

ZONING: R4UD - SEMI-DETACHED	REQUIRED	EXISTING (UNCHANGED)
Mature Neighbourhoods Overlay		
Minimum Lot Width:	6.00m	5.82m
Minimum Lot Area:	180.00m ²	166.02m ²
Minimum Front Yard Setback:	4.50m ⁽¹⁾	±4.79m
Minimum Rear Yard Setback:	varies ⁽²⁾	±9.92m
Minimum Interior Yard Setback:	1.20m	0.0m, 0.93m
Maximum Building Height:	11.00m ⁽³⁾	±6.32m

REAR YARD SETBACK CALCULATION
Lot Area: 166.02m² x 0.25 = 45.51m² (5.80m)
Lot Depth: 28.24m x 0.30 = **8.47m**

PERMITTED PROJECTIONS (Sec.65)
- uncovered decks on lots with a depth between 23.5m-30.5m, where the rear lot line abuts an R1-R4 zone, the maximum projection is;
- 1.2m above the first floor
- in all other cases 2.0m, but no closer than 1.0m from any lot line.

UNCOVERED DECK	REQUIRED	PROPOSED
Deck projection:	2.00m	7.86m
From North lot line:	1.00m	0.60m
From South lot line:	1.00m	0.00m
from West lot line:	1.00m	0.61m

ALTERNATIVE SETBACKS IN GREENBELT (Sec. 144)
⁽¹⁾Setbacks for yards abutting a street must align with average setbacks of abutting lots that face the same street, but may not be less than 1.50m and need not exceed the underlying zone requirement (4.5m).
Setback @ 31 Acacia: ±5.56m
Setback @ 27 Acacia: ±4.72m
5.56m+4.72m/2 = 5.14m

⁽²⁾Rear yard setbacks for lots with a depth greater than 25.0m; a rear yard setback 30% of the lot depth which must comprise of at least 25% of the lot area.

⁽³⁾Within Schedule 342 buildings with a peaked roof at 4 in 12 or steeper, max. building height is 11.0m.

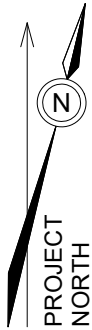
LOW-RISE RESIDENTIAL WITHIN THE GREENBELT (Sec.139)
- no more than 70% of the rear yard area maybe occupied by parking and driveway.
- at least 15% of the rear yard area must be soft landscaping.

REAR YARD PARKING CALCULATION
56.41m² x 0.70 = 39.49m² permitted maximum, (18.39m² provided)

Survey Info
Site plan prepared from owner provided survey.

DRAWING LIST:
A100 CONTEXT PLAN
A101 CONTEXT PHOTOS
A102 SITE PLAN
A201 DECK PLANS @ GRADE + @ DECK
A301 DECK ELEVATIONS

DRAWING LEGEND
--- Property line
--- Setback line
o/h wires Overhead wires
x x x Existing fence
x x x New fence
▲ Entrance
2.6m x 5.2m parking spot



GENERAL NOTES
1. Contractor must verify dimensions and conditions on site before proceeding with any portion of this work.
2. Do not scale from drawings.
3. All work to comply with the Ontario Building Code and municipal regulations.
4. This drawing to be read in conjunction with all material relevant to this project.



