

April 29th, 2025

Committee of Adjustment
City of Ottawa
101 Centrepointhe Drive
Ottawa, ON, K2G 5K7

Attention: Michel Bellemare, Secretary - Treasurer

Dear Mr. Bellemare:

**Reference: 1883 Stittsville Main Street
Minor Variance Application
Our File Number: 124097**

Committee of Adjustment
Received | Reçu le

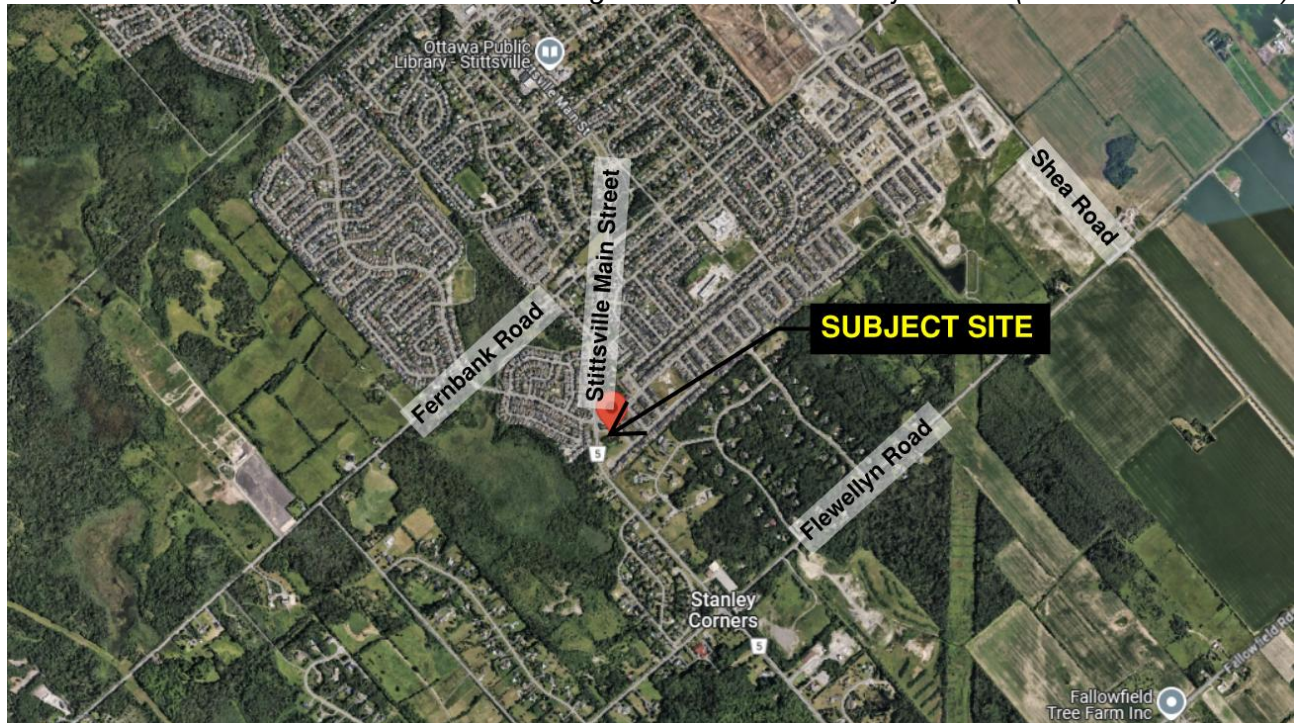
2025-04-30

City of Ottawa | Ville d'Ottawa
Comité de dérogation

Novatech has been retained by Mattamy Homes to prepare and file a minor variance application to permit a reduced interior side yard setback for 1883 Stittsville Main Street (the "Subject Site"). The Subject Site is currently part of a Site Plan Control application for a Planned Unit Development with 84 stacked townhouse dwellings. A 30-centimetre reserve is located adjacent to the westerly interior lot line. The reduced interior side yard setback is required based on confirmation received from City staff that the interior side yard provisions apply rather than the corner side yard provisions because of the 30-centimetre reserve.

This letter describes the existing conditions of the site and its surrounding context, the proposed development, and the rationale in support of the application.

