

P-Squared Concepts  
Minor Variance Cover Letter  
1035 Galaxie Ave.

City of Ottawa Committee of Adjustment  
101 Centrepoinette Drive, 4th Floor  
Ottawa, ON K2G 5K7

Attn: Mr. Michel Bellemare  
Secretary Treasurer

Re: 1035 Galaxie Ave. (Minor Variance application) - Ward 19  
Gianfranco Falcucci & Lynne Falcucci  
Lot 14, Registered Plan 50M-113, City of Ottawa

April 10th, 2025

**Committee of Adjustment**  
Received | Reçu le

**2025-04-14**

City of Ottawa | Ville d'Ottawa  
**Comité de dérogation**

On behalf of our clients, we are submitting the enclosed Minor Variance application for the property located at 1035 Galaxie Ave in Navan. This application is required in order to permit the proposed development on the subject property consisting of a detached dwelling with attached garage. The dwelling will contain one storey intended as the forever home for the property owner and his wife who are looking to downsize and move into a quiet community. The property is zoned V1E in the City of Ottawa Zoning By-Law 2008-250, as amended. It is in the Rural transect and designated as a Village as per the Official Plan (2022). The subject site is located in the village of Navan, approximately 2.7 km from the urban boundary. The site is approximately 800 m from the Village Core designation.

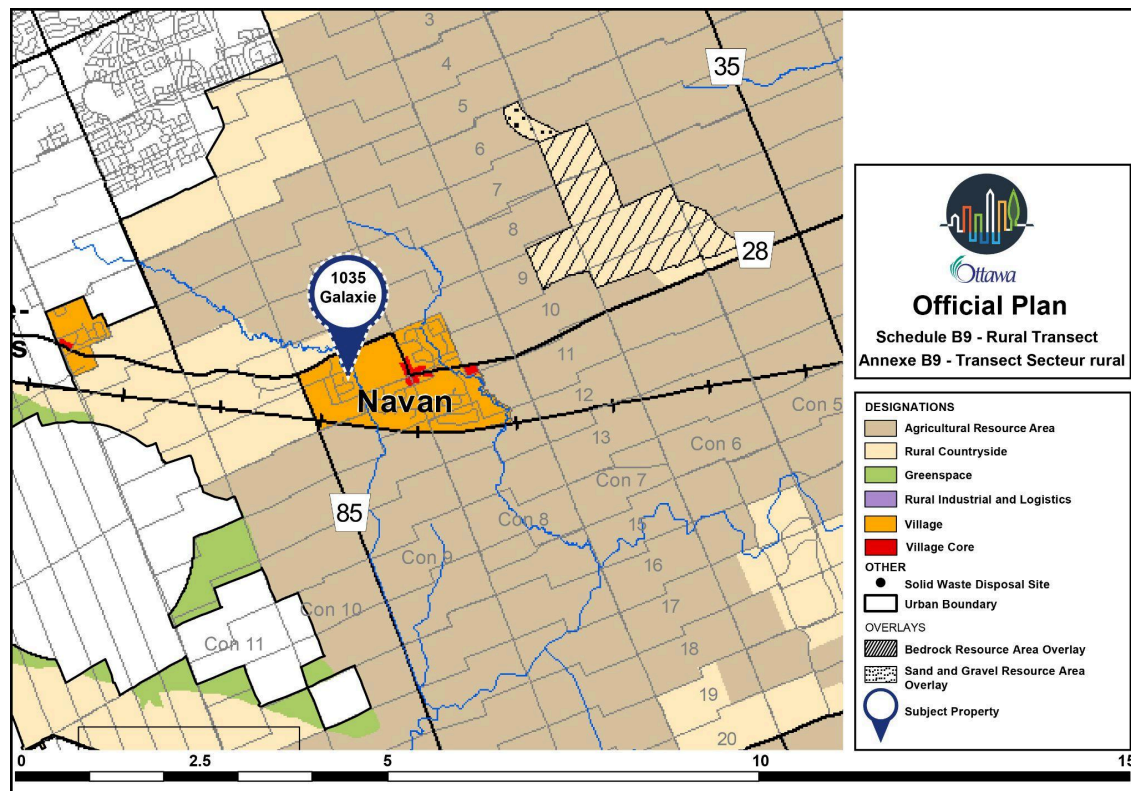


Fig.1. Schedule B9 - Rural Transect, City of Ottawa official Plan.