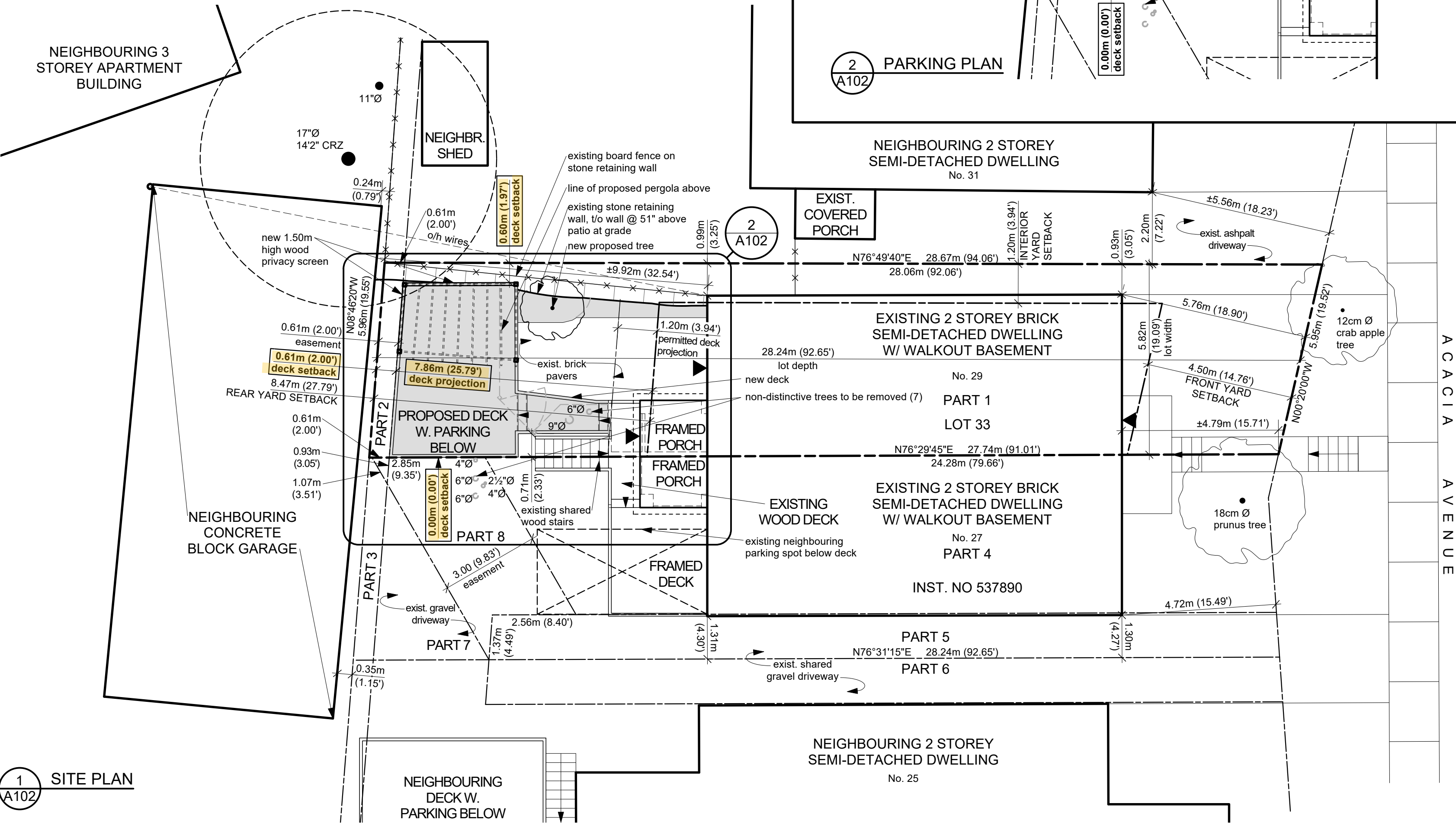
Committee of Adjustment
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2025-05-16

