

PART OF LOT 5
CONCESSION 2
GEOGRAPHIC TOWNSHIP OF NORTH GOWER
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

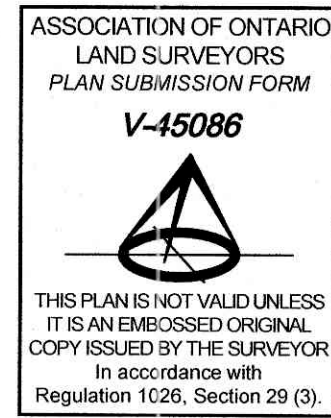
Committee of Adjustment
Received | Reçu le
2025-04-02
City of Ottawa | Ville d'Ottawa
Comité de dérogation

Scale 1 : 500
20 15 10 5 0 10 20 Metres

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys
Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 10th day of May, 2023.

May 11, 2023
Date
T. Hartwick
Ontario Land Surveyor



Notes & Legend

- Denotes
- +— Survey Monument Planted
 - Survey Monument Found
 - SIB Standard Iron Bar
 - SSIB Short Standard Iron Bar
 - IB Iron Bar
 - (WIT) Witness
 - Meos. Measured
 - (AOG) Annis, O'Sullivan, Vollebakk Ltd.
 - (P1) Plan SR-13075
 - (P2) (1697) Plan Dated November 4, 1994
 - Deciduous Tree
 - Coniferous Tree
 - OHW Overhead Wires
 - CSP Corrugated Steel Pipe
 - GV Gas Valve
 - HM Hydro Meter
 - TB-B Bell Terminal Box
 - B Bollard
 - Δ S Sign
 - CLF Chain Link Fence
 - BF Board Fence
 - PWF Post and Wire Fence
 - TOS Top of Slope
 - BOS Bottom of Slope
 - DC Ditch Centreline
 - EA Edge of Asphalt
 - EC Edge of Concrete
 - RWS Stone Retaining Wall
 - UP Utility Pole
 - AN Anchor
 - LS Light Standard
 - φ Diameter
 - + 65.00 Location of Elevations
 - + 65.00 Top of Concrete Curb Elevation and Retaining Wall Elevation
 - Property Line
 - Shrub
 - Edge of Interlock
 - MH Maintenance Hole (Unidentified)