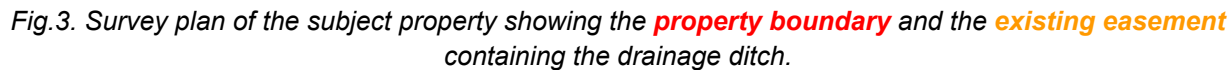
*Fig.2. Aerial imagery showing the surrounding context of the subject site, Google Maps.*

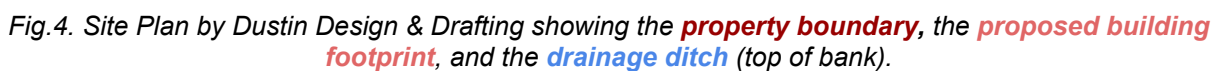
The proposed development will require relief from the Zoning By-Law for:

- A) Lot coverage. To permit a greater than permitted lot coverage of 18.67% (413.47 m<sup>2</sup>), whereas the Zoning By-Law permits a maximum lot coverage of 15% (332.28 m<sup>2</sup>) (Table 232, (e) VIII, Zoning By-Law 2008-250, as amended).
- B) Setback to a Watercourse. To permit a reduced setback to a watercourse highwater mark of 3.05 m for a building, whereas the Zoning By-Law requires a minimum setback of 30 m to the watercourse highwater mark (Section 69, (2), Zoning By-Law 2008-250, as amended).
- C) Setback to a Watercourse. To permit a reduced setback to a watercourse highwater mark of 15.28 m for a septic system, whereas the Zoning By-Law requires a minimum setback of 30 m to the watercourse highwater mark (Section 69, (2), Zoning By-Law 2008-250, as amended).

It should be noted that the highwater mark used to calculate the provided setback to a watercourse is the “top of bank” contour shown on the survey plan which equates to the maximum point to which water can rise within the channel before spilling across the adjacent land. All other zoning provisions are met by this proposal including setbacks, building height, hard and soft landscaping, lot size, and vehicular requirements.











*Fig.5. Site photo from Cougar Crt looking southeast towards 1035 Galaxie.*

The four tests of a **Minor Variance** application from Section 45 (1) of the Planning Act are that the variances are minor in nature, are desirable for the appropriate development or use of the land and building, and maintain the general intent and purpose of the Zoning By-Law and Official Plan.

### **1. The variances are minor in nature**

#### Variance A

The proposed lot coverage is 18.67% (413.47 m<sup>2</sup>) and the Zoning By-Law permits a maximum lot coverage of 15% (332.28 m<sup>2</sup>). This is a deficiency of 81.19 m<sup>2</sup>. Based on geoOttawa aerial imagery, 11 properties within about 300m of the subject property with the same maximum lot coverage requirement also contain deficient lot coverages (Fig. 6). Many of these lots feature large depths and mature planting to screen the dwellings which is also the case of the subject property. This demonstrates that an increase of lot coverage does not have negative impacts on the overall liveability of the neighbourhood. Additionally, the dwelling is designed as a bungalow to minimise the number of stairs as requested by the owner and his wife. The bungalow design leads to a slightly larger building footprint because all living space including bedrooms are located on the ground floor.

