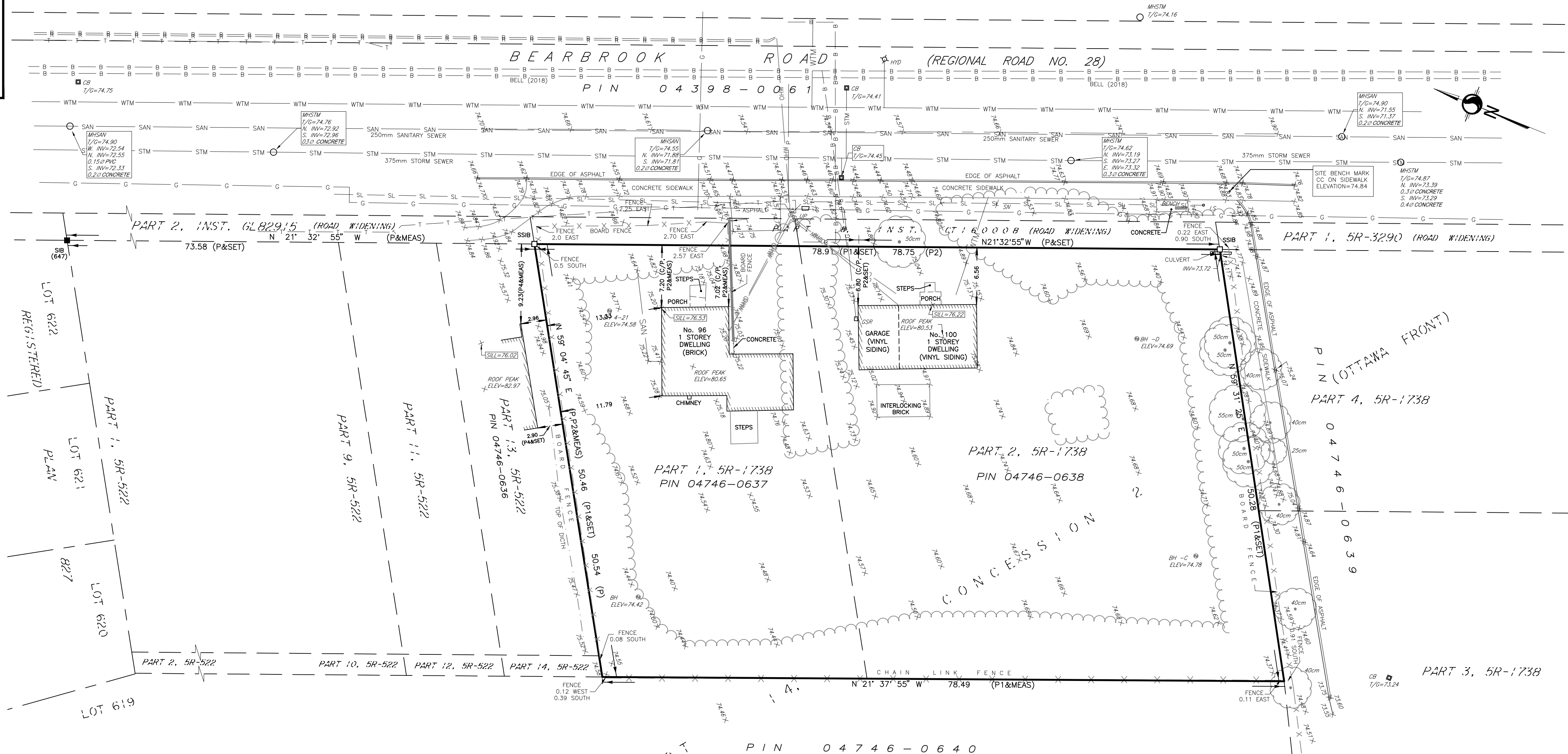


THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3)**SURVEYOR'S REAL PROPERTY REPORT**

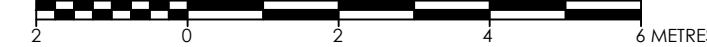
PART 1 - PLAN OF SURVEY







































**PART OF LOT 14
CONCESSION 2 (OTTAWA FRONT)**

(GEOGRAPHIC TOWNSHIP OF GLOUCESTER)

CITY OF OTTAWA

Scale 1:100

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is STRICTLY PROHIBITED.**LEGEND (IF APPLICABLE)**