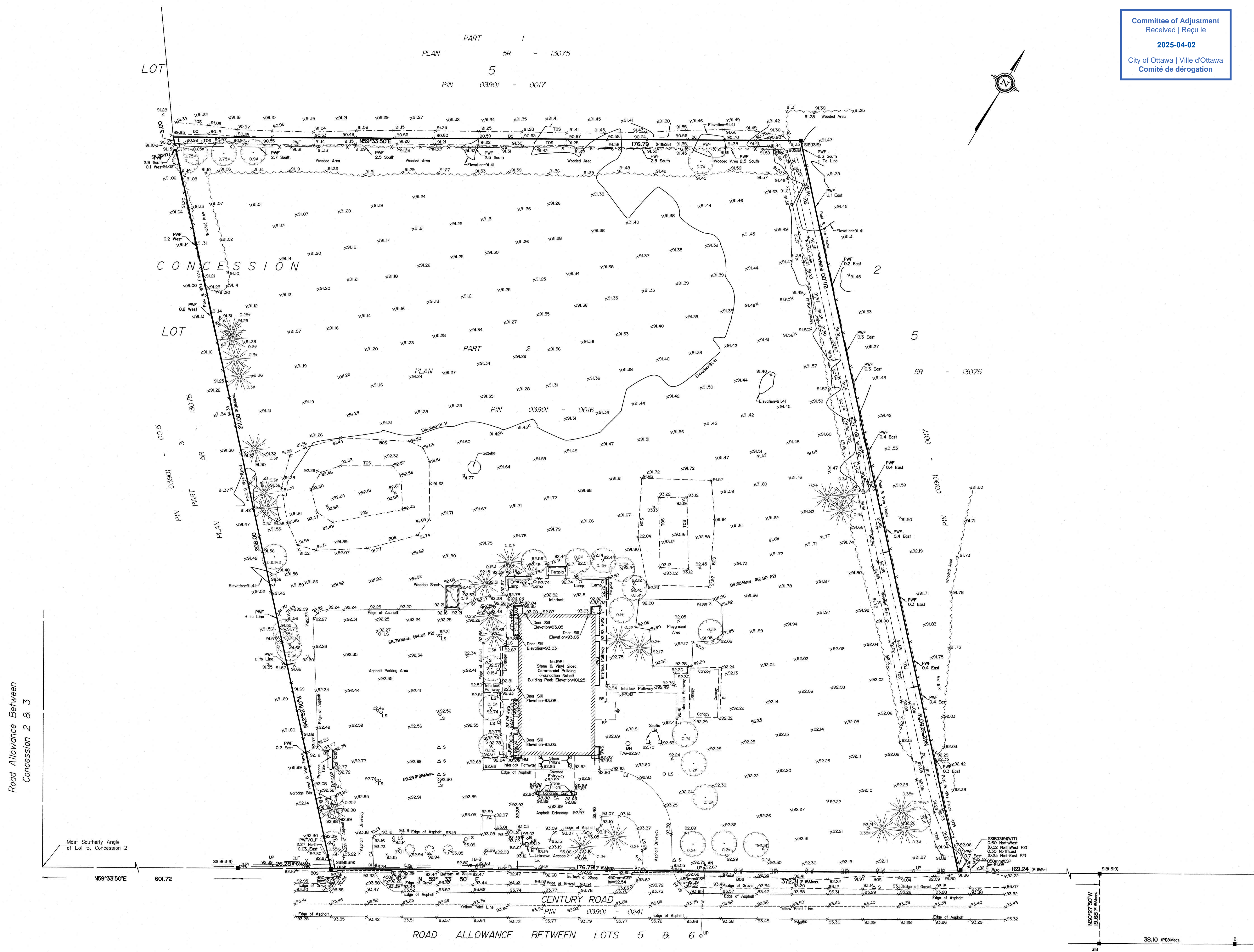
Bearings are grid, derived from Can-Net 2015 Real Time Network GPS observations and are referenced to Specified Control Points: 01916791338 and 01916871549, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

For bearing comparisons, a rotation of 0°31'00" counter-clockwise was applied to bearings on plan (P1).

ELEVATION NOTES
1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Topographic data was collected under Winter Conditions.
Snow cover and ice preclude determining location and elevation of some topographical data that is otherwise visible.





BCCO CHURCH ADDITION

1981 CENTURY RD W, NORTH GOWER, ON

ISSUED FOR SPC

2025.03.12

ARCHITECTURAL DRAWINGS



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CIVIL DRAWINGS



TATHAM ENGINEERING

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GOODKEY WEEDMARK CONSULTING ENGINEERS