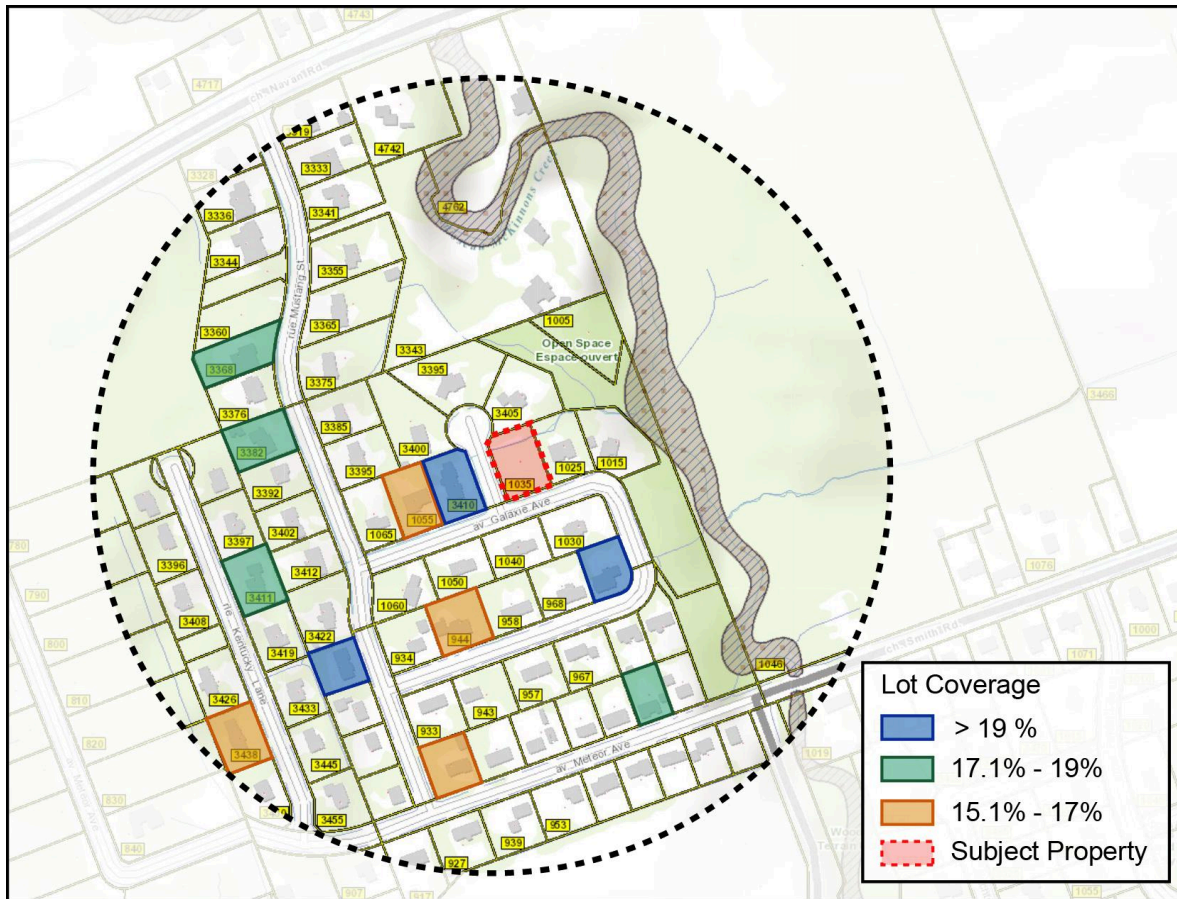


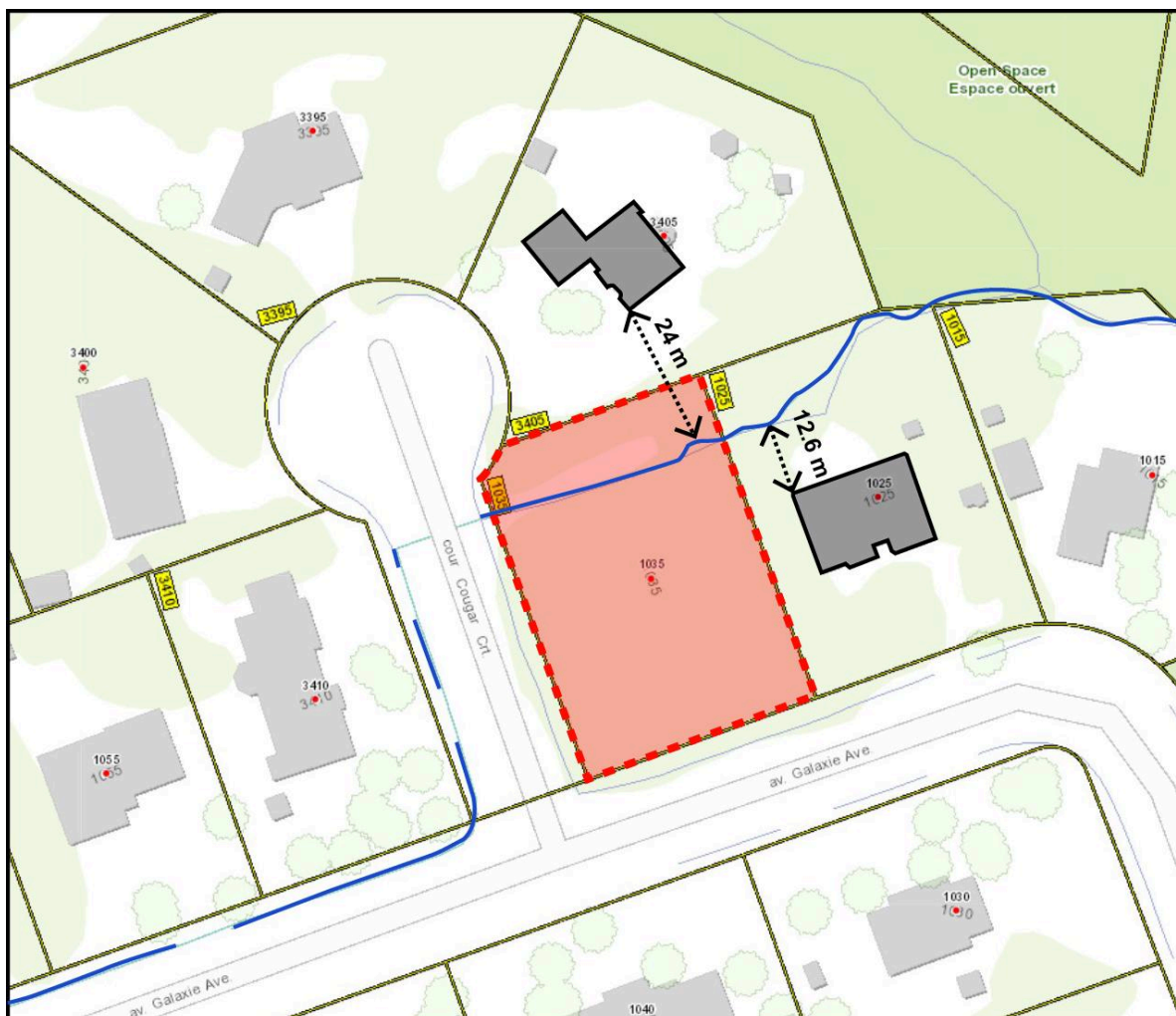
Fig.6. Properties with deficient lot coverages within 300 m of the subject property.

### Variance B

The 30 m setback is required because the property contains a drainage ditch along the rear property line. The ditch is only used seasonally to provide drainage to McKinnons Creek during times of high water flow. The ditch is located within an easement as indicated on the survey as Part 1 on Plan 50R-4948. The proposed setback of 3.05 m represents a reduction of 26.95 m of the required setback. If the 30m setback was proposed, only a 154.04 m<sup>2</sup> portion of the site is developable. For comparison, the proposed building footprint is 413.47 m<sup>2</sup>, the dwelling to the east is two storeys and has a footprint of about 275 m<sup>2</sup>, the dwelling to the north is also two storeys and has a footprint of about 230 m<sup>2</sup>, and the dwelling across the street to the west is a single storey and has a footprint of about 380 m<sup>2</sup>. Therefore, a dwelling with a similar scale and massing as the surrounding neighbouring properties cannot be accommodated on this site without requiring a reduction to the watercourse setback.

