)
- ENCLOSED BIKE STORAGE C/W 1.8M H. CHAIN-LINK FENCE ON CONCRETE PAD, HORIZONTAL SPACES AS PER CITY BYLAWS (1.8M/0.3M). SEE LANDSCAPE
- HATCH INDICATES LOCATION OF TEMPORARY SNOW STORAGE
- PATCH/REPAIR EXISTING ASPHALT SURFACES AS REQUIRED. SEE CIVIL FOR GRADING
- B/F PARKING SPACES, TYPE A & B AS PER CITY STANDARDS.
- SEE LANDSCAPE DRAWINGS FOR SIDEWALK DETAIL
- LINE OF NEW BELOW-GRADE GARAGE
- STEPS UP TO NEW DECK. SEE GRADING PLAN
- EXIT STAIRS, C/W PRE-FINISHED METAL HANDRAIL
- 1.83 x 3.05m PATIO, TYP.

SITE PLAN SYMBOLS:

- SIDEWALKS / WALKING SURFACE
- NOT USED
- CONCRETE PAVERS, SEE LANDSCAPE AND CIVIL
- NEW/REPAIRED ASPHALT PARKING SURFACE AND CURBS. SEE CIVIL
- TEMPORARY SNOW STORAGE LOCATION
- OPEN LANDSCAPE AREA FOR AMENITY SPACE CALCULATIONS
- PROPERTY LINE
- 3.0 M FRONT & CORNER SETBACK LINE
- 6.0 M PROP. MIN. B/LG. SETBACK LINE
- LINE OF SIGHT TRIANGLE
- EXISTING GAS LINE
- EXISTING UG HYDRO LINE
- EXISTING UG BELL LINE
- EXISTING WATER LINE
- 1.8M H. CHAINLINK FENCE
- BIKE RACK
- ENTRANCE / EXIT DOOR
- FIRE HYDRANT
- SIAMESE CONNECTION
- VEHICULAR DIRECTION
- EXISTING TREE TO BE REMOVED - SEE LANDSCAPE PLANS
- EXISTING TREE TO REMAIN
- STREET LIGHT
- EXISTING PARKING SPACE TO BE REMOVED
- EXISTING 2.8M x 5.2M PARKING SPACE
- NEW 2.8M x 5.2M PARKING SPACE
- NEW 2.4M x 5.2M PARKING SPACE, COMPLETE WITH IDENTIFICATION SIGNAGE FOR COMPACT CARS
- NEW 2.4M x 4.6M PARKING SPACE, COMPLETE WITH IDENTIFICATION SIGNAGE FOR COMPACT CARS
- NEW PAD-MOUNT TRANSFORMER

NOTE: SEE LANDSCAPE FOR ALL SURFACE MATERIAL AND PATTERN

PROJECT DEVELOPER

**GREATWISE DEVELOPMENT INC.**  
333 Wilson Avenue, Suite 200  
Toronto, ON M6H 1T2  
Tel: (416) 630 6767  
E-Mail: natan@gsworldgroup.com

URBAN PLANNER

**JD Planning**  
43 Eccles Street, Unit C  
Ottawa, ON Canada, K1R 6S3  
Tel: (613) 812-1726  
E-Mail: jessica@jdplan.ca

CIVIL ENGINEER

**Stantec Consulting Ltd.**  
400 - 1331 Clyde Avenue  
Ottawa, ON Canada, K2C 3G4  
Tel: (613) 722-4420  
www.stantec.com

LANDSCAPE ARCHITECT

**Laroque Levstek**  
5871 Hugh Crescent  
Osgoode, ON Canada, K0A 2W0  
Tel: (613) 826-0518  
E-Mail: revstek@laroquelevstek.com

SURVEYOR

**Annis O'Sullivan Vollebakk Ltd.**  
Ontario Land Surveyors  
14 Concourse Gate, Suite 500,  
Nepean, Ontario K2E 7S6  
Tel: (613) 727-0850  
Fax: (613) 727-1079  
E-Mail: EDH@aovild.com

DO NOT SCALE DRAWINGS

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK.

DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS STAMPED AND SIGNED BY THE CONSULTANT.

THESE DRAWINGS HAVE BEEN DESIGNED IN CONFORMANCE WITH THE ONTARIO BUILDING CODE.

Revisions

Revision Number	Revision Date	Revision Description
1	2021-10-07	REVISED SITE PLAN CONTROL
2	2022-05-16	REVISED SITE PLAN CONTROL
3	2022-08-17	ISSUED FOR BUILDING PERMIT
4	2022-08-19	REVISED SITE PLAN CONTROL
6	2022-11-15	SPC: CLARIFIED PARKING
7	2025-04-15	REVISED SITE PLAN CONTROL

Committee of Adjustment  
Received | Reçu le

2025-04-30

City of Ottawa | Ville d'Ottawa  
Comité de dérogation

**Alexander Wilson Architect Inc**  
Admiralty Place  
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f: 613.545.1411

Stamp



Project

**NORBERRY RESIDENCES**

2640, 2710, 2730 NORBERRY CRESCENT,  
OTTAWA, ONTARIO

Drawing

**SITE PLAN**

Drawn By \_\_\_\_\_ Checked By \_\_\_\_\_

Scale \_\_\_\_\_ Date 2025-04-15 1:32:34 PM

Project No. 2061 Revision 7

Drawing No. **A011**





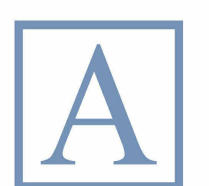
2 WEST ELEVATION  
1 : 100



1 EAST ELEVATION  
1 : 100


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4	2022-08-19	REVISED SITE PLAN CONTROL
7	2025-04-11	REVISED SITE PLAN CONTROL



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Project  
**NORBERRY RESIDENCES  
- BUILDING A**