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Comité de dérogation

2 A102 PARKING PLAN

2 A102 EXIST. COVERED PORCH



1 A102 SITE PLAN



jane thompson architect

404 mackay street
ottawa, ontario, K1M 2C4
tel: (613)747-8104
jtarch@rogers.com

scale 1:100

job no. 2415

project
29 ACACIA AVENUE
OTTAWA, ON

date May 8, 2025

drawing
SITE PLAN

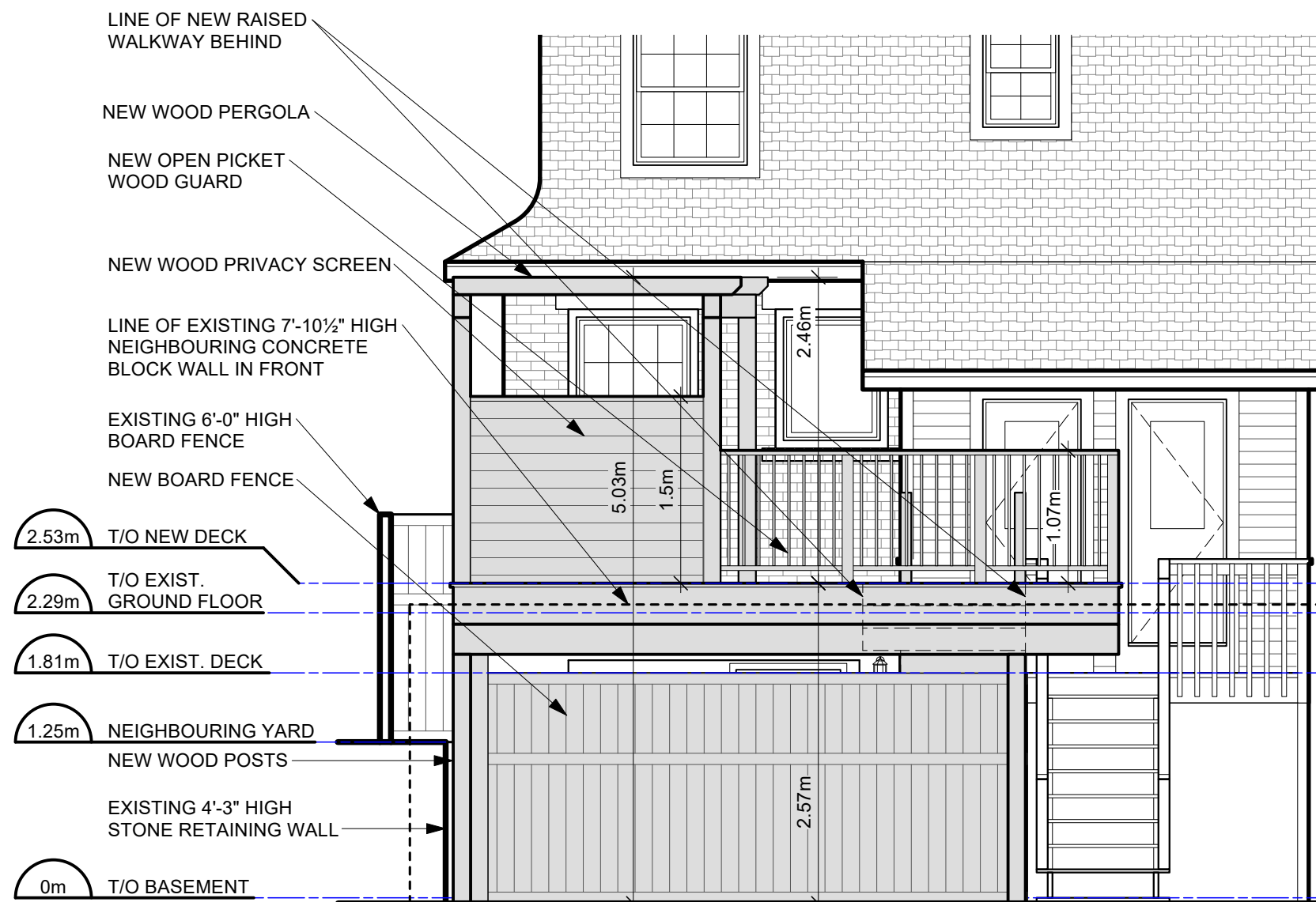
designed ED

drawn IC

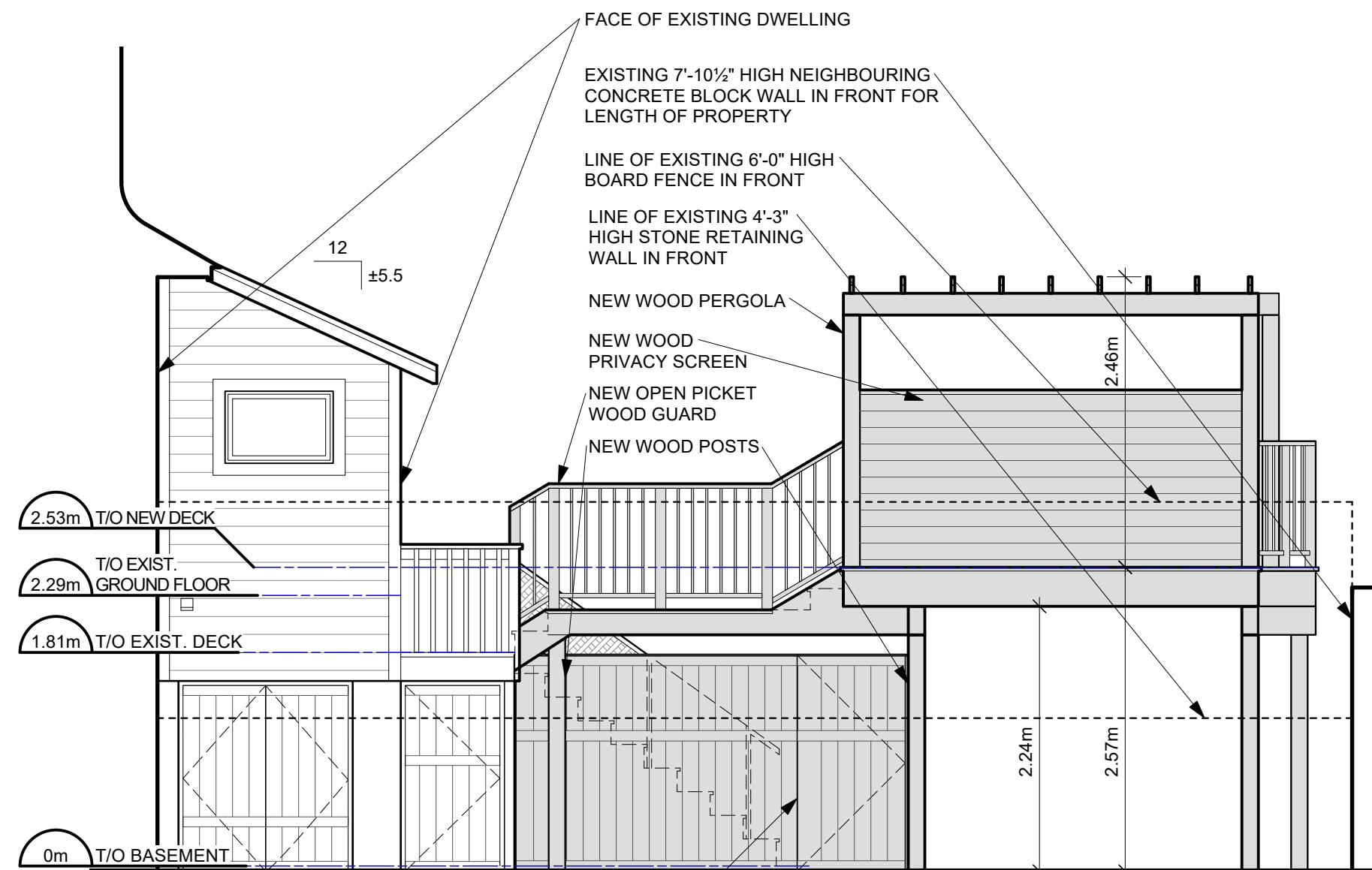
checked ED

dwg no. A102

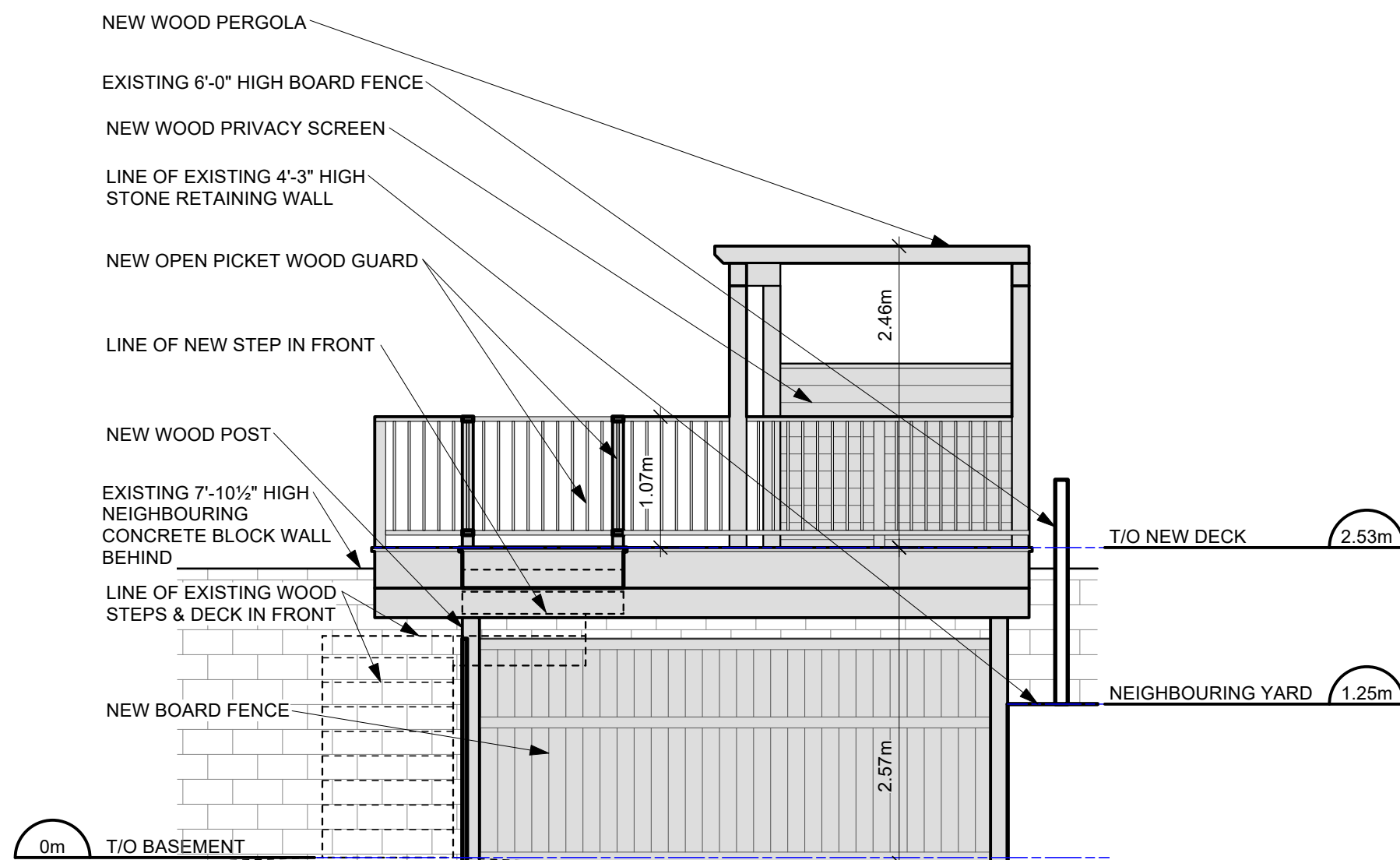
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/Deliverables\Drawings\ 2415 - detailed design.vwx