The dwelling to the east at 1035 Galaxie Ave is located approximately 12 m to the centerline of the ditch and approximately 9 m to the top of its bank. The dwelling to the north at 3405 Cougar Crt is located approximately 24 m to the centerline of the ditch and approximately 21 m to the top of the bank. Both dwellings have been in place since the 1990s.





*Fig.7. GeoOttawa image showing the setbacks for neighbouring properties to the drainage ditch.*

### Variance C

The second 30 m setback variance is required for the septic system which is located 15.28 m from the top of the drainage ditch bank. The septic system has been located as far away from the drainage ditch as possible with its southerly limit abutting the Galaxie Ave lot line. Additionally, the type of septic system proposed is the “Eljen” system which is the most compact system available for this site. The septic system has been designed by a qualified civil engineer who has determined that a 15.28 m setback from the drainage ditch bank is appropriate to maintain the functionality of the property and the septic system.

## **2. Desirable and appropriate for the development or use of land and building**

The subject property is located in the village of Navan and surrounded by similarly sized residential lots. Many of these lots were built up in the 1990s and early 2000s when the lots and drainage systems were established. The type and scale of development proposed on the subject property features many similar characteristics as the other lots

on Cougar Crt and on the north side of Galaxie. For example, the majority of the dwellings contain large floorplates, single storey height, multi-car garages, covered porches, masonry and vinyl siding, and pitched roofs. The proposed development also complies with the large front yard and corner side yard setback requirements. The proposed setbacks maintain the general front yard setback along Galaxie Ave and allows for adequate vegetative screening which is a common feature in this neighbourhood. The subject property is located in a community of large lots and homes with large footprints. The subject property has never been built upon, yet various lots in all directions have been developed since the 1990's. The proposed variances will allow for the appropriate development of the subject property.

### **3. The variances maintain the intent of the Official Plan**

The subject property is within the Rural transect and is designated as Village as per Schedule B9 of the Official Plan (2022). The subject property is also located within the Consolidated Villages Secondary Plan designated as Village Residential as per Volume 2B of the Official Plan (2022). The following section features applicable excerpts from the Official Plan and Consolidated Villages Secondary Plan and how they are addressed by the proposal:

#### **City of Ottawa Official Plan**

##### **2.2.3 Energy and Climate Change**

- 6) Build resilience to future flood risks and increased stormwater runoff. Resilience to floods and the ability to manage increased stormwater runoff will be strengthened by:
  - Restricting development in flood plains and mitigating risks in areas vulnerable to flooding under future climate conditions;
  - Implementing stormwater management practices and designing infrastructure that is resilient to future climate conditions, including extreme weather events; and
  - Using Low Impact Development stormwater management features where feasible to manage smaller, frequent rainfall events.

*Response: The proposed development is not located within a floodplain and the watercourse present on site is a controlled seasonal drainage ditch. An eco friendly septic system has been chosen for this property so that the size and impact of the septic system is minimised. The Eljen septic system requires the least amount of area, leaving more opportunity for increased buildable area and to maintain natural ground cover. Trees surrounding the drainage ditch and the property boundary have been maintained to increase soil stability and mitigate water runoff and encourage infiltration from frequent and heavy rainfalls.*

##### **3.4 Focus Rural Growth in Villages**

- 2) Intensification within all villages is supported, subject to health and safety limitations for partial and private services.

*Response: The subject property has never been developed and will now contain one*



*dwelling unit. The proposed development represents residential infill development and intensification on the subject property. The development, including the private well and septic system, will comply with all Ontario Building Code requirements and will respect health and safety limitations for private services.*

#### 4.1 Designate Sufficient Land for Growth

- 3) The urban area and **villages** shall be the focus of growth and development.
- 4) The City will allocate household growth targets as follows: b) 7 per cent within the rural area where: i) 5 per cent is within the villages.

*Response: The City's growth plan assigns 5% of rural household growth to villages. This application directly aligns with that goal by adding a single-story residential unit in the village residential area of Navan. Almost all of the neighboring properties have already been developed, so this is a reasonable and efficient infill development.*

#### 4.7.2 Pursue an affordable and sustainable pattern of infrastructure development

- 5) All development outside of Public Service Areas shall be on the basis of private services (private well and private sewage system).