Figure 1: Location of Subject Site. (Source: GeoOttawa).



Site and Context

Site

The Subject Site is located in Stittsville within Ward 6 – Stittsville in the City of Ottawa. The Subject Site is located on the east side of Stittsville Main Street. The site is bounded by Parade Drive to the north, Campolina Way to the south, and Falabella Street to the east. A 30-centimetre reserve separates the Subject Site from Stittsville Main Street. The Subject Site is currently developed with a detached dwelling. The Subject Site has 26.92 metres of frontage along Parade Drive, 81.34 metres of frontage along Campolina Way, and 90.68 metres of frontage along Falabella Street. The Subject Site has a lot area of 1.05 hectares.

The Subject Site is legally known as Block 349 on Registered Plan 4M-1589 in the City of Ottawa.



Figure 2: Subject Site. (Source: GeoOttawa).










The Subject Site is designated Neighbourhood in the Suburban (West) Transect in the City of Ottawa Official Plan (Figure 3). The Subject Site is zoned R4Z – Residential Fourth Density, Subzone Z in the City of Ottawa Zoning By-law 2008-250 (Figure 4).

Figure 3: OP Designation. (Source: City of Ottawa Official Plan).


OVERLAY / AFFECTATION SUPPLÉMENTAIRE

-  Evolving Neighbourhood / Quartier en évolution
-  Future Neighbourhood / Quartier futur

DESIGNATIONS / DÉSIGNATIONS

- TC** Town Centre / Centre ville
-  Hub / Carrefour
-  Corridor - Mainstreet / Couloir - Rue principale
-  Corridor - Minor / Couloir - Rue principale mineure
-  Mixed Industrial / Industrie Mixte
-  Industrial and Logistics / Industrie et Logistique
-  Greenspace / Espace vert
-  Neighbourhood / Quartier

SPECIAL DISTRICT / DISTRICT PARTICULIER

-  Kanata North Economic District / District économique de Kanata-Nord

TRANSIT

-  O-Train Station / Station de l'O-Train
-  Future O-Train Station / Station de l'O-Train (futur)
-  Transfer Station / Station de correspondance

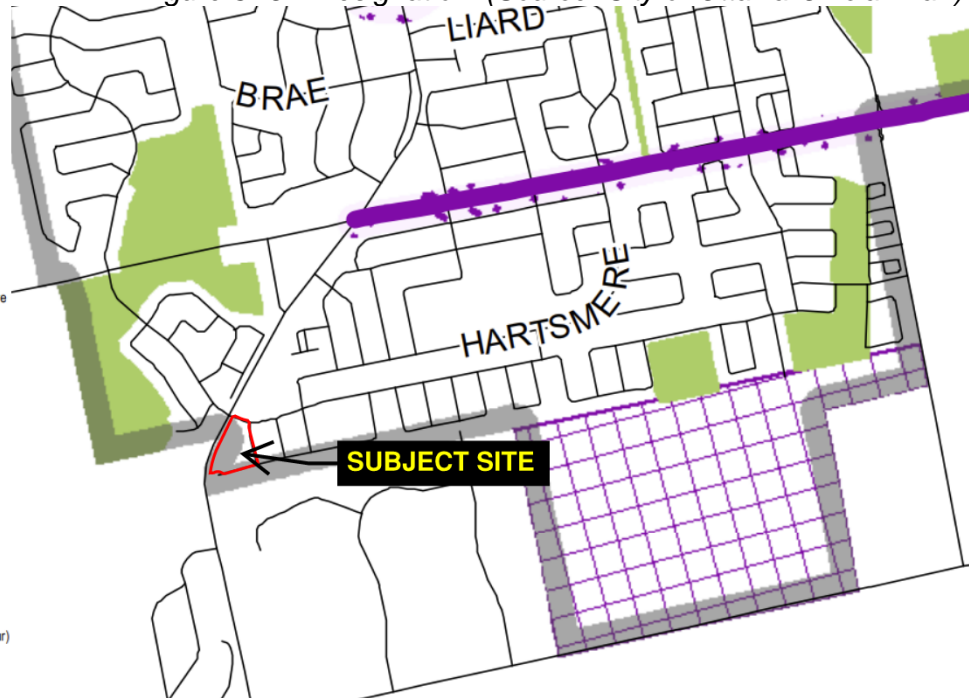


Figure 4: Zoning Map. (Source: GeoOttawa).