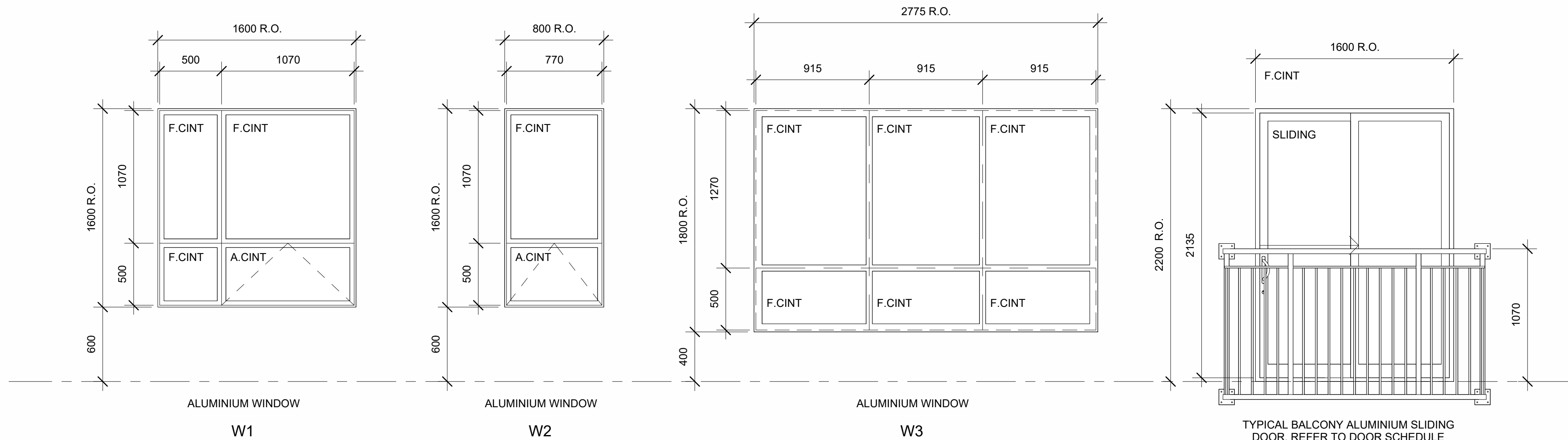
2640 NORBERRY CRESCENT,  
OTTAWA, ONTARIO

Drawing  
**ELEVATIONS - EAST &  
WEST**

Drawn By \_\_\_\_\_ Checked By \_\_\_\_\_  
Scale 1 : 100 Date 2025-04-11 10:57:32 AM  
Project No. 2061 Revision 7  
Drawing No. **A300**

1:1





## WINDOW SCHEDULE

1 : 25

A	AWNING WINDOW
ALUM	ALUMINIUM
ANOD	ANODIZED
CINT	CLEAR INSULATED TEMPERED GLASS
EQ	EQUAL
EX	EXISTING
F	FIXED GLAZING
FR	FROSTED
G	CLEAR GLASS
GALV	GALVANIZED STEEL
GW	GEORGIAN WIRE GLASS
HC	HOLLOW CORE
HM	HOLLOW METAL
INSUL	INSULATED
R.O.	ROUGH OPENING
OH	OVERHEAD DOOR
PT	PAINT
SC	SOLID CORE WOOD
ST	STEEL
STA	STAIN
CT	CLEAR TEMPERED GLASS
TBD	TO BE DETERMINED (SITE MEASURED)
WD	WOOD

### WINDOW NOTES:

- CONTRACTOR SHALL PROVIDE SIGNED AND SEALED DRAWINGS FOR THE SUPPORT OF GLAZING IN INTERIOR PARTITIONS.
- JULIETTE BALCONY GUARDRAILS TO EXTEND TO MIN. 1070 AFF. AND SECURED TO ADJACENT WALL STRUCTURE. EXACT ATTACHMENT AS RECOMMENDED AND STAMPED BY MANUFACTURER ENGINEER. POSTS, PICKETS, AND RAILS TO BE PREFINISHED ALUMINIUM. GUARDRAIL TO BE ENGINEERED TO MEET LOAD REQUIREMENTS AS PER OBC 4.15.5.15.

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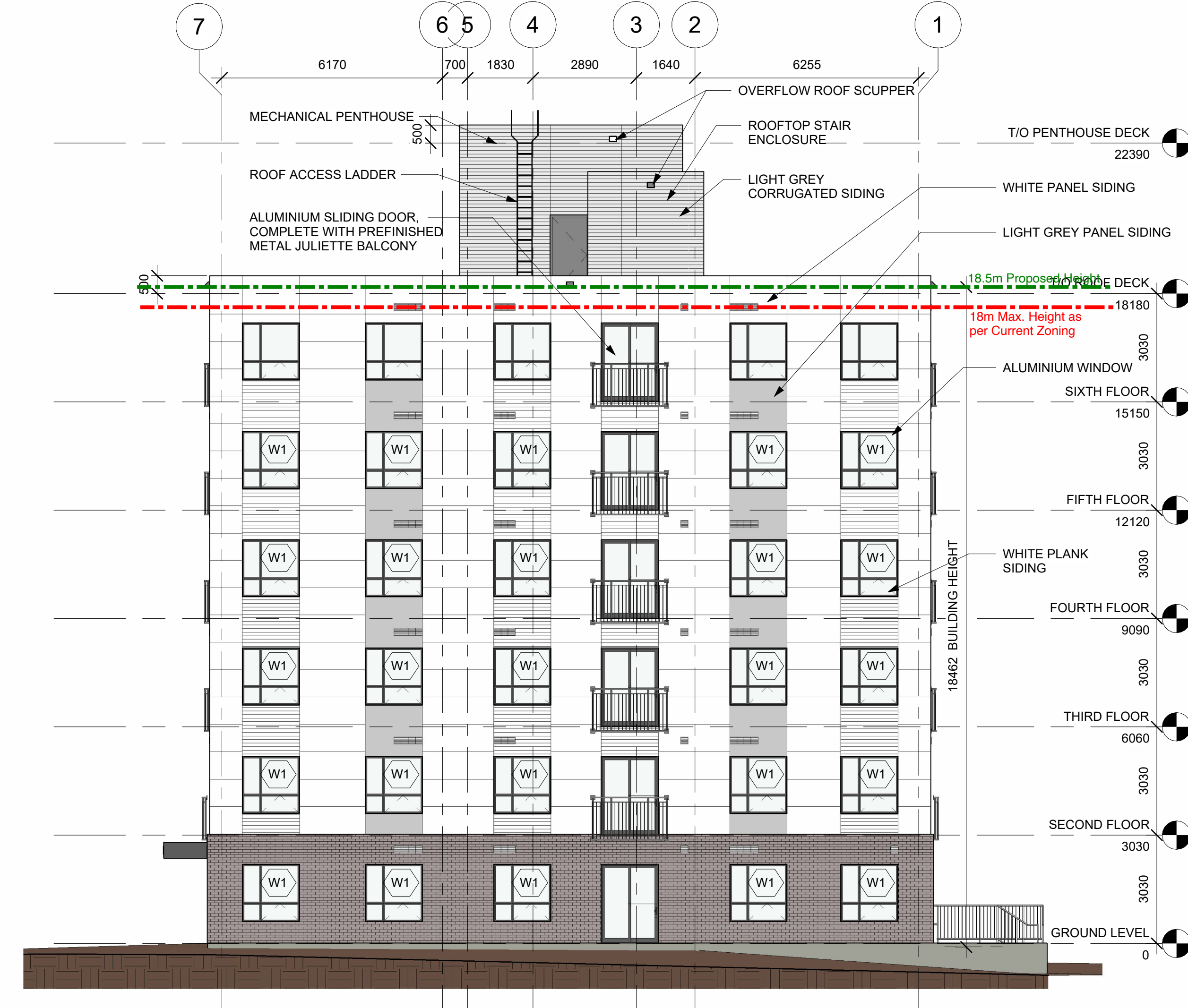
### Revisions