*Response: A private well and septic system is proposed and has been designed by a qualified civil engineer.*

#### 4.9.3 Restrict or limit development and site alteration near surface water features

- 2) Where a Council-approved watershed, subwatershed or environmental management plan does not exist, or provides incomplete recommendations, the minimum setback from surface water features shall be the greater of the following: a) Development limits as established by the conservation authority's hazard limit, which includes the regulatory flood line, geotechnical hazard limit and meander belt; b) Development limits as established by the geotechnical hazard limit in keeping with Council-approved Slope Stability Guidelines for Development Applications; **c) 30 metres from the top of bank, or the maximum point to which water can rise within the channel before spilling across the adjacent land;** and d) 15 metres from the existing stable top of slope, where there is a defined valley slope or ravine.
- 5) Where development or site alteration is proposed within or adjacent to headwater drainage features, and the proponent is requesting an exception to the minimum setback identified in Policy 2), the proposal and supporting studies must address the following to the satisfaction of the City: a) Evaluation and description of the project site, sensitivity of the headwater drainage features and sampling methods; b) Assessment and classification of hydrological function, riparian conditions, fish and fish habitat and terrestrial habitat; and c) Management recommendations regarding the need to protect, conserve, mitigate, maintain recharge or maintain/replicate terrestrial linkages of the headwater drainage features and a corresponding recommendation for an appropriate minimum setback.

*Response: No council-approved watershed, subwatershed, or environmental management plan exists for the subject site. Therefore, the minimum required setback*

*from a watercourse is 30m from the top of bank, or the maximum point to which water can rise before spilling across the adjacent land. The proposed development does not meet this requirement, however it has been proven through this rationale report that development is possible within the 30m setback while being mindful of the health and safety limitations of building adjacent to a watercourse. A headwater drainage feature assessment will be provided at the time of building permit to support the proposed development.*

#### 5.5.1 Recognize a rural pattern of built form and site design

- 1) Built form in the Greenbelt and Rural Transect areas, where development is permitted shall be low-rise. Mid-Rise buildings may be permitted with the Greenbelt Transect area identified by the Zoning By-law and within Villages as identified in a secondary plan. a) Within Villages, development will be context sensitive and characteristic of the Rural area. Secondary plans will guide the evolution of Villages to become 15-minute neighbourhoods with vibrant core areas. Within Villages, secondary plans will generally support urban built form development within the Village Cores, as described in Table 6, and both urban and sustainable suburban forms elsewhere, in accordance with context;

*Response: The proposed development is one storey and therefore is considered low-rise. The development features a large front yard (11.38 m) and corner side yard setback (6 m) treed for privacy. The scale, massing, and location of the proposed development respects the rural character of the Navan village. The dwelling will front onto Cougar Court facing the neighbour across the street at 3410 Cougar Court. One of the goals listed in the Consolidated Villages Secondary Plan is to allow the village to expand slowly with residential development that respects the character of the village. This development accomplishes this goal by proposing a single dwelling on a vacant lot in a residential neighbourhood with large setbacks and vegetation to be maintained.*

#### 9.4.2 Ensure all development maintains rural and village character, and to facilitate the use of active transportation for short trips within each Village

- 1) The following are generally permitted uses within Villages unless otherwise prescribed by a secondary plan: a) Residential uses, the form and scale of which shall be limited by the available servicing methods and subject to the policies related to water and wastewater servicing;

*Response: The proposed use is residential and will be serviced privately. The servicing method chosen will lessen the environmental impacts of wastewater servicing because of the Eljen system's efficiency and eco-friendly characteristics.*

### **Consolidated Villages Secondary Plan**

#### 4.2 Village residential

- Development of vacant land within existing residential areas is preferred. The built form, massing and profile of new housing shall be compatible with existing housing in consideration of relevant Council approved design guidelines.



