

SURVEYOR'S REAL PROPERTY REPORT

PART 1 Plan of

LOT 48
REGISTERED PLAN 587
CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Scale 1 : 150

6 4.5 3.0 1.5 0 3 6 Metres

Metric

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

PART 2

THIS PLAN MUST BE READ IN CONJUNCTION WITH
SURVEY REPORT DATED: April 14, 2025

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to
16322263 Canada Inc. ("The Client"), their solicitors,
mortgagees, and other related parties, permission to use original, signed, sealed
copies of the Surveyor's Real Property Report in transactions involving The Client.

Notes & Legend

Denotes	
□	Survey Monument Planted
■	Survey Monument Found
SIB	Standard Iron Bar
SSIB	Short Standard Iron Bar
IB	Iron Bar
IB#	Round Iron Bar
(WIT)	Witness
Meas.	Measured
(AOG)	Annis, O'Sullivan, Vollebakk Ltd.
Acc.	Accepted
U/S	Underside
(P1)	Registered Plan 587
(P2)	(1692) Plan dated February 10, 2025
(P3)	(990) Plan dated October 8, 1999
(P4)	(1692) Plan dated July 30, 2007
(P6)	(AOG) Plan dated August 15, 1990
(P7)	(990) Plan dated September 14, 1999
○ MH-ST	Maintenance Hole (Storm Sewer)
○ MH-S	Maintenance Hole (Sanitary)
□ CB	Catch Basin
○ UP	Utility Pole
Fdn.	Foundation
— OHW	Overhead Wires
○ FH	Fire Hydrant
Inv.	Invert
T/G	Top of Grate
□ GM	Gas Meter
□ HM	Hydro Meter
CLF	Chain Link Fence
BF	Board Fence
MF	Metal Fence
EOA	Edge of Asphalt
TOS	Top of Slope
BOS	Bottom of Slope
○ MP	Metal Pole
+ 65.00'	Location of Elevations
+ 65.00'	Top of Retaining Wall Elevation
C/L	Centreline
—	Property Line
○	Deciduous Tree
★	Coniferous Tree
□ AC	Air Conditioner
RWS	Stone Retaining Wall
RWT	Timber Retaining Wall

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-103831

THIS PLAN IS NOT VALID UNLESS
IT IS AN EMBOSSED ORIGINAL
COPY ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29 (3).

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS
observations and are referenced to Specified Control Points 01919760735
and 01919871649, MTM Zone 9 (76°30' West Longitude) NAD-83
(original).

Plans (P1), (P3) AND (P7) are astronomic.

For bearing comparisons, a rotation of 01°09'50" counter-clockwise was
applied to bearings on plan (P1), (P3) & (P7).

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ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
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Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: nepean@osvll.com

Surveyor's Certificate

I CERTIFY THAT:

- This survey and plan are correct and in accordance with the Surveys
Act and the Surveyors Act and the regulations made under them.
- The survey was completed on the 9th day of April, 2025.

April 14, 2025
Date

V. Andrew Shelp
Ontario Land Surveyor

○ MH-ST
TVG-64.21

○ MH-ST
TVG-64.49

ELEVATION NOTES

- Elevations shown are geodetic and are referred to the CGVD28 geodetic datum,
referencing Monument No. G-143, Index No. 311, having a published elevation of
60.640m.
- It is the responsibility of the user of this information to verify that the job benchmark
has not been altered or disturbed and that its relative elevation and description
agrees with the information shown on this drawing.

UTILITY NOTES

- This drawing cannot be accepted as acknowledging all of the utilities and it will
be the responsibility of the user to contact the respective utility authorities for
confirmation.
- Only visible surface utilities were located.
- A field location of underground plant by the pertinent utility authority is
mandatory before any work involving breaking ground, probing, excavating etc.

Committee of Adjustment
Received | Reçu le

2025-05-14

City of Ottawa | Ville d'Ottawa
Comité de dérogation

Topographic data was collected under Winter Conditions.
Snow cover and ice preclude determining location and
elevation of some topographical data that is otherwise visible.