	DENOTES	FOUND MONUMENTS
□	"	SET MONUMENTS
IB	"	IRON BAR
IB Ø	"	ROUND IRON BAR
SIB	"	STANDARD IRON BAR
SSIB	"	SHORT STANDARD IRON BAR
CC	"	CUT CROSS
CP	"	CONCRETE PIN
WIT	"	WITNESS
PIN	"	PROPERTY IDENTIFICATION NUMBER
MEAS	"	MEASURED
PROP	"	PROPORTIONED
OU	"	ORIGIN UNKNOWN
SG	"	STANTEC GEOMATICS LTD.
P	"	PLAN 5R-522
P1	"	PLAN 5R-1738
P2	"	PLAN BY 647 DATED MAY 18, 1971
C/	"	CALCULATED PER
	ACU	AIR CONDITIONING UNIT
	AN	ANCHOR
	BH	BOREHOLE
	BENCH	BENCH
	CB	CATCH BASIN
	DCB	DOUBLE CB
	CBMH	CB MANHOLE
	DCBMH	DOUBLE CB MANHOLE
	GP	POLE GUYWIRE
	GSR	GAS SERVICE REGULATOR
	GV	GAS VALVE
	HLS	HYDRO LIGHT STANDARD
	HM	HYDRO METER
	HTN	HYDRO TRANSFORMER
	HW	HAND WELL
	HYD	FIRE HYDRANT
	JBX	JUNCTION BOX
	LS	LIGHT STANDARD
	MB	MAILBOX
	MP	MONITORING PIN
	MH	MAINTENANCE HOLE UNIDENTIFIED
	MHSAN	MAINTENANCE HOLE SANITARY
	MHSTM	MAINTENANCE HOLE STORM
	MHT	MAINTENANCE HOLE TRAFFIC
	MW	MONITORING WELL
	SN	SIGN
	TB BELL	TERMINAL BOX - BELL
	TB CATV	TERMINAL BOX - CABLE
	TCB	TRAFFIC CONTROL BOX
	TPIT	TEST PIT
	TSL	TRAFFIC SIGNAL LIGHT
	UP	UTILITY POLE
	VB	VALVE BOX
	VC	VALVE CHAMBER
	WV	WATER VALVE
		TREE STUMP
		TREE CONIFEROUS
		TREE DECIDUOUS

TRAFFIC

UNDERGROUND TELEPHONE

WATERMAIN

GASMAIN

STORM SEWER

SANITARY SEWER

ROGERS CABLE

BELL CANADA

SRO MAP COORD.= 377912.34, 5032958.26

**Stantec Geomatics Ltd.**CANADA LANDS SURVEYORS
ONTARIO LAND SURVEYORS
1331 CLYDE AVENUE, SUITE 400
OTTAWA, ONTARIO, K2C 3G4
TEL. 613.722.4420
stantec.com

DRAWN: NJ CHECKED: KJ PM: KJ FIELD: ES/KC PROJECT No.: 161614422-110

NOTETHIS PLAN OF SURVEY IS TO BE READ IN CONJUNCTION WITH THE REPORT
SUMMARY NOTED AS PART 2 HEREON.
THIS REPORT CAN ONLY BE UPDATED BY THIS OFFICE. NO ADDITIONAL PRINTS
OF THIS ORIGINAL REPORT WILL BE ISSUED SUBSEQUENT TO THE DATE OF
CERTIFICATION.
ALL TIES ARE MINIMUM UNLESS OTHERWISE NOTED.
ALL TIES TO CURVED BOUNDARY ARE RADIAL TO ARC.
RISK OF UNDERGROUND SERVICES, MONUMENTATION PLANTED
ACCORDINGLY.**PART 2**This Report was prepared for Landric Homes and the undersigned accepts
no responsibility for the use by other parties.1. REGISTERED RIGHTS-OF-WAY/EASEMENTSNo rights-of-way or easements were found to be registered against the
subject property.2. PROPERTY IMPROVEMENTSThere are two 1 storey dwellings situate wholly within the subject lands. See
Part 1 (Plan) of this Report for further property improvements.3. COMPLIANCE WITH MUNICIPAL ZONING BYLAWS

Compliance is not certified by this report.