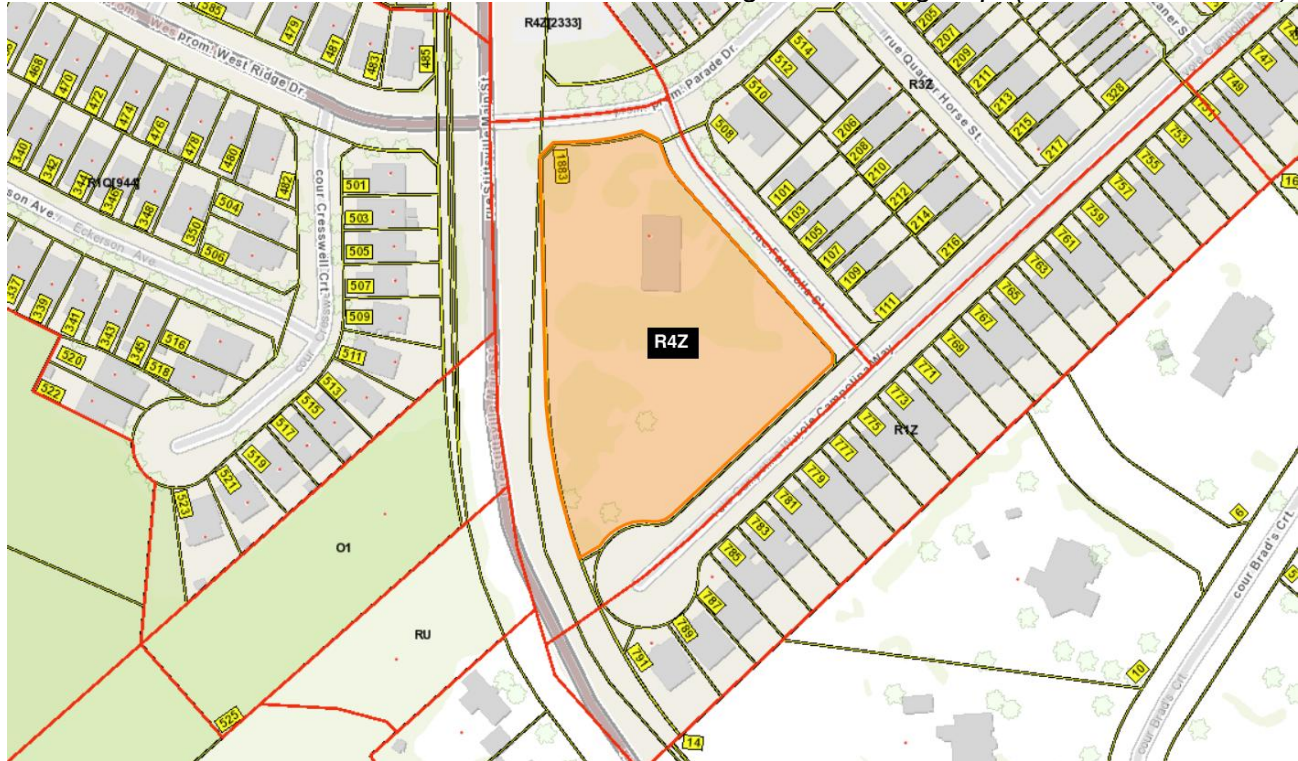