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1	2021-10-07	REVISED SITE PLAN CONTROL
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3	2022-08-17	ISSUED FOR BUILDING PERMIT
4	2022-08-19	REVISED SITE PLAN CONTROL
7	2025-04-11	REVISED SITE PLAN CONTROL



## SOUTH ELEVATION

1 : 100



## NORTH ELEVATION

1 : 100

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Stamp

Stamp  
ALEXANDER WILSON  
ARCHITECTS  
19462

Project

**NORBERRY RESIDENCES  
- BUILDING A**

2640 NORBERRY CRESCENT,  
OTTAWA, ONTARIO

Drawing

**ELEVATIONS - NORTH &  
SOUTH & WINDOW  
SCHEDULE**

Drawn By

Checked By

Scale

As indicated

Date

2025-04-11 10:57:48 AM

Project No.

2061

Revision

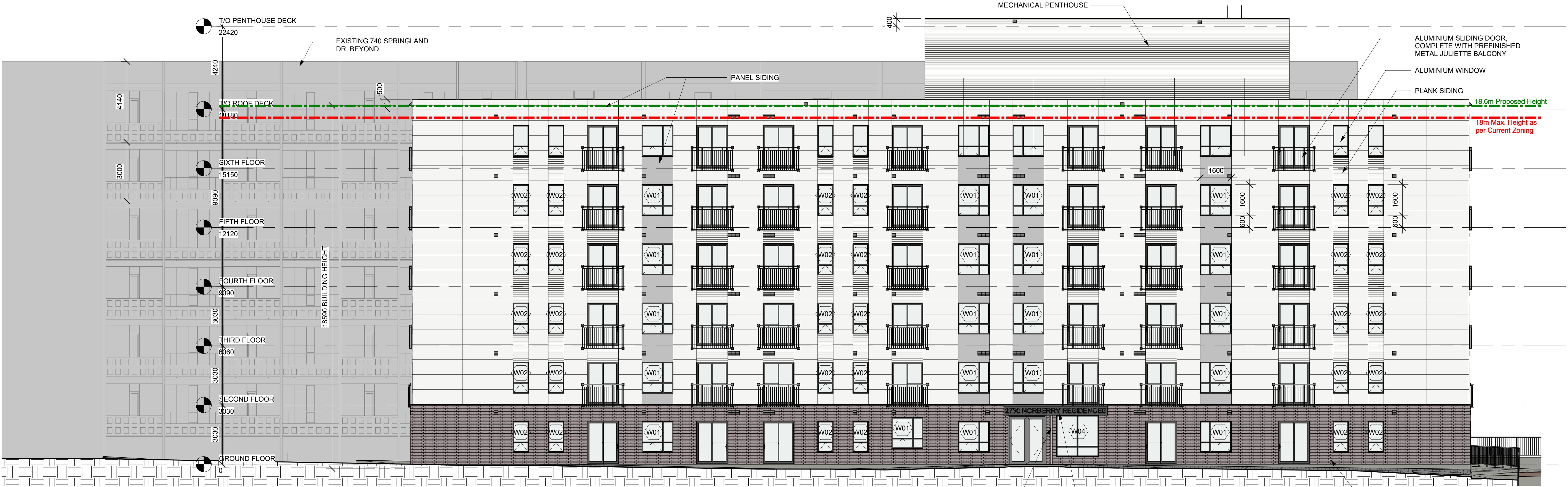
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Drawing No.

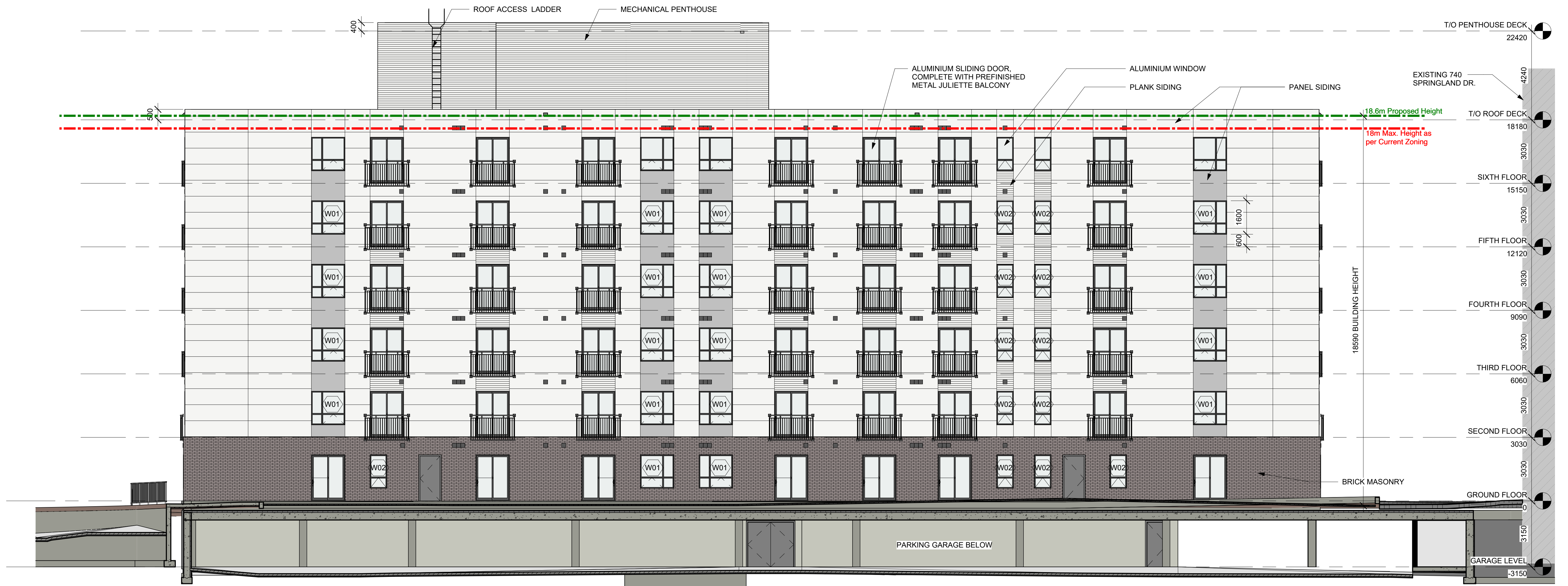
**A301**

1:1





2 SOUTH ELEVATION  
1 : 100



1 NORTH ELEVATION  
1 : 100

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CODE.