4. ADDITIONAL REMARKSInvert information shown hereon obtained in the field from clients
contractor**METRIC CONVERSION**DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048**BEARING NOTE**BEARINGS ARE GRID, DERIVED FROM CAN-NET VRS NETWORK GPS OBSERVATIONS ON NCC
HORIZONTAL CONTROL MONUMENTS 19773035 AND 19680191, CENTRAL MERIDIAN, 76° 30'
WEST LONGITUDE MTM ZONE 9, NAD83 (ORIGINAL).19773035 N:5006060.42 E:324888.04
19680191 N:5033564.26 E:388064.94FOR BEARING COMPARISONS, A ROTATION OF 0°41'05" COUNTER-CLOCKWISE HAS BEEN
APPLIED TO BEARINGS ON (P) AND A ROTATION OF 0°41'25" COUNTER-CLOCKWISE HAS
BEEN APPLIED TO BEARINGS ON (P1).**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT,
THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 28th DAY OF JULY, 2021.

July 30, 2021

DATE

FRANCIS LAU
ONTARIO LAND SURVEYOR

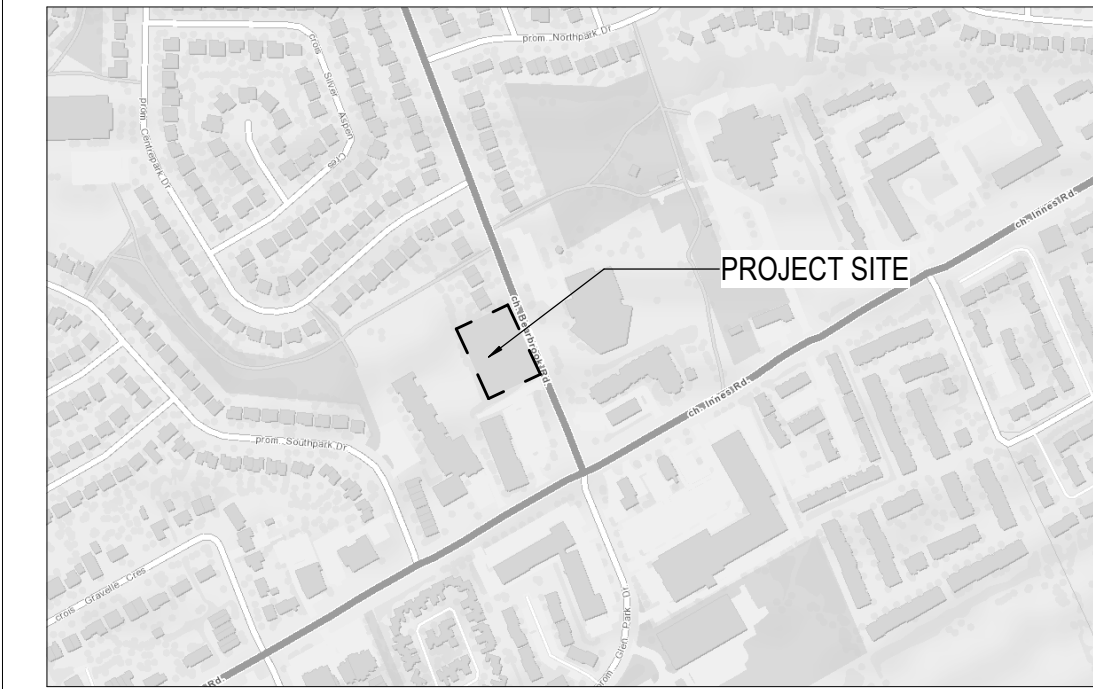
TOPOGRAPHIC PLAN OF SURVEY OF
PART OF LOT 14, CONCESSION 2
(OTTAWA FRONT) GEOGRAPHIC TOWNSHIP
OF GLOUCESTER, CITY OF OTTAWA
Stanec Geomatics Ltd.