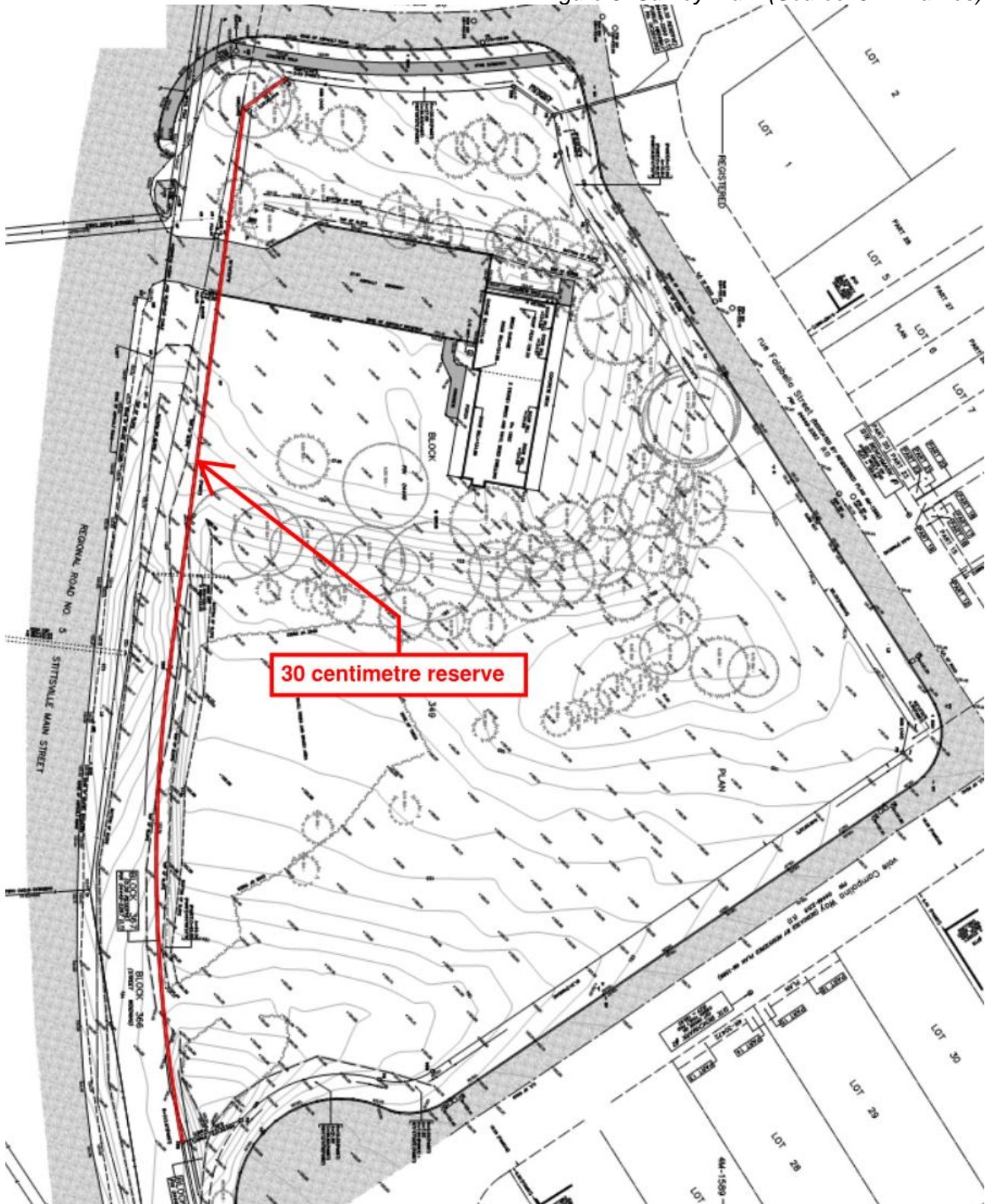