Revisions		
Revision Number	Revision Date	Revision Description
1	2021-09-27	REVISED SITE PLAN CONTROL
2	2022-05-16	REVISED SITE PLAN CONTROL
3	2022-08-19	REVISED SITE PLAN CONTROL
5	2025-04-11	REVISED SITE PLAN CONTROL

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Stamp  
ONTARIO ASSOCIATION  
OF ARCHITECTS  
ALEXANDER WILSON  
LICENCE  
5462

Project  
**NORBERRY RESIDENCES  
- BUILDING B**

2730 NORBERRY CRESCENT,  
OTTAWA, ONTARIO

Drawing  
**ELEVATIONS - NORTH &  
SOUTH**

Drawn By  
Checked By

Scale  
1 : 100  
Date  
2025-04-11 10:50:25 AM

Project No.  
2062  
Revision  
5

Drawing No.  
**A300**

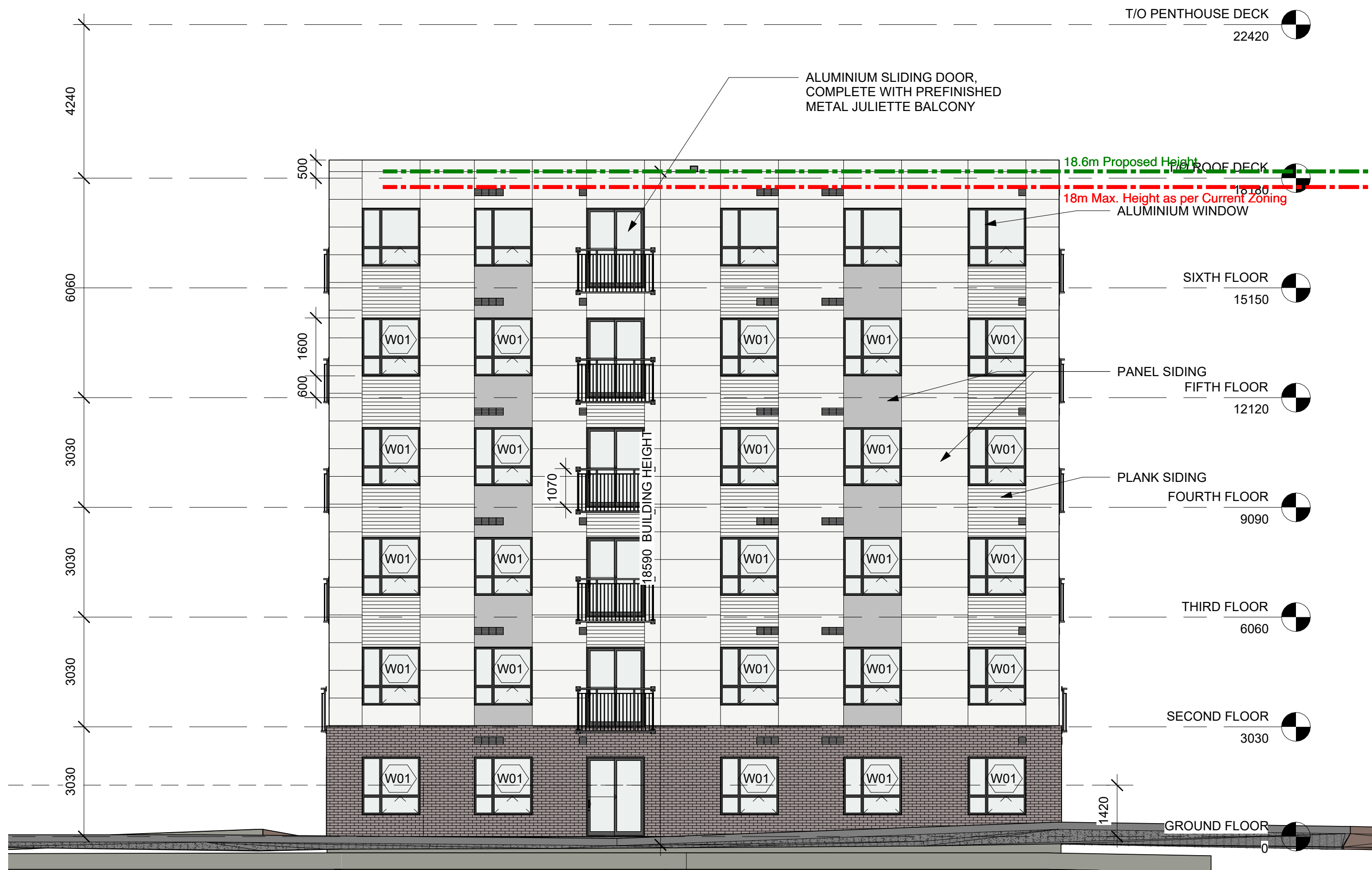
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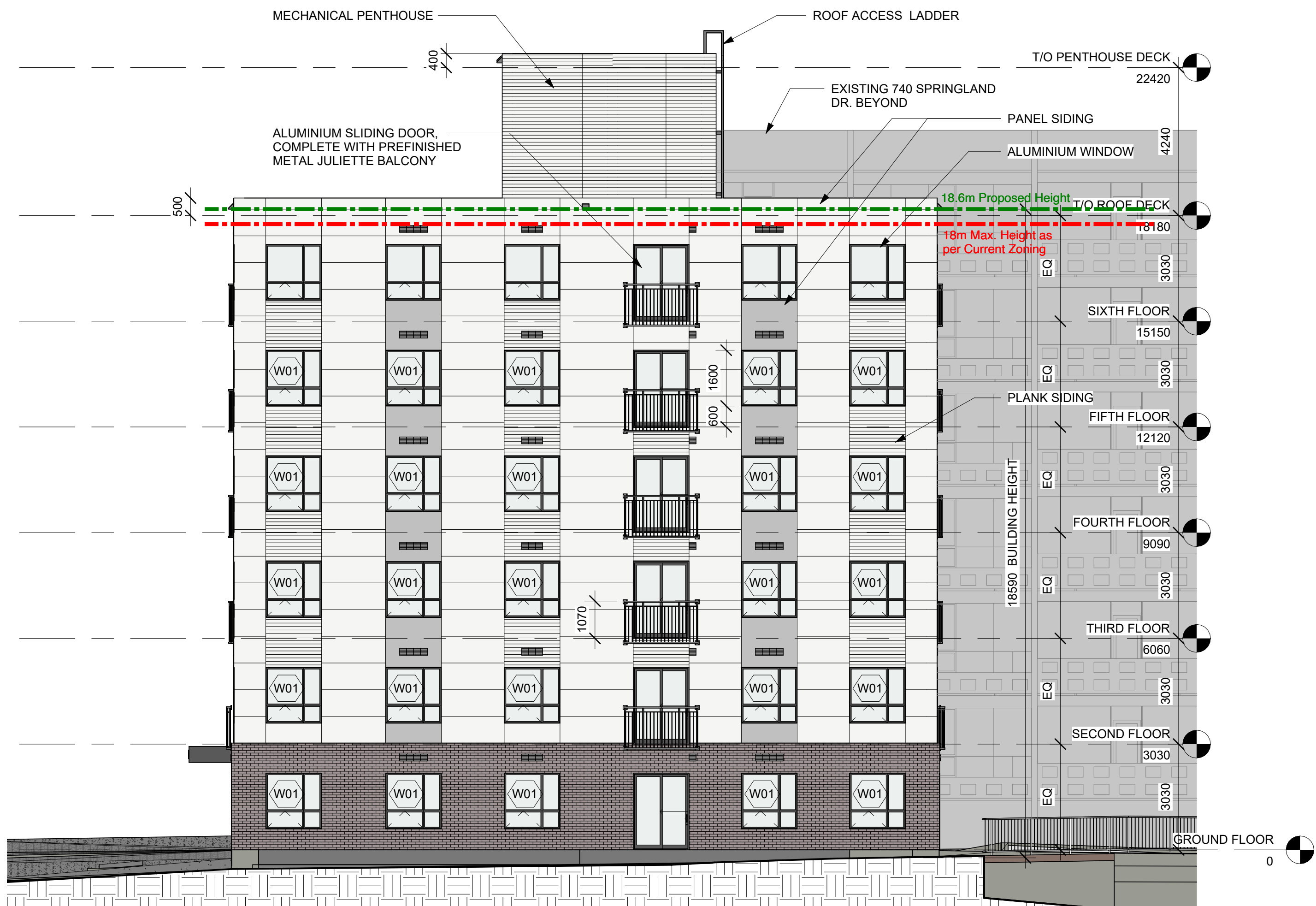
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1. CONTRACTOR SHALL PROVIDE SIGNED AND SEALED DRAWINGS FOR THE SUPPORT OF GLAZING IN INTERIOR PARTITIONS.