Site Benchmark
FH Top of Spindle
Elev. = 65.23

SITE PLAN

655 DONAT ST

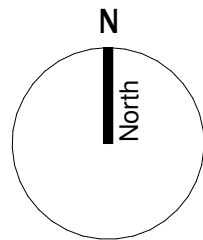
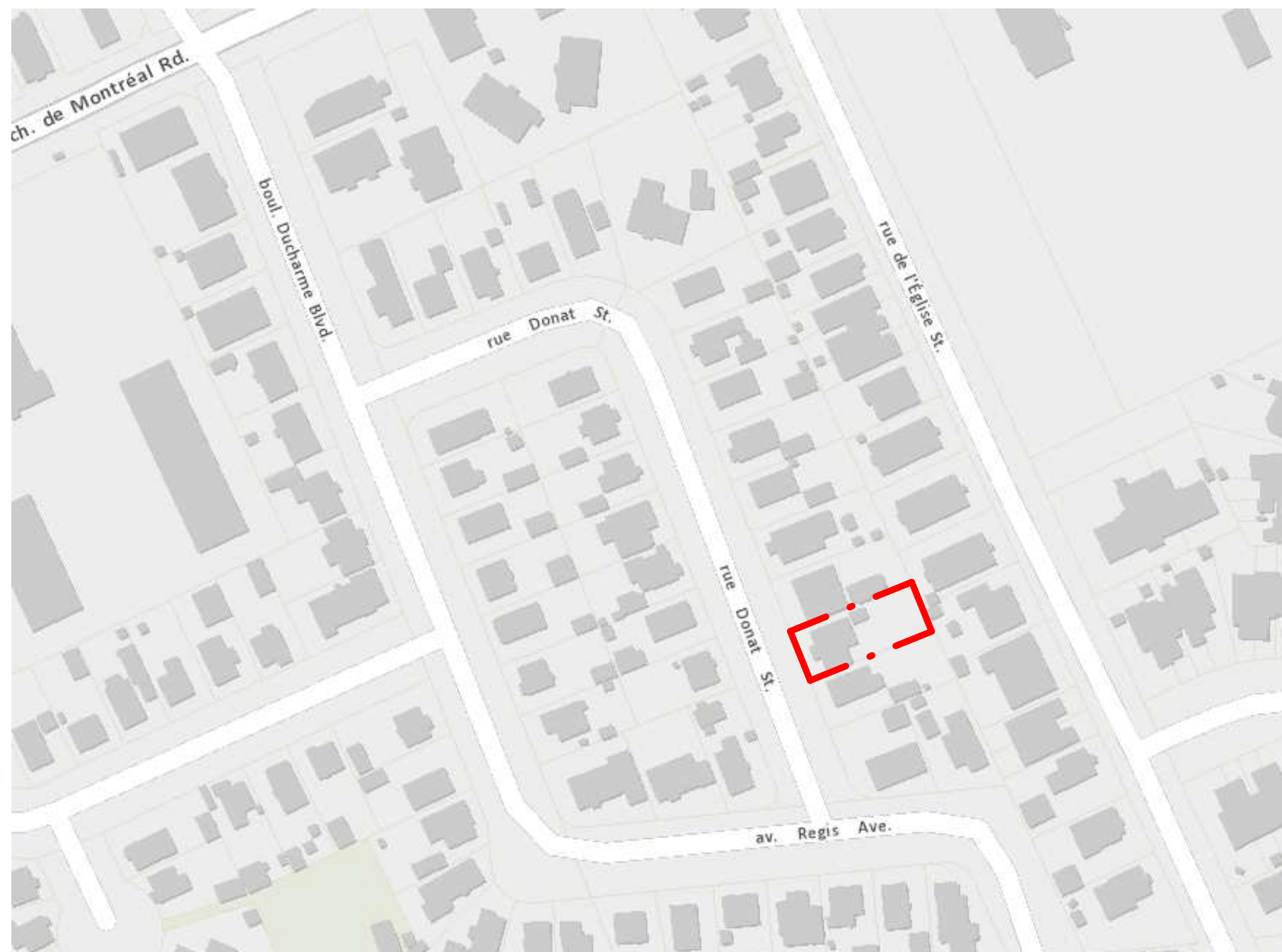
*THIS PLAN MUST BE READ IN CONJUNCTION WITH THE GRADING PLAN AND LEGAL SURVEY