Figure 5: Survey Plan. (Source: J.D. Barnes).

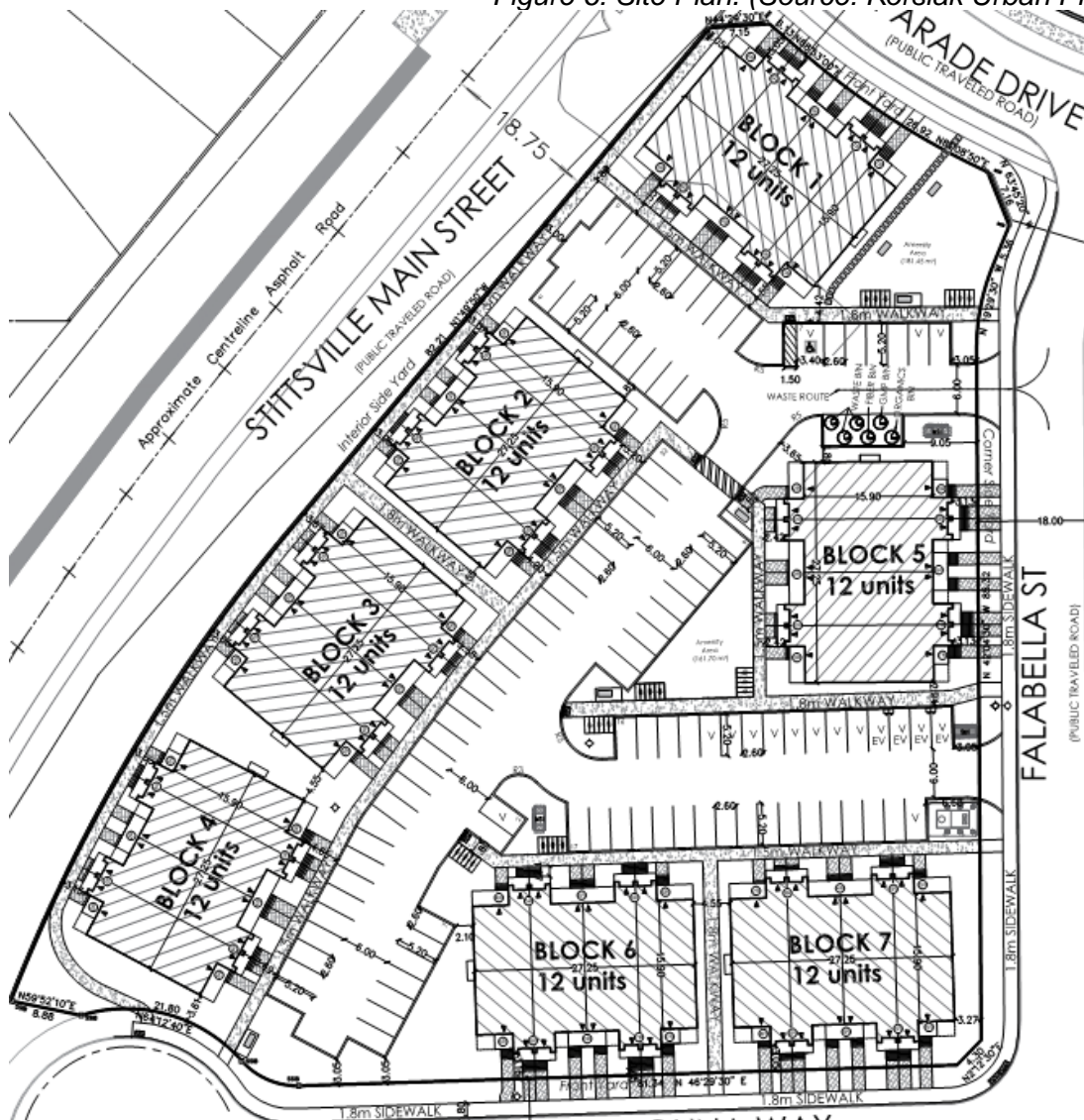


A 30-centimetre reserve is located between the westerly lot line of the Subject Site and the right-of-way for Stittsville Main Street (Figure 5). Since the 30-centimetre reserve is located between the Subject Site and the right-of-way, the Subject Site does not have frontage on Stittsville Main Street. The westerly lot line is an interior lot line and not a corner lot line.

Proposed Development

The proposed development is to construct a Planned Unit Development with 84 stacked townhouse dwellings (Figure 6). The Planned Unit was designed to provide the same 3.0 metre setback from all lot lines so that the buildings would address the street and so parking spaces could be internalized. The proposed development is part of an ongoing Site Plan Control application, where it was identified that the 30-centimetre reserve is located along the westerly lot line. Relief is required to permit a reduced interior side yard setback of 3.00 metres, whereas 6.0 metres is required.

Figure 6: Site Plan. (Source: Korsiak Urban Planning).