1688 WOODWARD DRIVE
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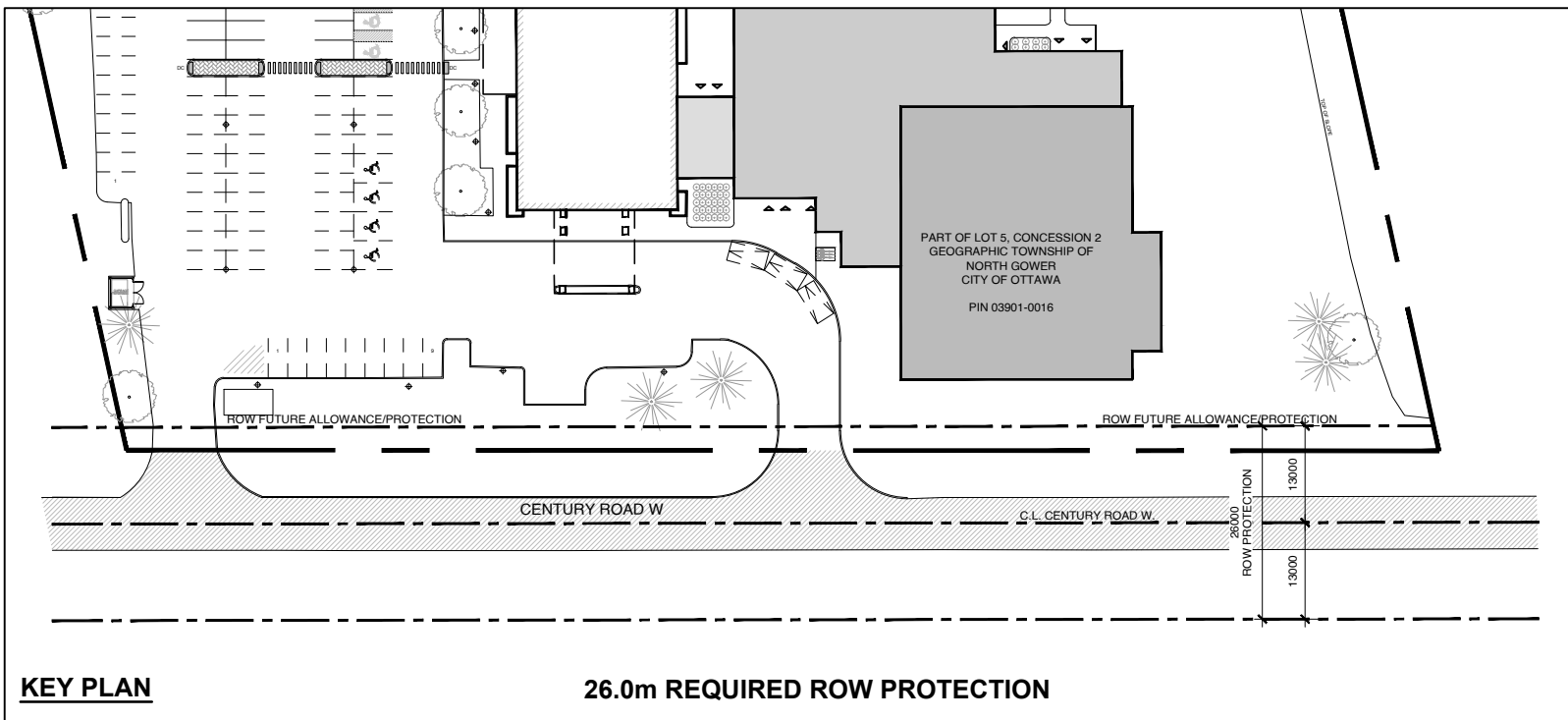
PLANNER



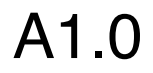
Q9 PLANNING & DESIGN

43 ECCLES ST. UNIT C
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(P) 613 850 8345



BUILDING AREAS	SQ.M.	SQ.FT.
BUILDING FOOTPRINT	2,507.23m ²	26,987.6ft ²
GROUND FLR. GROSS AREA	2,507.23m ²	26,987.6ft ²
SECOND FLR. GROSS AREA	708.43m ²	7,625.5ft ²
TOTAL GROSS FLR. AREA	3,215.66m ²	34,613.1ft ²



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10516
T/O PENTHOUSE ROOF STRUCTURE

7468
T/O HIGHER ROOF STRUCTURE
6495
T/O LOWER ROOF STRUCTURE

3963
T/O SECOND FLOOR
3658
T/O ROOF @ LINK

0
T/O GROUND FLR
-200
T/O GRADE @ FRONT

2

A4.0

EXISTING BUILDING

PROPOSED ADDITION

1 SOUTH ELEVATION (EXISTING & PROPOSED)
A4.0 SCALE 1:125

11126
T/O PENTHOUSE PARAPET
10516
T/O PENTHOUSE ROOF STRUCTURE

8077
T/O HIGHER PARAPET
7468
T/O HIGHER ROOF STRUCTURE
7105
T/O LOWER PARAPET
6495
T/O LOWER ROOF STRUCTURE

3963
T/O SECOND FLOOR
3658
T/O ROOF @ LINK

0
T/O GROUND FLR

2 SOUTH ELEVATION
A4.0 SCALE 1:100

11126
T/O PENTHOUSE PARAPET
10516
T/O PENTHOUSE ROOF STRUCTURE

8077
T/O HIGHER PARAPET
7468
T/O HIGHER ROOF STRUCTURE
7105
T/O LOWER PARAPET
6495
T/O LOWER ROOF STRUCTURE

3963
T/O SECOND FLOOR
3658
T/O ROOF @ LINK

0
T/O GROUND FLR

3 WEST ELEVATION
A4.0 SCALE 1:100

CLIENT NAME:

BCCO BRUNSTAD CHRISTIAN
CHURCH

NOTES:

1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING
CODES, REGULATIONS AND BY-LAWS.