ZONING ANALYSIS

R4UA ZONING REQUIREMENTS

ZONING MECHANISM	REQUIRED (M)	PROPOSED (M)	COMPLIANCE (YES/NO)
LOT WIDTH:	12	15.24	YES
LOT AREA:	360 m ²	580 m ²	YES
HEIGHT LIMIT:	11	11	YES
SETBACKS			
FRONT YARD:	4.5	4.5	YES
REAR YARD:	11.28 (30%)	12.08	YES
SIDE YARDS:	1.5	1.68	YES
SOFT LANDSCAPING:			
(FRONT YARD):	40%	41.3%	YES
(REAR YARD):	50%	99.2%	YES
TOTAL LOT AREA:	30%	39.8%	YES
WALKWAYS:			
PRIMARY:	1.8 m MAX	1.2 - 1.45 max.	YES
WASTE COLLECTION:	2.2 MAX	1.2 - 1.45 max.	YES
Maximum number of permitted dwelling units per apartment building, low-rise is eight (8).	(8).	10	NO (RELIEF REQUIRED)

KEY PLAN



LOT: 48
REGISTERED PLAN: 587

*THIS PLAN MUST BE READ IN CONJUNCTION WITH THE GRADING PLAN AND LEGAL SURVEY

DEVELOPMENT REQUIREMENTS

TOTAL NUMBER OF UNITS: 10 UNITS
(5) 1 BED UNITS: 50%
(5) 2 BED UNITS: 50%

DWELLING UNIT SIZES:	UNIT TYPE A:	1 BED	45.9 m ² (494 ft ²)
	UNIT TYPE B:	1 BED BARRIER FREE	62.6 m ² (674 ft ²)
	UNIT TYPE C:	2 BED	85-94 m ² (915-1,015 ft ²)

BUILDING AREAS

BUILDING GROSS FLOOR AREA: 653 m² (7,037 ft²)
*TOTAL AREA OF ALL FLOORS ABOVE GRADE, MEASURED WITHIN THE OUTSIDE FACE OF EXTERIOR WALLS. & 896 m² (9,644 ft²) INCLUDING THE BASEMENT LEVEL.

BUILDING AREA: 222.8m² (2,398 ft²)
*GREATEST HORIZONTAL AREA OF THE BUILDING, MEASURED WITHIN THE OUTSIDE FACE OF EXTERIOR WALLS.

BUILDING HEIGHT: 3 STOREYS (11 m)

BICYCLE PARKING: 5 BIKE RACKS MIN.
*0.50 per dwelling unit

WASTE COLLECTION:
GARBAGE *0.231 YD³ per dwelling unit
RECYCLING *QTY: 1 BLUE + 1 BLACK CART
*1 - 360L | per (6 dwelling units)
ORGANICS *QTY: 1 Communal
240L Green container per (50 units)

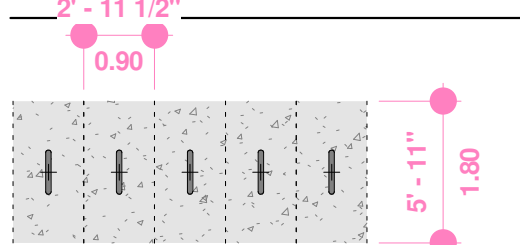
1.85 YD³ (QTY: 4) 360L CARTS
2 BLUE + 2 BLACK CARTS
1 GREEN CART