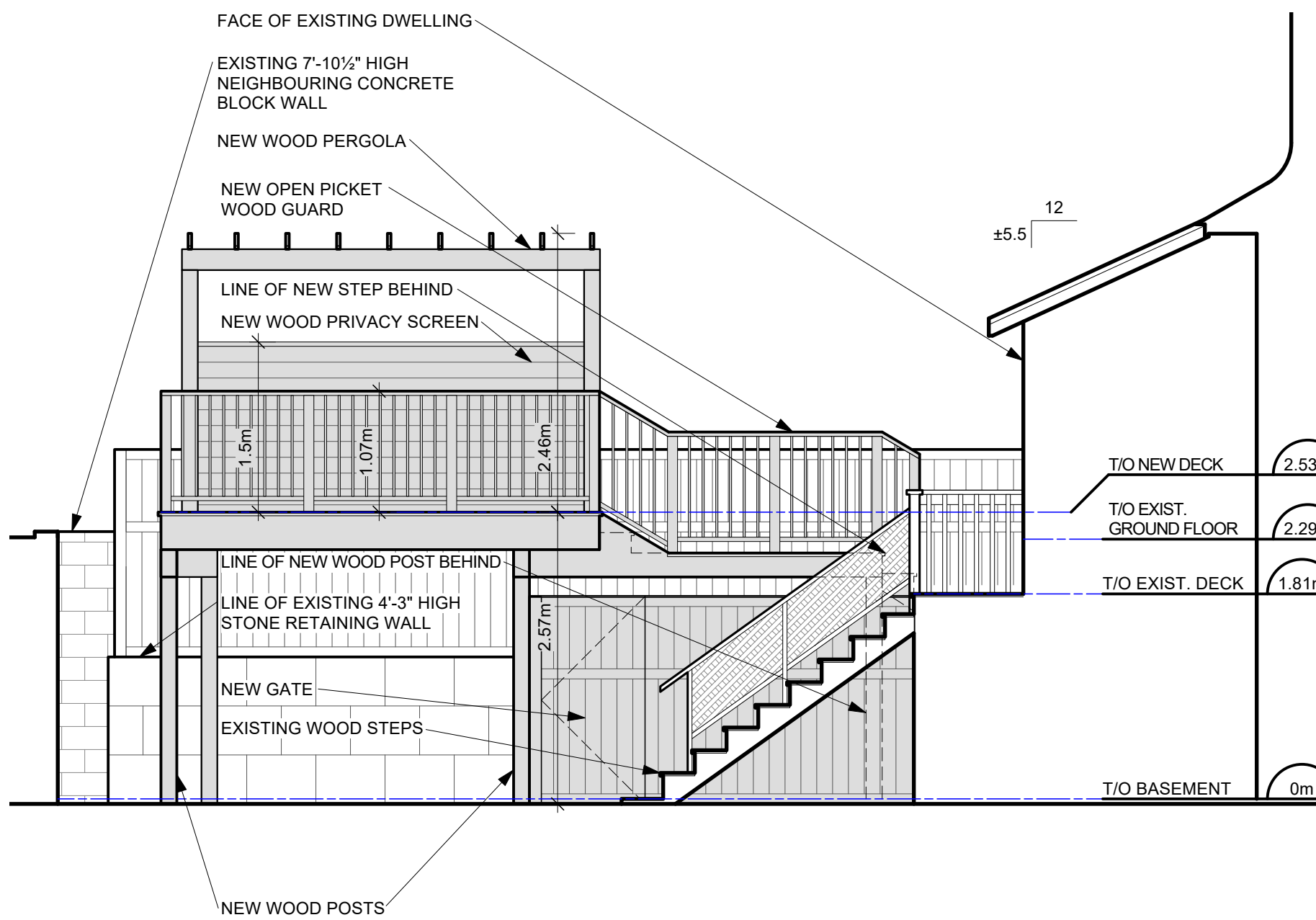
1 WEST ELEVATION
A301



2 NORTH ELEVATION
A301



3 EAST ELEVATION
A301