Minor Variance Application

The requested minor variance is identified below:

- a) To permit a reduced interior side yard setback of 3.0 metres, whereas the Zoning By-law requires a minimum interior side yard setback of 1.5 metres for the first 21 metres from the front lot line and 6.0 metres for the remainder. (Section 162, Table 162A).

Minor Variance Rationale

This rationale will speak to the four tests for a minor variance set out in Section 45(1) of the Planning Act. The minor variances listed above meet the four tests for minor variance.

The first test for a minor variance is that the general intent and purpose of the Official Plan is maintained.

The Subject Site is designated Neighbourhood within the Suburban (West) Transect in the City of Ottawa Official Plan.

Suburban Transect:

Section 5.4.1. of the Official Plan supports the development of a suburban built form pattern and site design while supporting an evolution towards 15-minute communities. Section 5.4.1, Policy 2 states:

- 2) *The Suburban Transect is generally characterized by Low- to Mid-density development. Development shall be:*
 - a) Low-rise within Neighbourhoods; [Bill 162, Schedule 3, Item 8, Modification 12, May 16, 2024]

Section 5.4.1, Policy 3 states:

- 3) *In the Suburban Transect, this Plan shall support:*
 - a) A range of dwelling unit sizes in:
 - ii) Predominantly ground-oriented housing forms in Neighbourhoods located away from rapid transit stations and Corridors, with Low-rise multi-unit dwellings permitted near street transit routes; and

The proposed development with the requested variance facilitates the development of a Planned Unit Development with 84 stacked townhouse dwellings. The reduced interior side yard setback supports low-rise development within Neighbourhoods and promotes the development of a ground-oriented housing form.

Neighbourhood

Section 6.3.1, Policy 4 states:

- 4) The Zoning By-law and approvals under the Planning Act shall allow a range of residential and non-residential built forms within the Neighbourhood designation, including:
 - a) Generally, a full range of Low-rise housing options sufficient to meet or exceed the goals of Table 2 and Table 3b;

Section 6.3.2, Policy 3 states:

3) Further to Policy 2), form-based regulation will provide for built form and site development characteristics that are:

- a) *In the Downtown Core Transect, urban as described in Table 6;*
- b) *In those parts of the Inner Urban, Outer Urban and Suburban Transects covered by the Evolving Neighborhood Overlay where substantial increases of density are planned and where building form and massing is anticipated to change significantly from existing context, urban as described in Table 6; and*
- c) *In all other cases, may provide for a mix of urban and suburban characteristics as described in Table 6, provided that such development does not unreasonably preclude evolution to more urban character over the life of this Plan.*

Section 6.3.2, Policy 4 states:

4) *The Zoning By-law may establish separate standards as appropriate for development on interior lots, corner lots, through lots and whole-block lots, in order to produce coherent and predictable built form and site development outcomes that contribute to well-designed blocks and streetlines.*

The proposed development with the requested variance for a reduced interior side yard setback provides a mix of suburban and urban characteristics, including providing attached buildings with minimal functional side yard setbacks. The provided 3.0 metre setback would meet the minimum corner side yard setback requirement for the R4Z Zone. However, since a 30-centimetre reserve applies along the westerly lot line, the minimum interior side yard setback requirement of 1.5 metres for the first 21 metres from the front lot line and 6.0 metres for the remainder applies. The provided 3.05-metre setback provides a more coherent built form that contributes to a well-designed block.

The requested variance maintains the general intent and purpose of the Official Plan.

The second test for a minor variance is that the general intent and purpose of the Zoning By-law is maintained.

The Subject Site is zoned R4Z – Residential Fourth Density, Subzone Z in the City of Ottawa Zoning By-law 2008-250. The purpose of the R4 Zone is to:

- (1) *allow a wide mix of residential building forms ranging from detached to low rise apartment dwellings, in some cases limited to four units, and in no case more than four storeys, in areas designated as General Urban Area in the Official Plan;*
- (2) *allow a number of other residential uses to provide additional housing choices within the fourth density residential areas;*
- (3) *permit ancillary uses to the principal residential use to allow residents to work at home;*
- (4) *regulate development in a manner that is compatible with existing land use patterns so that the mixed building form, residential character of a neighbourhood is maintained or enhanced; and*
- (5) *permit different development standards, identified in the Z subzone, primarily for areas designated as Developing Communities, which promote efficient land use and compact form while showcasing newer design approaches.*