2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR
CLARIFICATION TO ASSIST PROPER EXECUTION OF
SUCH DRAWINGS WILL HAVE THE SAME MEANING AND
INTENT AS IF THEY WERE INCLUDED WITH PLANS IN
CONTRACT DOCUMENTS.

3) DO NOT SCALE DRAWINGS.

4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE
MEASUREMENTS AND BE RESPONSIBLE FOR THEIR
ACCURACY.

5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY
ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

KEYNOTES-ELEVATION

1	VERTICAL SIDING - PATTERN AND COLOUR TBD
2	MASONRY VENEER - PATTERN AND COLOUR TBD
3	ALUMINUM COMPOSITE PANEL (ACM) - COLOUR TBD
4	WALL SCOE: REFER TO ELECTRICAL
5	BICYCLE PARKING RACKS, REFER TO PLANS
6	SPANDREL PANEL
7	PRECAST CONCRETE CANOPY
8	PROVIDE POT LIGHTS WITHIN UIS OF PRECAST CANOPY - REFER TO ELECTRICAL
9	PRE-FINISHED METAL FASCIA
10	4" PRECAST CONCRETE SILL
11	STOREFRONT GLAZING
12	PRE-FINISHED METAL DECORATIVE FINIS TO ALIGN WITH STOREFRONT GLAZING MILLIONS - COLOUR AND PATTERN TBD
13	PRE-FINISHED METAL GUARD RAIL (1070mm TALL)
14	GALVANIZED ROOF ACCESS LADDER PROVIDE P-ENG STAMPED SHOP DWGS FOR REVIEW
15	EXTERIOR LED WALLPACK
16	EXTERIOR PRE-FINISHED STEEL STAIR
17	ALUMINUM/GLASS OVERHEAD DOOR



NORTH ARROW:

06	2025.03.12	ISSUED FOR SPC
04	2024.06.18	ISSUED FOR REVIEW
03	2024.01.23	ISSUED FOR REVIEW
02	2023.12.04	ISSUED FOR PRE-CONSULT
01	2023.11.30	ISSUED FOR REVIEW
No.	DATE	REVISION

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PROJECT:
BCCO CHURCH ADDITION

1981 CENTURY RD W, NORTH GOWER, ON

SHEET TITLE:
PROPOSED ELEVATIONS

DRAWN BY: D.T. B.L.	CHECKED BY: S.J.L.
PLOT DATE: 2025-03-12 9:42:54 AM	PROJECT DATE: 2023.03.15
JOB NUMBER: SL-1090-23	SCALE: As indicated