4 SOUTH ELEVATION
A301

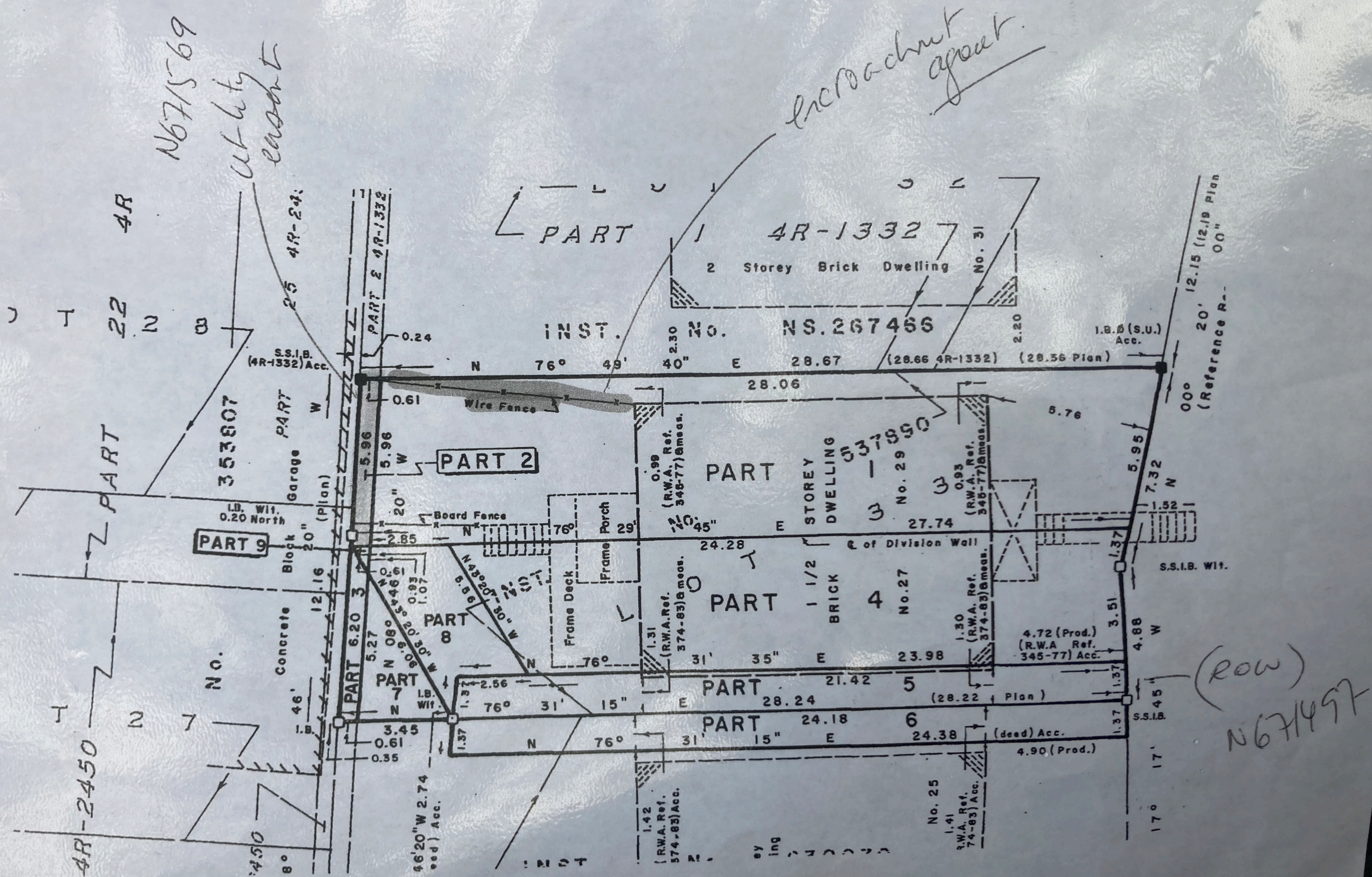
1	2025-05-08	Issued for minor variance
no.	date	revision