SURVEY INFO
SCALE: NTS

- SITE PLAN SYMBOLS LEGEND**
- | | | | |
|--|----------------------------|--|-----------------------------------|
| | BUILDING ENTRANCE | | FIRE DEPARTMENT CONNECTION |
| | BUILDING EXIT | | FIRE HYDRANT |
| | BICYCLE PARKING | | NEW LIGHT STANDARD |
| | INTERLOCKING STONE PAVERS | | LIGHT STANDARD TO BE REMOVED |
| | UTILITY POLE | | EXISTING LIGHT STANDARD TO REMAIN |
| | UTILITY POLE TO BE REMOVED | | EXISTING TRAFFIC SIGNAL POST |
| | PROPERTY LINE | | OVERHEAD WIRE |
| | SETBACK LINE | | OHW |
| | | | EXISTING FENCE TO BE REMOVED |
| | | | X |
- SITE PLAN NOTES**
- S1 ASPHALT DRIVEWAY
S2 OUTLINE OF UNDERGROUND PARKING LEVEL
S3 EXISTING CONCRETE SIDEWALK
S4 PROPOSED CONCRETE SIDEWALK
S5 CONCRETE RAMP WITH HERRINGBONE & SNOW MELT
S6 RETAINING WALL WITH PAINTED STEEL GUARDS AT 600mm GRADE DIFFERENCE AND HIGHER
S7 CURB TRANSITION
S8 SOFT LANDSCAPING
S9 APPROXIMATE LOCATION OF TRANSFORMER AND SWITCH GEAR. REFER TO ELEC.
S10 LIGHT STANDARD ON 450mm DIA CONCRETE BASE. REFER TO ELEC.
S11 BOLLARDS FOR EV CHARGER PROTECTION REFER TO ELECTRICAL COORDINATE BOLLARD
S12 PLACEMENT WITH EV CHARGER REQUIREMENTS
S13 RAISED PLANTER, REFER TO LANDSCAPE
S14 PROPERTY LINE
S15 PRIVATE PATIO
S16 PATIO RAILING, REFER TO LANDSCAPE
S17 VISITOR BIKE PARKING

SITE STATISTICS		
Current Zoning Designation:	AM11	
Lot Width:	78.9m	
Total Lot Area:	3914.1m ²	
Average Existing Grade:	74.7m	

Proposed Development - 8 Storey Mid-Rise Apartment Building		
No. of units	164 Units	
Zoning Mechanism	Required	Provided
Minimum Lot Width (186(1))	No Minimum	78.9m
Minimum Lot Area (186(1))	No Minimum	3914.1m ²
Min. Front Yard Setback (186(1))	3m 2m additional at or above 5th storey / 18m	3m up to 9.5m 5m at 3rd storey / 9.5m and above
Corner Side Yard Setback (186(1))	3m 2m additional at or above 5th storey / 18m	N/A
Min. Interior Side Yard Setback (186(1))	3m abutting residential zone for 20m past the street 7.5m past 20m from the street 0m where abutting non-residential zone	8.1m 1.5m
Min. Rear Yard Setback (186(1))	10m	16.1m
Maximum Building Height (186(1))	30.0m	25.09m
Building Frontage (186(1))	39.45m 50% of frontage along front lot line	43.1m
Parking Space Rates (Residents) 101 (Sch. 1A - Area C)	177 Spaces 12 / unit for 164 units - Table 101(R15) - 10% Section 101(6)	180 Spaces
Minimum Visitor Parking Rates 102 (Sch. 1A - Area C)	33 Spaces 0.2 spaces / unit for 163 units - Table 102	33 Spaces
Bicycle Parking Rates (Residents) Table 111A (Sch. 1 - Area C)	82 Spaces 0.5 spaces / unit for 164 units(111A(b)(i))	82 Spaces
Total Amenity Area Table 137(5)(i)	986m ² 60m ² / unit for 164 units	1318.08m ²
Communal Amenity Area Table 137(4)(i)	492m ² Min. 50% of Total Amenity Area	492.5m ²



1 LOCATION PLAN

SCALE: NTS

UNIT COUNT											
BEDS	LVL.1	LVL.2	LVL.3	LVL.4	LVL.5	LVL.6	LVL.7	LVL.8	TOTAL	%	
1 BED	3	7	7	12	12	12	12	12	77	52%	
1 BED + DEN	9	8	8	1	1	1	1	1	30	11%	
2 BED	2	5	5	4	4	4	4	4	32	20%	
STUDIO	1	2	2	4	4	4	4	4	25	16%	
TOTAL	15	22	22	21	21	21	21	21	164	100%	

AMENITY AREAS (COMMUNAL)			
LEVEL	NAME	AREA (M)	AREA (SF)
LEVEL 01	AMENITY ROOM	237.59 m ²	2557.38 SF
LEVEL 01	OUTDOOR AMENITY AREA	254.91 m ²	2743.87 SF
TOTAL		492.50 m ²	5301.25 SF