AVERAGE GRADE CALCULATION

POINT A - 0.00 m
POINT B - 0.00 m
POINT C - 0.00 m
POINT D - 0.00 m

AVERAGE GRADE: 0.00 m

BICYCLE PARKING DIMENSIONS



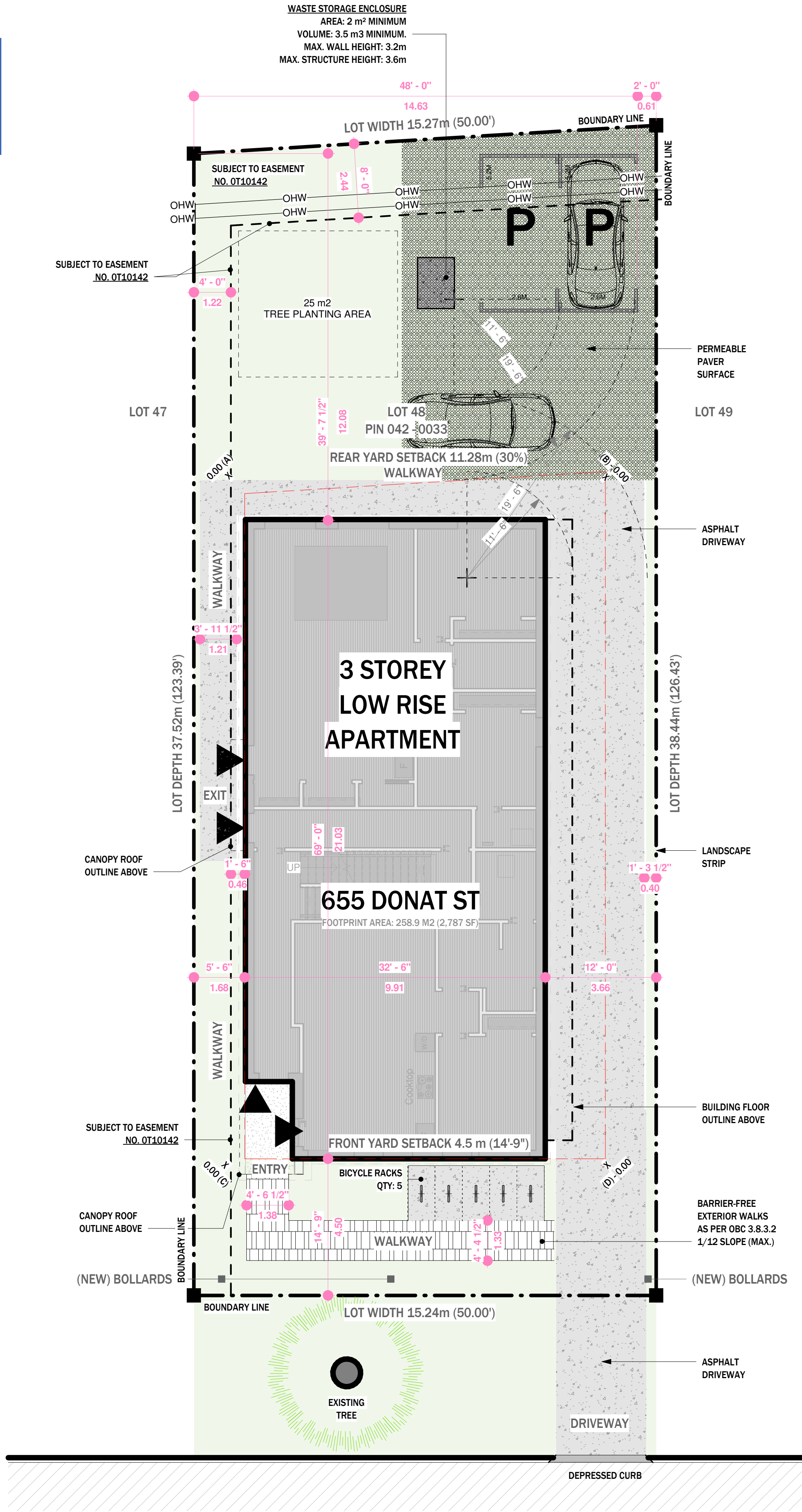
SOFT LANDSCAPING CALCULATIONS

TOTAL LOT
TOTAL LOT AREA: 580m² (6,243 ft²)
TOTAL SOFT LANDSCAPE: 230 m² (2,482 ft²)
TOTAL LOT SOFT LANDSCAPE PERCENTAGE: 39.8%

FRONT YARD
TOTAL LOT AREA: 68.56m² (738 ft²)
TOTAL SOFT LANDSCAPE: 28.3 m² (305 ft²)
SOFT LANDSCAPE PERCENTAGE: 41.3%

REAR YARD
TOTAL LOT AREA: 172m² (1,853 ft²)
TOTAL SOFT LANDSCAPE: 170.9 m² (1,840 ft²)
SOFT LANDSCAPE PERCENTAGE: 99.2%

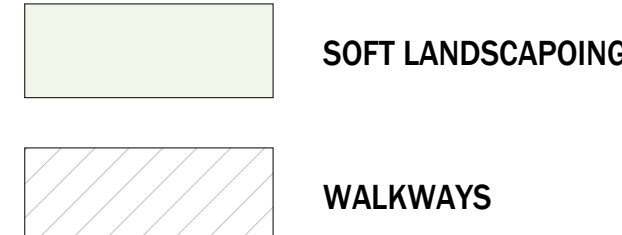
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2025-05-14
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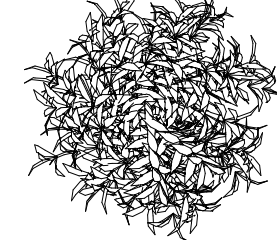
655 DONAT ST.