1 : 25



1 : 100



1 : 100

1





2 NORTH ELEVATION

1 : 100



1 SOUTH ELEVATION

1 : 100

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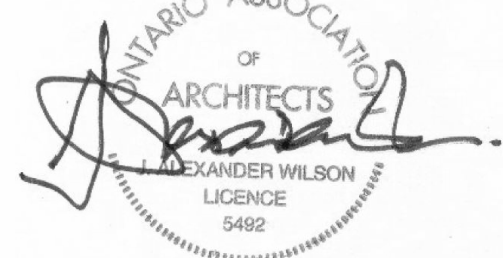
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3	2025-05-11	REVISED SITE PLAN CONTROL

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Stamp



Project

**NORBERRY RESIDENCES  
- BUILDING C**

2710 NORBERRY CRESCENT,  
OTTAWA, ONTARIO

Drawing

**ELEVATIONS - EAST &  
WEST**

Drawn By

Checked By

Scale

1 : 100

Date

2025-04-11 11:37:04 AM

Project No.

2063

Revision

3

Drawing No.

**A300**



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PROCEEDING WITH THE WORK.

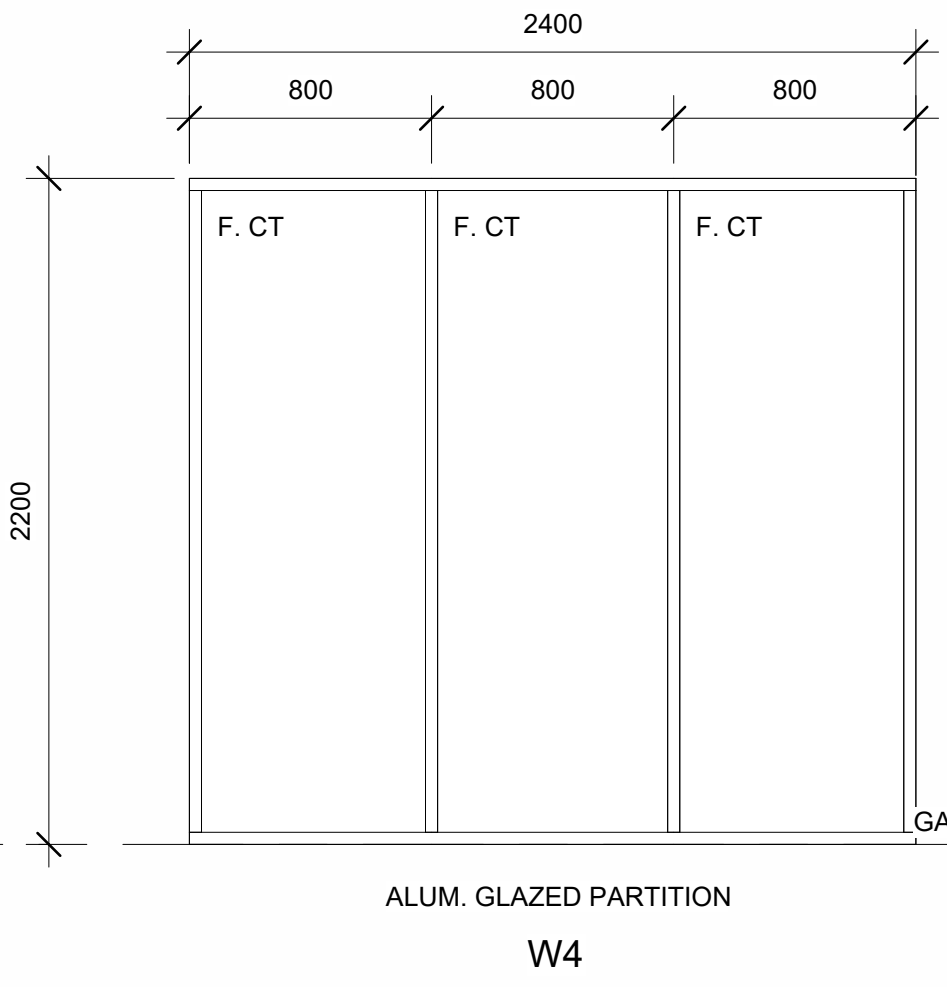
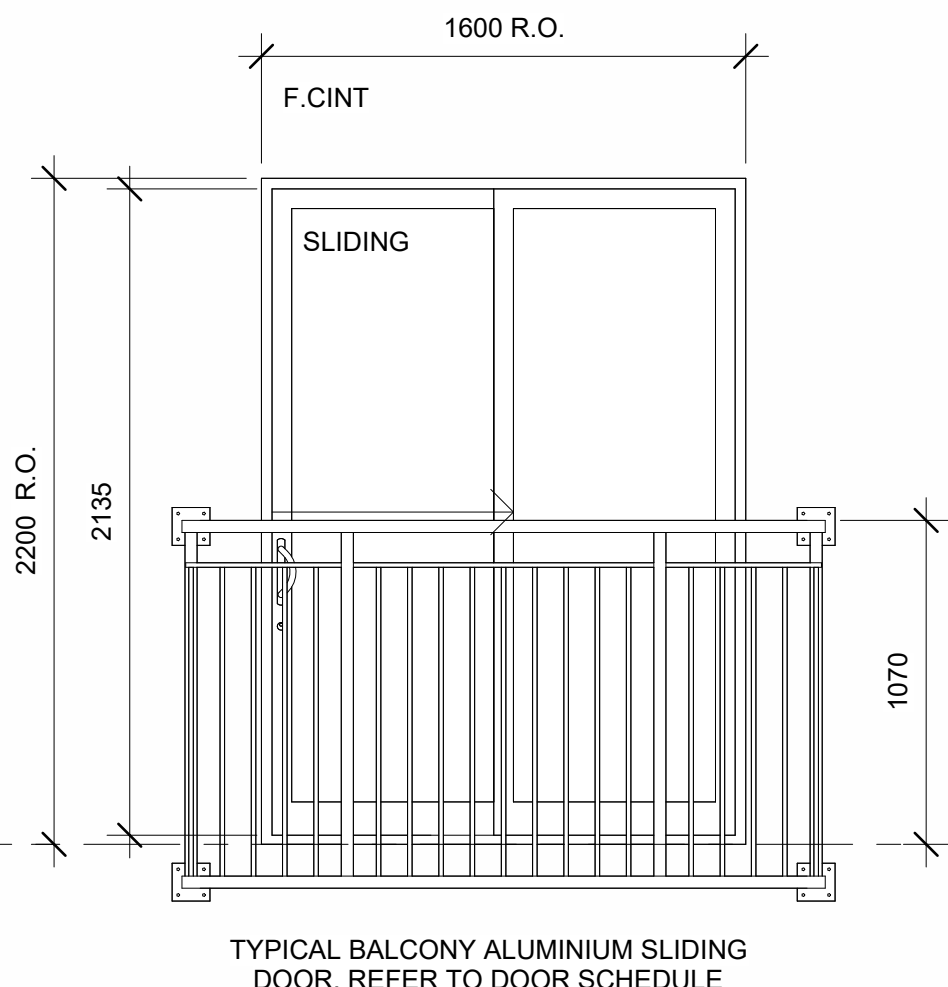
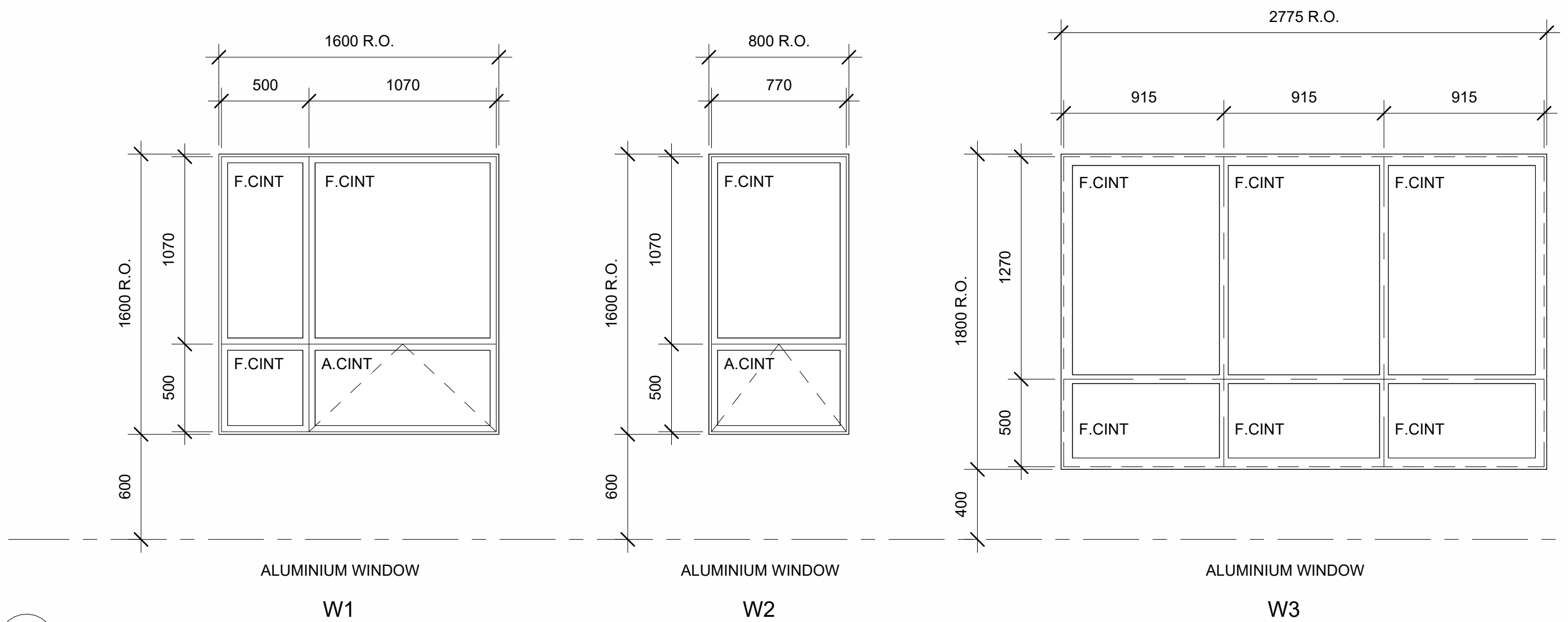
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CONFORMANCE WITH THE ONTARIO BUILDING  
CODE.