*Response: The proposed one-storey residential building is consistent with Navan's established residential character, preserving the surrounding homes' consistency in scale, lot coverage, and architectural style. Most of the surrounding houses, such as 3400 Cougar Court, 3410 Cougar Court (West), 1030 Galaxie Ave, and 1040 Galaxie (South), are single-storey, which strengthens the consistent built form. Although the Zoning By-Law allows 15% lot coverage, 11 of the properties within 300m have lot coverages greater than 15% (ranging between 15.4% to 20%), which shows that the 18.67% lot coverage of the subject property is still in character with the village. Architecturally, the pitched roof, multi-car garage, and covered porches reflect elements of houses at 3410 Cougar Court (West), 1025 Galaxie Ave (East), 3405 Cougar Court (North), and 1040 Galaxie Ave (South). Furthermore, large setbacks, landscaping, and the retention of vegetation continue to integrate the house into the community, preserving Navan's rural character.*

#### **4. The variances maintain the intent of the Zoning By-Law**

The purpose of the V1 zone is to permit detached dwellings, allow for a limited range of compatible uses, and regulate development in a manner that adopts existing land use patterns so the low density, low-profile form of a neighbourhood is maintained and enhanced.

The proposed bungalow is consistent with the purpose of the V1 zone and is a permitted use. The proposed development conforms to all zoning requirements of the V1 zone other than lot coverage, and setback to a watercourse. As outlined in test 2, the proposed development is compatible with the existing dwellings on Galaxie Ave and Cougar Court being a single storey, low density dwelling. The design of the building, including its elevations, is compatible with and complimentary to the neighbouring properties.

The intent of the lot coverage requirement is to limit the size of development and allow for the majority of the property to be landscaped which is one way to maintain the rural aesthetic of the neighbourhood. The variance for lot coverage is triggered by the larger than permitted building footprint. The maximum permitted building footprint permitted is 332.28 m<sup>2</sup> (15% of the lot area) whereas the proposed building footprint is 413.47 m<sup>2</sup> (18.67% of the lot area), 81.19 m<sup>2</sup> larger than permitted. Properties with a lot coverage greater than 15% is not uncommon in this area. There are 11 properties within 300m of the subject site feature that are larger than permitted lot coverages ranging from approximately 15.4% to 20%. These properties, including the subject property, are still able maintain the rural aesthetic of the neighbourhood by providing large setbacks and soft landscaping containing large tree species wherever possible. In the case of the subject property, we are providing a 11.38 m front yard setback, 6 m corner side yard setbacks, and a 17.87 m rear yard setback, all of which exceed the V1 requirements.

The intent of the watercourse setback requirement is to ensure a safe distance is maintained between a watercourse and any part of the proposed development. The variances for the watercourse setback are triggered by the proposed building and septic

proximity to the existing drainage ditch that runs along the property's rear yard. This drainage ditch is technically classified as a watercourse in the Zoning By-Law, despite the ditch only containing water seasonally and at low levels. The requested setback of 3.05 m for the proposed dwelling is measured from the northeast corner of the building to the closest point of the ditch's bank. The requested setback of 15 m for the proposed septic is measured from the northwest corner of the septic bed to the closest point of the ditch's bank. Based on the precedent set by the neighbouring property to the east and our understanding of the site's existing conditions, we believe an 3.05 m and a 15 m setback from the top of the ditch's bank represents a safe distance and is a sufficient setback for the dwelling and septic respectively.

**We request the Committee of Adjustment authorise the requested variances in accordance with the plans filed as they relate to the variances being requested.**

At this time we are submitting the following in support of the application:

- Completed application form for the minor variance application;
- Property owner's authorization for submission of the applications;
- Site Plan showing the entirety of the proposed site and septic;
- Elevations from all four sides of one of the dwellings;
- Application fees;
- Survey plan of the entire property.

When the notification signs are ready for this application please email the undersigned and we will arrange for their installation on the property.

Should you have any questions or require anything further, please do not hesitate to contact the undersigned at (613) 695 0192 or via email at [planning@p2concepts.ca](mailto:planning@p2concepts.ca).

**P-Squared Concepts Inc.**

A handwritten signature in black ink, appearing to read 'J. Paoloni'.

Jasmine Paoloni,  
B.A.S, LEED® Green Associate™