APPROX C/L OF STREET

SITE PLAN LEGEND



TREE PLANTING LEGEND



NEW 50MM DIAMETER TREE
APPROVED TREE SPECIES:
- SERVICEBERRY
- IVORY SILK LILAC
- SERBIAN SPRUCE

*THE PROPOSED PLANTING AREA APPEARS TO HAVE SUFFICIENT SOIL VOLUME FOR THE TREE(S) SPECIFIED.
FOR GROWING MEDIUM USE GREELY TRIPLE SOIL MIX OR APPROVED ALTERNATIVE

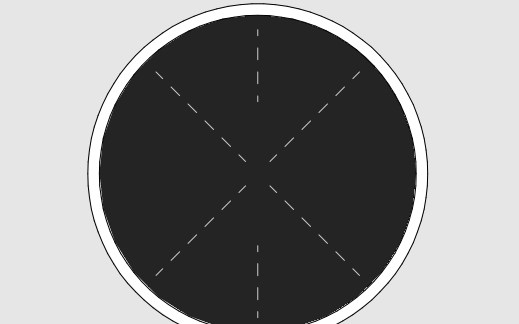
WWW.BOHEMIO.CA



DESIGNED BY: A Cesare



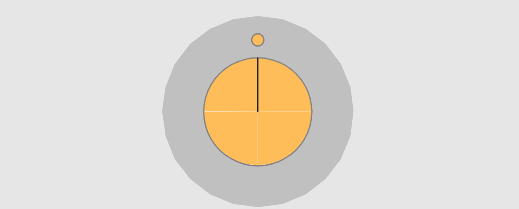
Project No. INDIV. BCIN: Project Number FIRM BCIN:



Revisions
1. DRAFT SITE LAYOUT - MARCH 31, 2025
2. SITE LAYOUT - APRIL 28, 2025
3. SITE LAYOUT - MAY 2, 2025

- Notes
- These drawings are to be read in conjunction with all other project drawings and specifications.
 - The contractor shall check and verify all dimensions and report any errors and omissions to the designer.
 - All work and materials to be in compliance with all codes, regulations and bylaws.
 - Do not scale drawings
 - This drawing is the exclusive property of Bohemio Design Inc. Copyright Reserved

Project North



Scale 1/8" = 1'-0"