LEASABLE FLOOR AREA		
LEVEL	AREA	AREA (SF)
LEVEL 01	1102.55 m ²	11868 SF
LEVEL 02	1462.76 m ²	15745 SF
LEVEL 03	1462.76 m ²	15745 SF
LEVEL 04	1277.97 m ²	13756 SF
LEVEL 05	1277.97 m ²	13756 SF
LEVEL 06	1277.97 m ²	13756 SF
LEVEL 07	1277.97 m ²	13756 SF
LEVEL 08	1277.97 m ²	13756 SF
TOTAL	10417.80 m ²	112137 SF

AMENITY AREAS (PRIVATE)		
LEVEL	AREA (M)	AREA (SF)
LEVEL 01	96.55 m ²	1050.75 SF
LEVEL 02	90.18 m ²	970.64 SF
LEVEL 03	90.18 m ²	970.64 SF
LEVEL 04	154.39 m ²	1661.79 SF
LEVEL 05	98.07 m ²	1055.66 SF
LEVEL 06	98.07 m ²	1055.66 SF
LEVEL 07	98.07 m ²	1055.66 SF
LEVEL 08	98.07 m ²	1055.66 SF
TOTAL	825.58 m ²	8886.49 SF

GROSS FLOOR AREA		
LEVEL	AREA	AREA (SF)
LEVEL 01	1595.13 m ²	17170 SF
LEVEL 02	1593.12 m ²	17148 SF
LEVEL 03	1593.12 m ²	17148 SF
LEVEL 04	1400.26 m ²	15072 SF
LEVEL 05	1400.26 m ²	15072 SF
LEVEL 06	1400.26 m ²	15072 SF
LEVEL 07	1400.26 m ²	15072 SF
LEVEL 08	1400.26 m ²	15072 SF
TOTAL	11782.80 m ²	126828 SF

PARKING SCH. (BICYCLE)		
LEVEL	COUNT	
Level P1	76	
LEVEL 01	6	
TOTAL	82	

PARKING SCH. (VEHICLE)		
LEVEL	COUNT	
Level P2	92	
Level P1	88	
LEVEL 01	33	
TOTAL	213	

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 - Upon notice in writing, the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architectural Drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
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KEY PLAN