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1	2022-05-16	REVISED SITE PLAN CONTROL
2	2022-08-19	REVISED SITE PLAN CONTROL
3	2025-05-11	REVISED SITE PLAN CONTROL



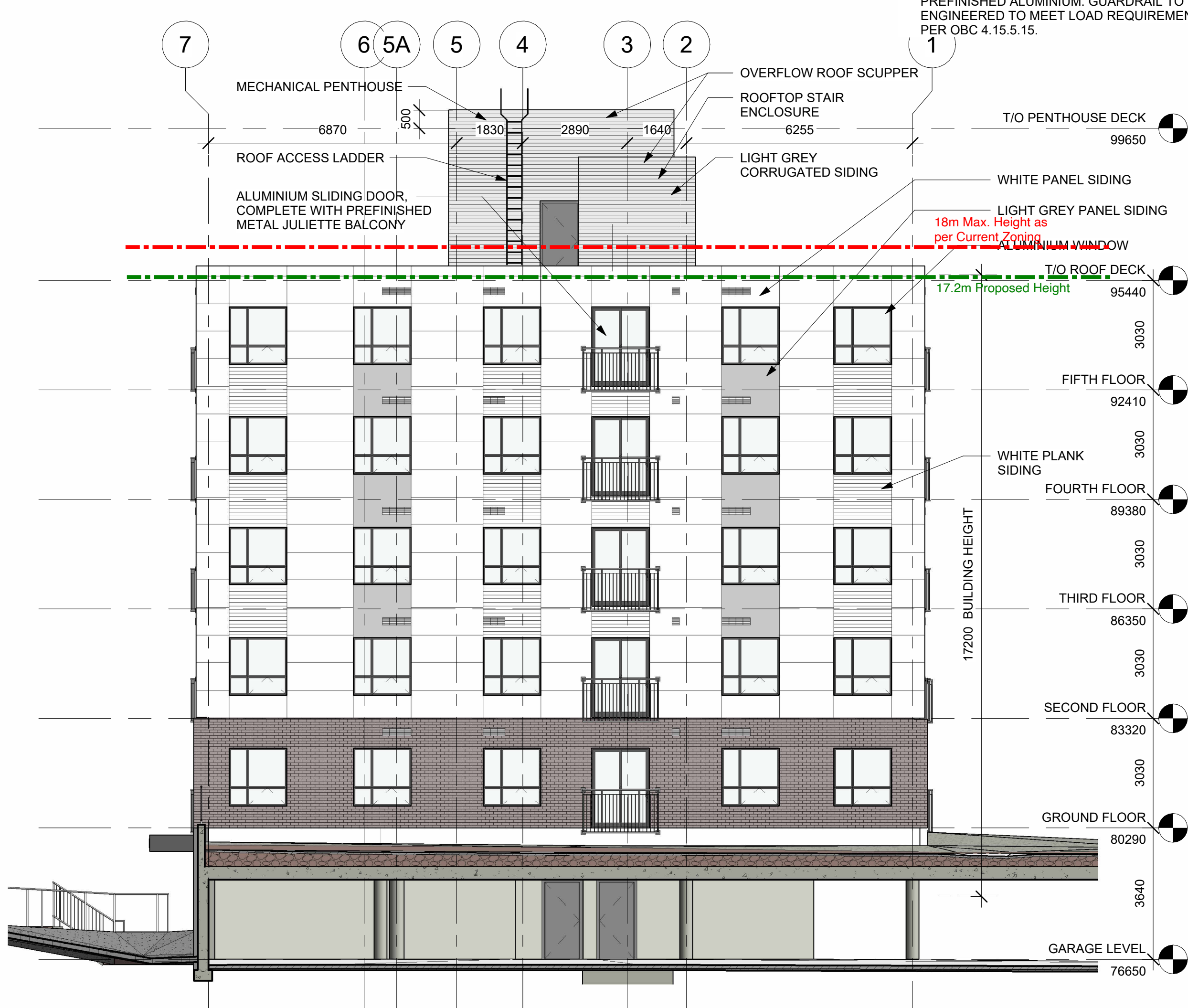
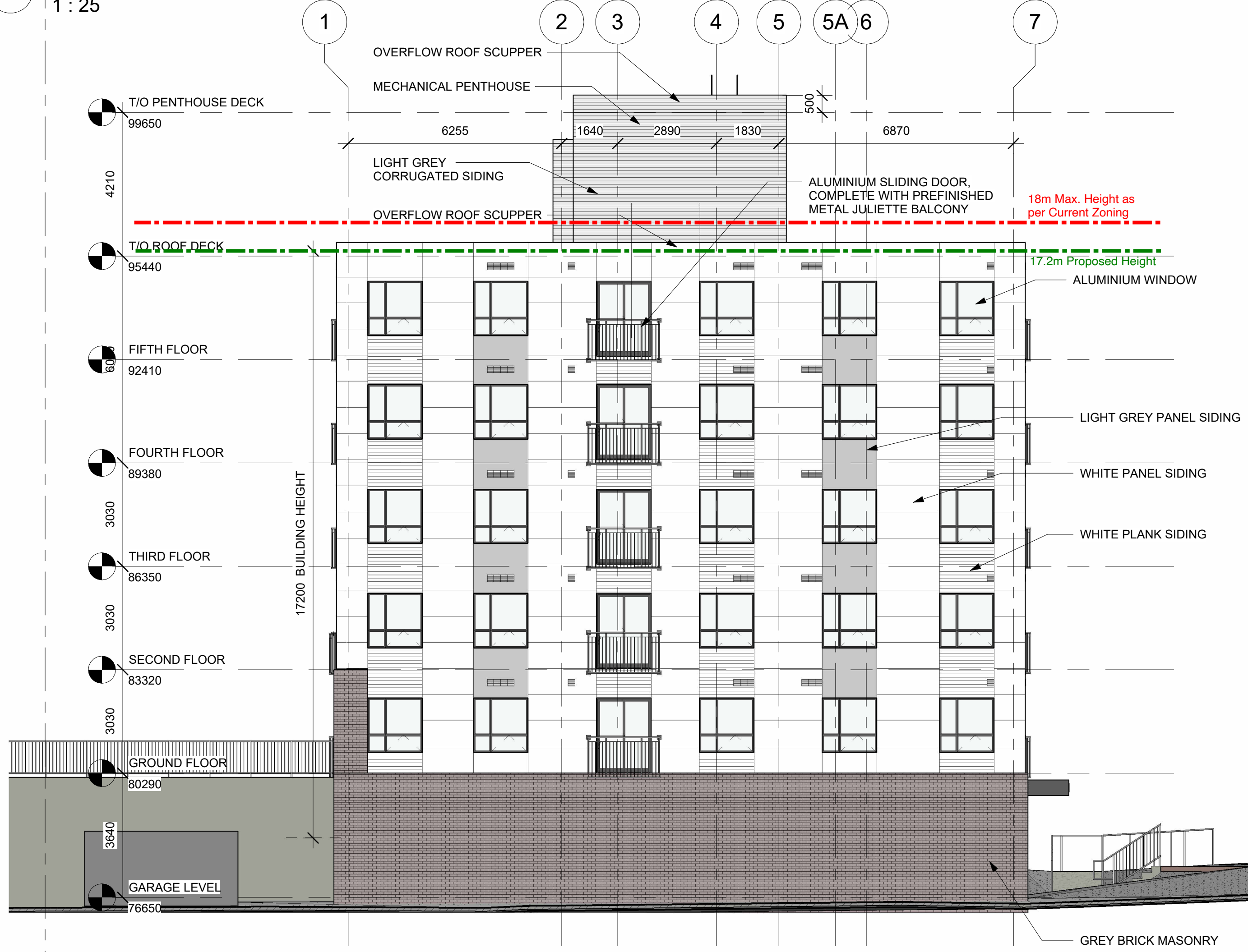
- A ALUM  
ANOD ANODIZED  
CINT CLEAR INSULATED TEMPERED GLASS  
EQ EQUAL  
EX EXISTING  
F FIXED GLAZING  
FR FROSTED  
G CLEAR GLASS  
GALV GALVANIZED STEEL  
GW GEORGIAN WIRE GLASS  
HC HOLLOW CORE  
HM HOLLOW METAL  
INSUL INSULATED  
R.O. ROUGH OPENING  
OH OVERHEAD DOOR  
PT PAINT  
SC SOLID CORE WOOD  
ST STEEL  
STA STAIN  
CT CLEAR TEMPERED GLASS  
TBD TO BE DETERMINED (SITE MEASURED)  
WD WOOD