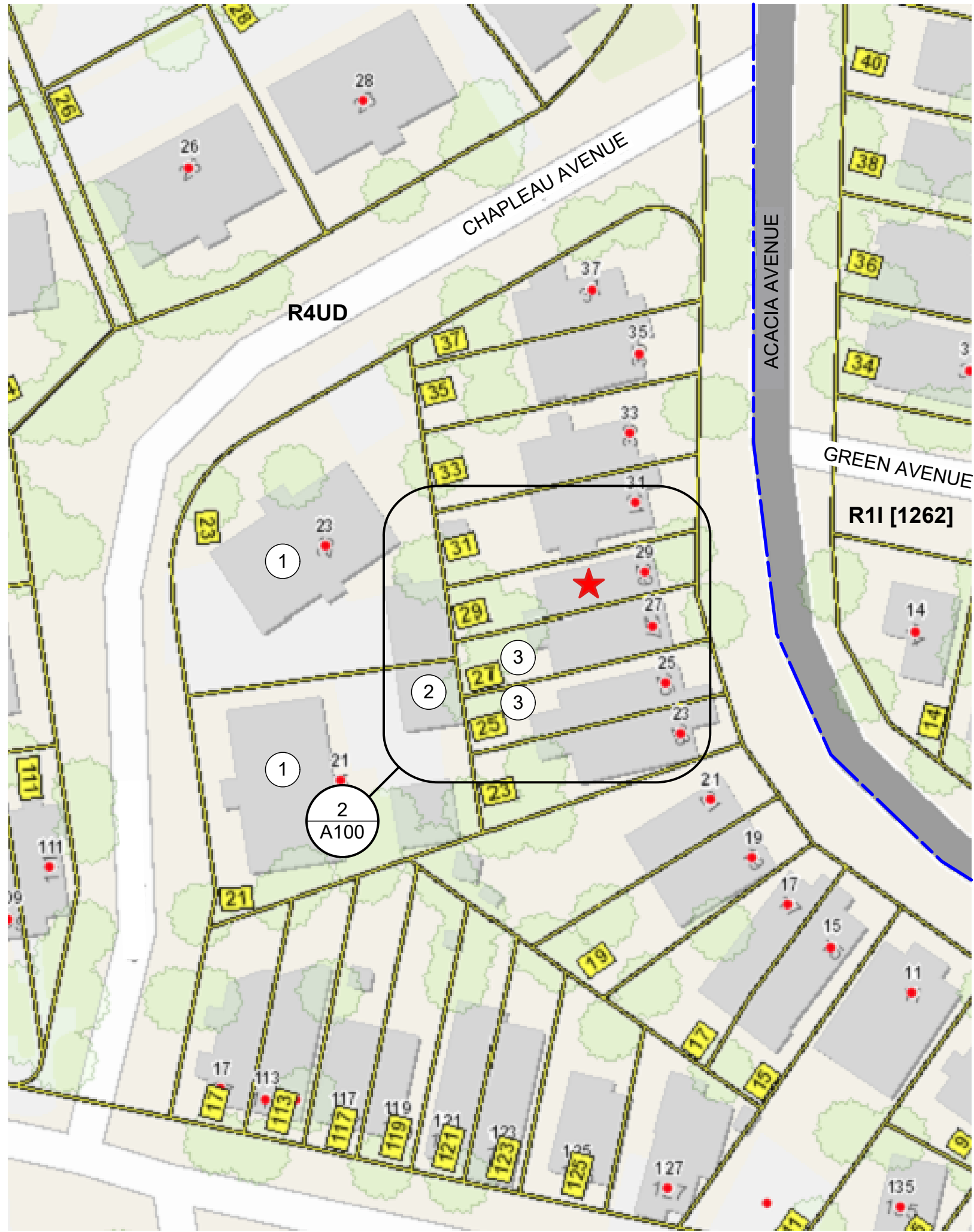
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jane thompson architect
404 mackay street
ottawa, ontario, K1M 2C4
tel: (613)747-8104
jtarch@rogers.com

scale	1/4" = 1'-0"
job no.	2415
project	29 ACACIA AVENUE OTTAWA, ON
date	May 8, 2025
drawing	DECK ELEVATIONS
designed	ED
drawn	IC
checked	ED
dwg no.	A301