1 ISSUED FOR CLIENT REVIEW 2025-04-25

ISSUE RECORD



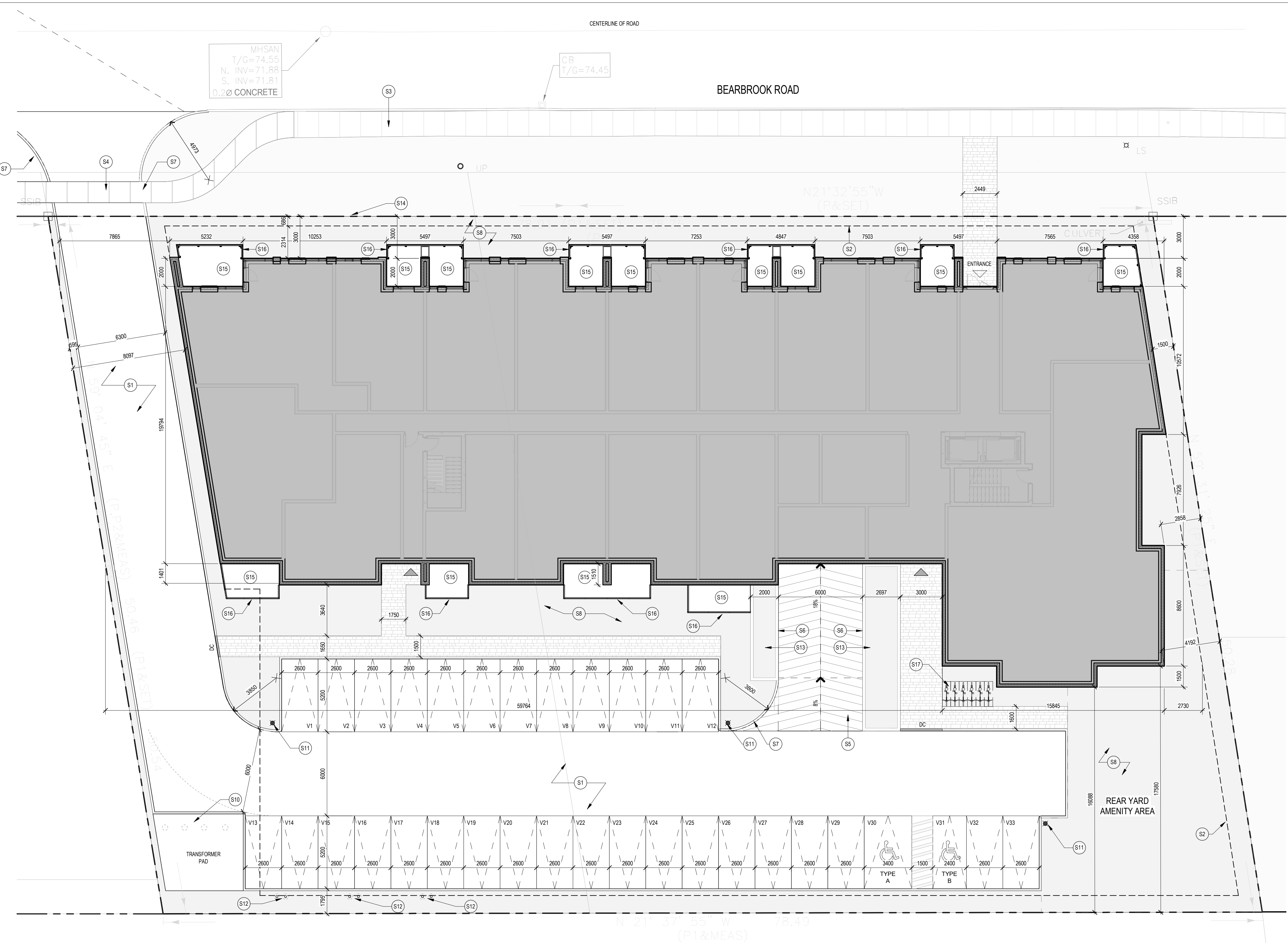
98 BEARBROOK

98 BEARBROOK ROAD
OTTAWA, ON

PROJ SCALE DRAWN REVIEWED
2502 NOTED CG RMK

SITE PLAN

SP-01



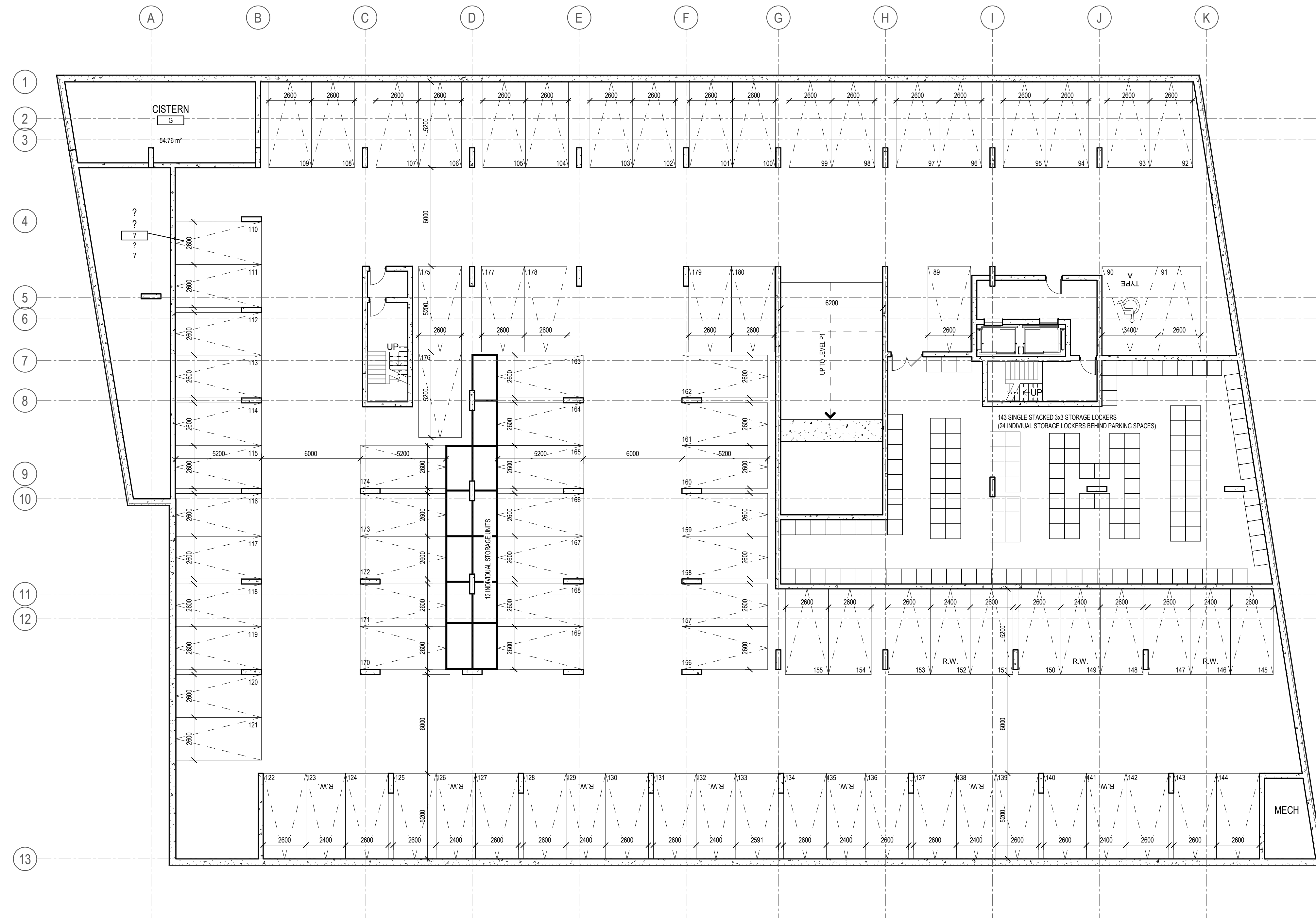
4 SITE PLAN

SCALE: 1 : 150

FLOOR/ROOF PLAN NOTES

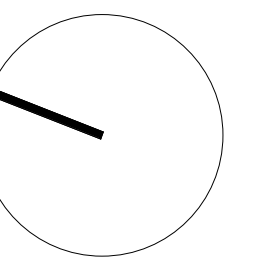
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KEY PLAN



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studio

Project1 Studio Incorporated
613.884.3939 | mail@project1studio.ca

98 BEARBROOK

98 BEARBROOK ROAD
OTTAWA, ON

PROJ	SCALE	DRAWN	REVIEWED
2502	NOTED	CG	RMK

LEVEL P2 FLOOR PLAN

A100.1

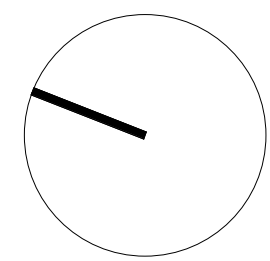
1 LEVEL P2 FLOOR PLAN
A100.1 SCALE: 1 : 150