WINDOW NOTES:

- CONTRACTOR SHALL PROVIDE SIGNED AND SEALED DRAWINGS FOR THE SUPPORT OF GLAZING IN INTERIOR PARTITIONS.
- JULIETTE BALCONY GUARDRAILS TO EXTEND TO MIN. 1070 AFF. AND SECURED TO ADJACENT WALL STRUCTURE. EXACT ATTACHMENT AS RECOMMENDED AND STAMPED BY MANUFACTURER ENGINEER. POSTS, PICKETS, AND RAILS TO BE PREFINISHED ALUMINIUM. GUARDRAIL TO BE ENGINEERED TO MEET LOAD REQUIREMENTS AS PER OBC 4.15.5.15.

P6  
WINDOW SCHEDULE

1 : 25



2  
WEST ELEVATION  
1 : 100

1  
EAST ELEVATION  
1 : 100

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Stamp

Stamp  
ALEXANDER WILSON  
ARCHITECTS  
19462

Project

NORBERRY RESIDENCES  
- BUILDING C

2710 NORBERRY CRESCENT,  
OTTAWA, ONTARIO

Drawing

ELEVATIONS - NORTH &  
SOUTH & WINDOW  
SCHEDULE

Drawn By

Checked By

Scale

As indicated

Date

2025-04-11 11:03:34 AM

Project No.

2063

Revision

3

Drawing No.

A301



TOPOGRAPHICAL PLAN OF SURVEY

**BLOCK A  
REGISTERED PLAN 749 and  
BLOCK D  
REGISTERED PLAN 775  
CITY OF OTTAWA**

Surveyed by Annis, O'Sullivan, Vollebakk Ltd.  
REVISION NOTE: Plan amended May 22, 2019

Scale 1:400  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**Surveyor's Certificate**  
I CERTIFY THAT:  
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.  
2. The survey was completed on the 30th day of April, 2019.  
  
Annis, O'Sullivan, Vollebakk Ltd.  
Ontario Land Surveyor

- Notes & Legend**
- |        |         |                                   |
|--------|---------|-----------------------------------|
| —      | Denotes | Survey Monument Planted           |
| —      |         | Survey Monument Found             |
| SIB    |         | Standard Iron Bar                 |
| SSIB   |         | Short Standard Iron Bar           |
| IB     |         | Iron Bar                          |
| CC     |         | Cut Cross                         |
| CP     |         | Concrete Pin                      |
| (WIT)  |         | Witness                           |
| Mos.   |         | Measured                          |
| (AGD)  |         | Annis, O'Sullivan, Vollebakk Ltd. |
| (PI)   |         | Registered Plan 749               |
| (P2)   |         | Registered Plan 775               |
| (P3)   |         | Plan 48-16358                     |
| (1236) |         | Plan November 11, 1996            |
| +      |         | Fire Hydrant                      |
| +      |         | Water Valve                       |
| +      |         | Water Stand Post                  |
| +      |         | Maintenance Hole (Storm Sewer)    |
| +      |         | Maintenance Hole (Sanitary)       |
| +      |         | Maintenance Hole (Underside)      |
| T/G    |         | Top of Gable                      |
| +      |         | Valve Chamber (Watermain)         |
| —      |         | Underground Storm Sewer           |
| —      |         | Underground Sanitary Sewer        |
| —      |         | Underground Water                 |
| —      |         | Underground Power                 |
| —      |         | Underground Gas                   |
| —      |         | Underground Cable                 |
| —      |         | Underground Bell                  |
| —      |         | Underground Rogers                |
| +      |         | Catch Basin                       |
| CRW    |         | Concrete Retaining Wall           |
| WRW    |         | Wooden Retaining Wall             |
| BRW    |         | Brick Retaining Wall              |
| SRW    |         | Stone Retaining Wall              |
| CSRW   |         | Concrete Block Retaining Wall     |
| IRW    |         | Interlock Retaining Wall          |
| +      |         | Bell Terminal Box                 |
| +      |         | Cable Terminal Box                |
| +      |         | Unidentified Terminal Box         |
| +      |         | Bollard                           |
| +      |         | Sign                              |
| +      |         | Diameter                          |
| +      |         | Location of Elevations            |
| +      |         | Top of Curb / Wall Elevation      |
| +      |         | Centreline                        |
| +      |         | Deciduous Tree                    |
| +      |         | Coniferous Tree                   |
| +      |         | Light Standard                    |
| +      |         | Mail Box                          |
| +      |         | Electrical Outlet                 |
| +      |         | Gas Meter                         |
| +      |         | Shrub                             |
| TOS    |         | Top of Slope                      |
| BOS    |         | Bottom of Slope                   |



Bearings are grid, derived from Can-Net 2016 Real Time Network  
GPS observations and are referenced to Specified Control Points  
0191568005 and 0191568015, MTM Zone 9 (70°30' West  
Longitude) (NAD-83 (original)).  
For bearing comparisons, a rotation of  
0°33'10" counter-clockwise was applied to bearings on plans  
P1, P2, P3 & P4.

SITE AREA = 5.5886 Hectares

**ELEVATION NOTES**  
1. Elevations shown are geoidic and are referred to the CGVD28 geoidic datum.  
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

**UTILITY NOTES**  
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.  
2. Only visible surface utilities were located.  
3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.  
4. Underground services on subject land are shown as marked on ground by MARK IT Locates Inc.