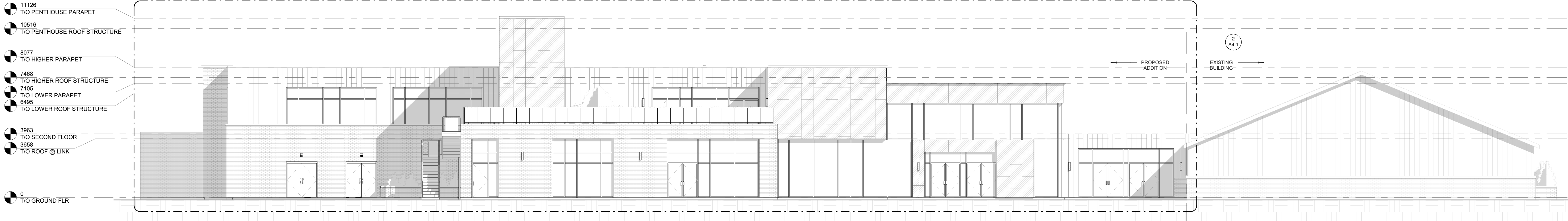
A4.0
PLAN #

APPLICATION #

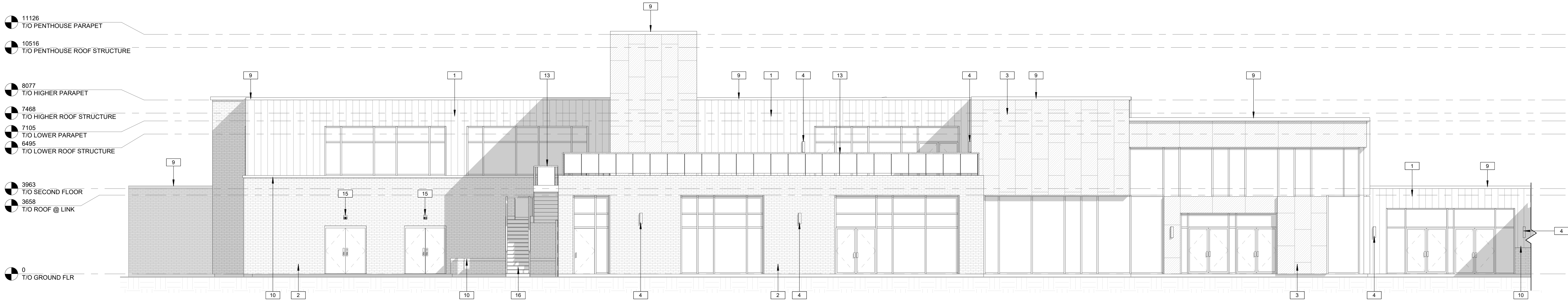
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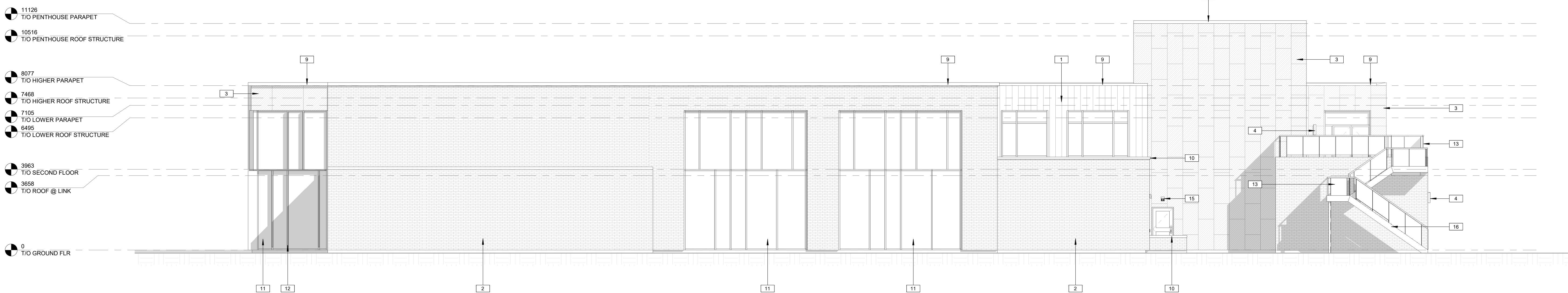
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1 NORTH ELEVATION (EXISTING & PROPOSED)
SCALE 1:125



2 NORTH ELEVATION
SCALE 1:100



3 EAST ELEVATION
SCALE 1:100

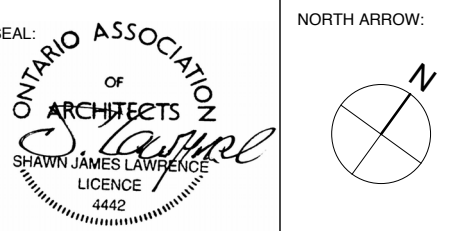
CLIENT NAME:

BCCO BRUNSTAD CHRISTIAN CHURCH

NOTES:

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PROJECT:
BCCO CHURCH ADDITION

1981 CENTURY RD W, NORTH GOWER, ON

SHEET TITLE:
PROPOSED ELEVATIONS

DRAWN BY:
D.T. B.L.

CHECKED BY:
S.J.L.