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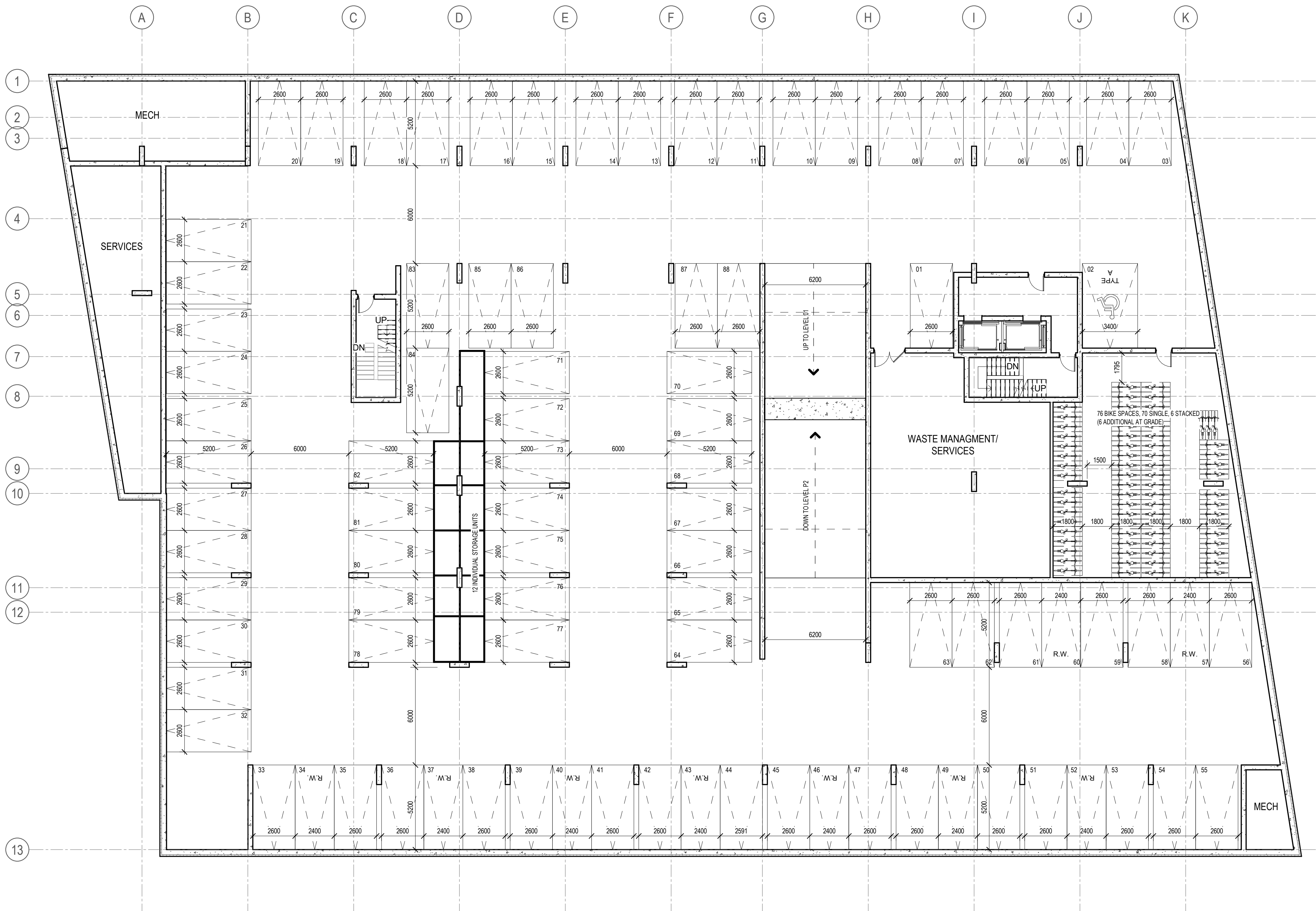
98 BEARBROOK

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OTTAWA, ON

PROJ	SCALE	DRAWN	REVIEWED
2502	NOTED	CG	RMK

LEVEL P1 FLOOR PLAN

A100.2





ELEVATION NOTES

CLADDING LEGEND

- | | | |
|--|---|---------------------------------|
| | 1 | ALUMINUM PANEL
BRONZE FINISH |
| | 2 | ALUMINUM PANEL
DARK GREY |
| | 3 | BRICK
DARK BROWN |
| | 4 | BRICK
TAUPE |
| | 5 | BRICK
LIGHT TAUPE |
| | 6 | PRE-CAST CONCRETE
DARK GREY |
| | 7 | ALUMINUM AND GLASS RAILING |
| | 8 | PRIVACY SCREEN
FROSTED GLASS |

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KEY PLAN

3	ISSUED FOR COORDINATION	2025-05-08
1	ISSUED FOR CLIENT REVIEW	2025-04-25

ISSUE RECORD

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(613.884.3939 | mail@project1studio.ca)

98 BEARBROOK

98 BEARBROOK ROAD
OTTAWA, ON

PROJ	SCALE	DRAWN	REVIEWED
2502	NOTED	BH	RMK

SOUTH & EAST ELEVATIONS

A200

2 SOUTH ELEVATION
A200 SCALE: 1 : 150



1 EAST ELEVATION
A200 SCALE: 1 : 150



ELEVATION NOTES

CLADDING LEGEND

- | | | |
|--|---|---------------------------------|
| | 1 | ALUMINUM PANEL
BRONZE FINISH |
| | 2 | ALUMINUM PANEL
DARK GREY |
| | 3 | BRICK
DARK BROWN |
| | 4 | BRICK
TAUPE |
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KEY PLAN

2 NORTH ELEVATION
A201 SCALE: 1 : 150



1 WEST ELEVATION
A201 SCALE: 1 : 150

3 ISSUED FOR COORDINATION 2025-05-08

ISSUE RECORD

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98 BEARBROOK

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OTTAWA, ON

PROJ	SCALE	DRAWN	REVIEWED
2502	NOTED	BH	RMK

NORTH & WEST ELEVATIONS

A201