SITE PLAN

REVISION #

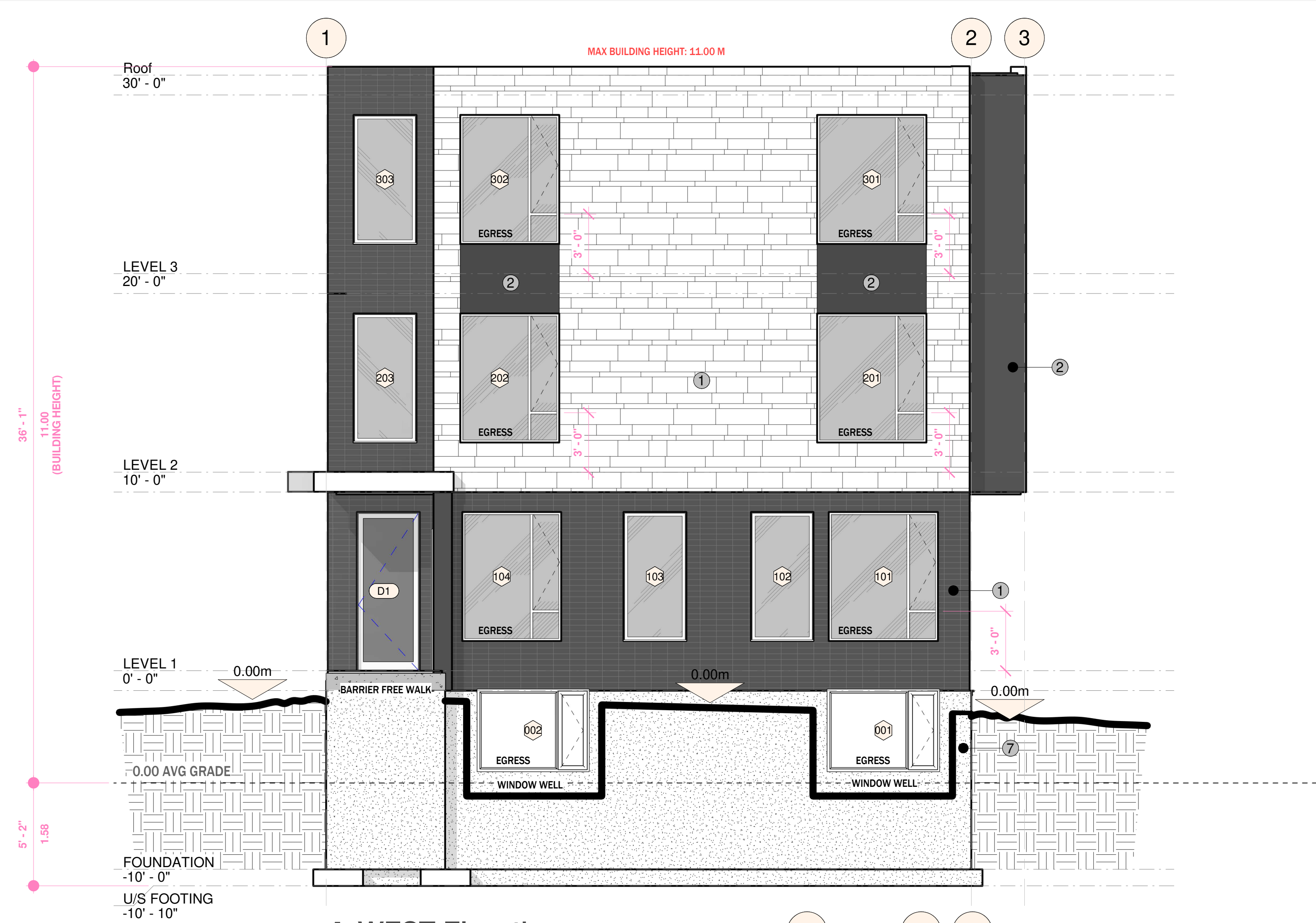
A0.3

Sheet No. ©2024

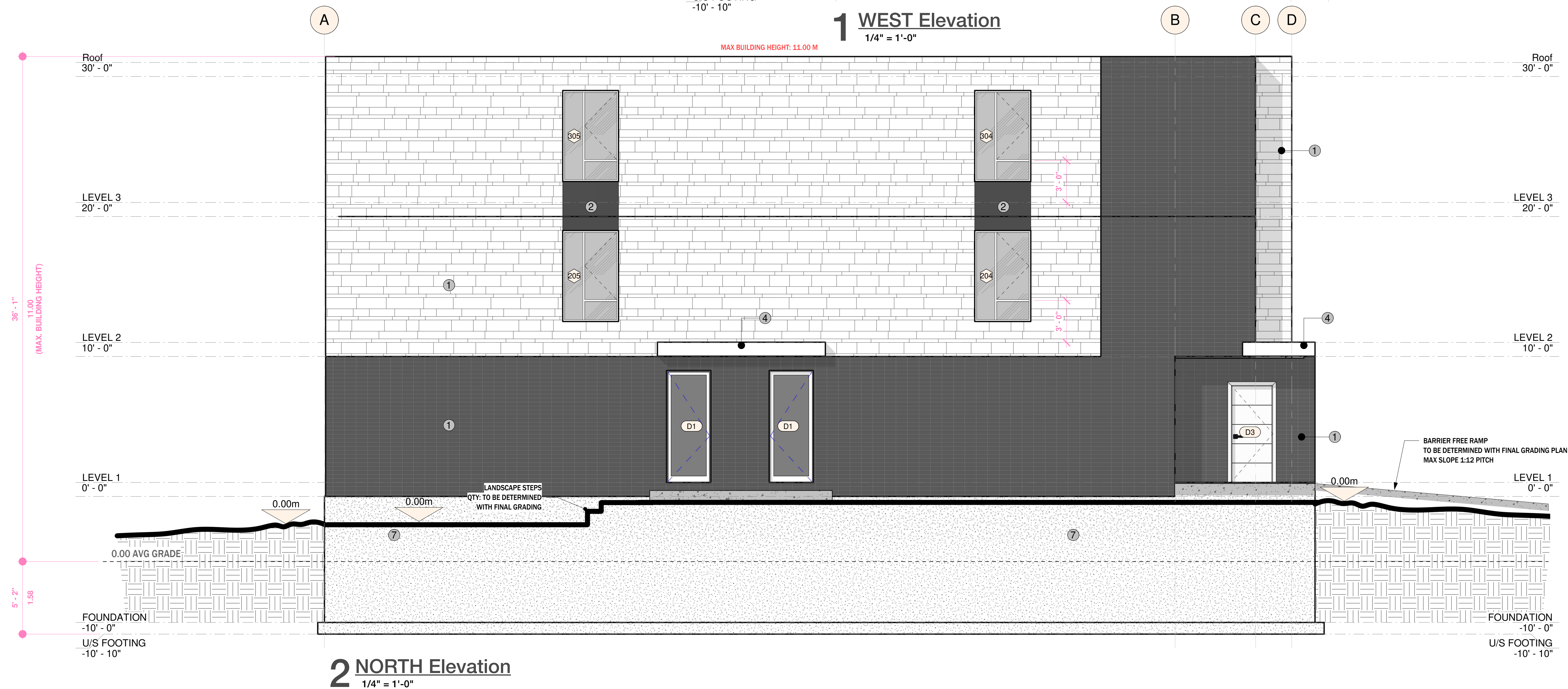
LEGEND

1. BRICK VENEER
2. ALUMINUM PANELING (AL13)
3. ALUMINUM SIDING - RANDOM PLANK
(LUX ARCHITECTURAL)
4. ALUMINUM FASCIA
5. COMPOSITE FLUTED PANELS
6. CEMENT BOARD
7. PARGING
8. GUARD RAILS (ALUMINUM PICKETS)

Committee of Adjustment
Received | Reçu le
Revised | Modifié le : 2025-05-16
City of Ottawa | Ville d'Ottawa
Comité de dérogation



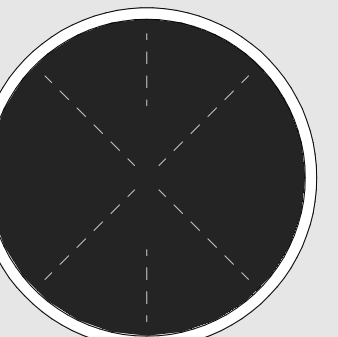
1 WEST Elevation



2 NORTH Elevation

DONAT ST.

Project No. _____ Project Number _____
 DIV. BCIN: _____ FIRM BCIN: _____



visions

- | | |
|---|------------------------------------|
| 1 | DRAFT SITE LAYOUT - MARCH 31, 2025 |
| 2 | SITE LAYOUT (R1) - APRIL 28, 2025 |
| 3 | SITE LAYOUT (R2) - MAY 2, 2025 |

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Project North

scale	1/4" = 1'-0"
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ELEVATIONS

VISION #

A2.1

Sheet No. ©2024

LEGEND

-
- Architectural drawing of the East Elevation of a building. The drawing shows three levels: Level 3 (20' - 0"), Level 2 (10' - 0"), and Level 1 (0' - 0"). The building has a maximum height of 11.00 M. The elevation includes windows, doors, and egress points. The drawing is oriented with the East side facing right. The drawing is labeled "1 EAST Elevation" at the bottom.

Architectural elevation drawing of the South Elevation of a building. The drawing shows four levels: Roof (30'-0"), Level 3 (20'-0"), Level 2 (10'-0"), and Level 1 (0'-0"). The foundation is at -10'-0" and the U/S footing is at -10'-10". The building has a dark gray facade with vertical lines and windows. Windows are labeled with numbers: 313, 312, 311, 310, 213, 212, 211, 210, 108, 007, and 006. There are also labels for 'Roof 30' - 0"', 'LEVEL 3 20' - 0"', 'LEVEL 2 10' - 0"', 'LEVEL 1 0' - 0"', 'FOUNDATION -10' - 0"', and 'U/S FOOTING -10' - 10"'. A scale bar indicates 1/4" = 1'-0". The drawing is titled '2 SOUTH Elevation'.