PLOT DATE:
2025-03-12 9:42:58 AM

PROJECT DATE:
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JOB NUMBER:
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SCALE:
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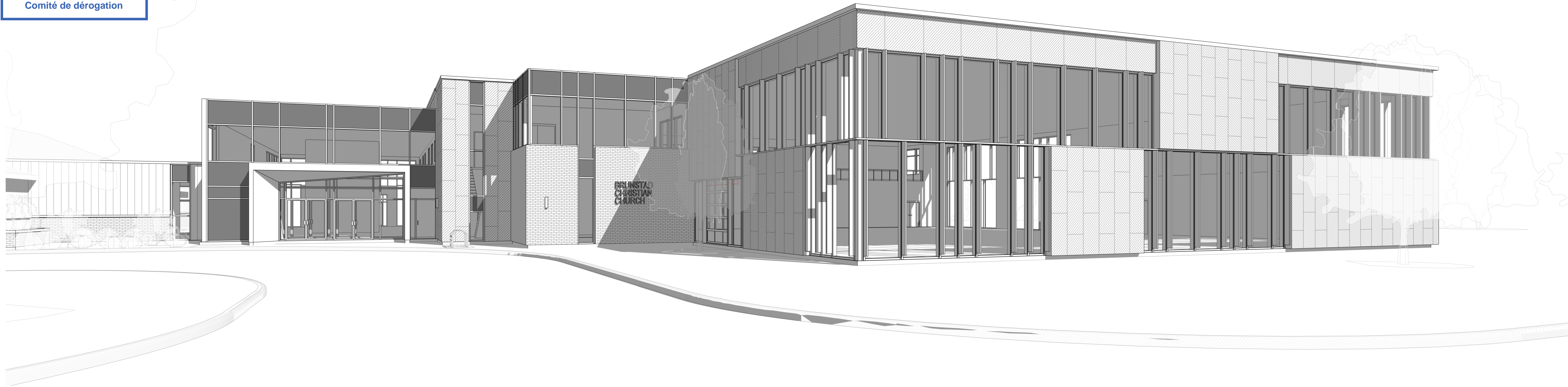
A4.1
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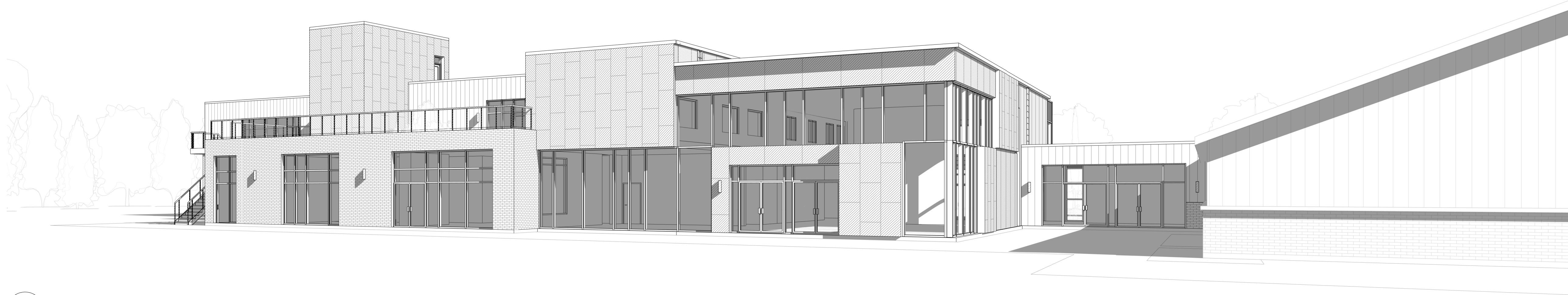
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1 3D PERSPECTIVE 01 (FRONT ELEVATION)
A4.2 SCALE



2 3D PERSPECTIVE 02 (FRONT ELEVATION)
A4.2 SCALE



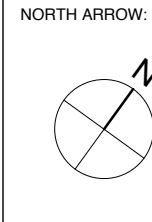
3 3D PERSPECTIVE 03 (REAR ELEVATION)
A4.2 SCALE

CLIENT NAME:

**BCCO BRUNSTAD CHRISTIAN
CHURCH**

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SHEET TITLE:
PERSPECTIVES

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PLOT DATE: 2025-03-12 9:43:06 AM	PROJECT DATE: 2023.03.15
JOB NUMBER: SL-1090-23	SCALE:

A4.2

APPLICATION #

PLAN #