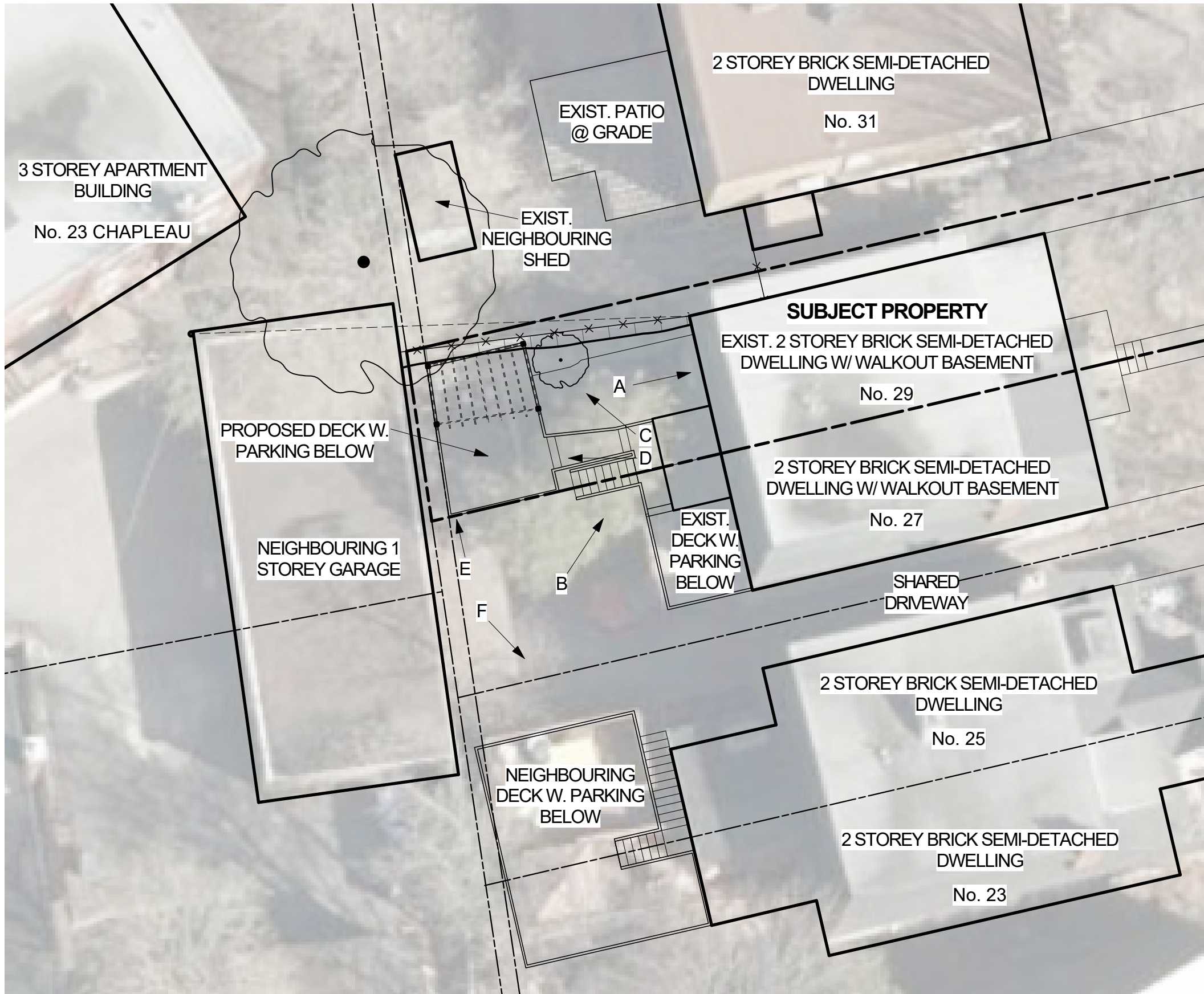




DRAWING LEGEND:

- ZONING BOUNDARY
- ★ SUBJECT PROPERTY
- ① 3 STOREY APARTMENT BUILDING
- ② 1 STOREY PARKING STRUCTURE
- ③ DECK W. PARKING BELOW

①
A100
CONTEXT PLAN



②
A100
CONTEXT PLAN DETAIL

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ottawa, ontario, K1M 2C4
tel: (613)747-8104
jtarch@rogers.com

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drawing	CONTEXT PLAN
designed	ED
drawn	IC
checked	ED
dwg no.	A100



A) Photo of the rear face of the house illustrating the walkout basement and existing patio conditions.



B) Photo of the shared wood steps to the framed porch entries.



C) View of the neighbour's backyard at 31 Acacia Avenue from the existing wood deck at the subject property.



D) View of the rear neighbouring apartment building at 23 Chapleau Avenue from the existing wood deck at the subject property.



E) View of the owner's rear yard parking space looking north with the neighbouring concrete block parking garage on the left and stone retaining wall and board fence behind.



F) Panoramic view of the shared driveway between 25 and 27 Acacia Avenue showing the raised decks with parking below each property.

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