The following uses are permitted in the R4 zone, as per Section 161 of the Zoning By-law:

- (1) The following uses are permitted uses subject to:
- (a) the provisions of subsection 161 (2) to (15);
 - (b) a maximum of three guest bedrooms in a bed and breakfast; and
 - (c) a maximum of ten residents permitted in a group home.
- apartment **dwelling**, low rise
bed and breakfast, see Part 5, Section 121
detached **dwelling**
diplomatic mission, see Part 3, Section 88
duplex dwelling, see Part 5, Section 138 (By-law 2010-307)
group home, see Part 5, Section 125
home-based business, see Part 5, Section 127
home-based daycare, see Part 5, Section 129
linked-detached dwelling, see Part 5, Section 138 (By-law 2010-307)
park
planned unit development, see Part 5, Section 131
retirement home, converted see Part 5, Section 122
retirement home
rooming house
additional dwelling unit, see Part 5, Section 133
semi-detached dwelling, see Part 5, Section 138 (By-law 2010-307)
stacked dwelling, see Part 5, Section 138 (By-law 2010-307)
three-unit **dwelling**
townhouse dwelling, see Part 5, Section 138 (By-law 2012-334) (By-law 2010-307) (By-law 2014-189)
urban agriculture, see Part 3, Section 82 (By-law 2017-148) (By-law 2018-206)

The zoning provisions that apply to the Subject Site are summarized in Table 1 below.

Table 1: Zoning Provisions

Provision	Required	Provided	Section
Minimum Lot Width (m)	18 m	44.86 m	S.162, Table 162A
Minimum Lot Area (m ²)	1,400 m ²	10,476 m ²	S.162, Table 162A
Minimum Landscaped Area	30%	41%	S.161(8)
Minimum Front Yard Setback (m) (Through Lot) (Parade/Campolina)	3 m	3.0 m	S.162, Table 162A
Minimum Corner Side Yard Setback (m) (Falabella)	3 m	3.0 m	S.162, Table 162A
Minimum Interior Side Yard Setback (m) (Stittsville Main)	1.5 m for first 21 m from front lot line and 6 m for the remainder	3.0 m	S.162, Table 162A
Permitted Projections into Required Yards	Fire escapes, open stairways, stoop, landing, steps and ramps	Projections (stoop/steps) no closer than 0.6m	S.65

	i) where at or below the floor level of the first floor: 1. in the case of the interior side yard or rear yard: no limit, and 2. in the case of the front yard or corner side yard: no closer than 0.6m to a lot line	to a lot line.	
Car Parking	Stacked dwelling: 1 space per unit = 84 spaces	91 spaces	S.101
Visitor Car Parking	0.2 spaces per unit = 17 spaces	17 spaces	S.102(4)
Parking Space Dimensions	5.2 m x 2.6 m	5.2 m x 2.6 m	S.106(1)
Driveway Provisions	2.6 m	6 m	S.107(3)
Landscaping Provisions for Parking Lots	15% of area of parking; buffer of 3 m where abutting a street	25% landscaped; 3.05 m buffer	S.110
Bicycle Parking	0.5 spaces per unit = 42 spaces	42 spaces	S.111A(b)(ii)
Minimum Width of Private Way	6 m	6 m	Section 131, Table 131
Minimum Setback between Residential Use Building and Private Way	1.8 m	2.03 m	Section 131, Table 131
Minimum Separation between Buildings	1.2 m	4.55 m	Section 131, Table 131
Amenity Area	6 m ² per dwelling unit: 504 m ² 50% communal: 252 m ²	749 m ² with 345 m ² communal	S.137

Variance a) is to permit a reduced interior side yard setback of 3.0 metres, whereas the Zoning By-law requires a minimum interior side yard setback of 1.5 metres for the first 21 metres from the lot, and 6.0 metres for the remainder.

The proposed development provides front yard setbacks and a corner side yard setback of 3.0 metres. The westerly interior side yard setback was originally provided as a fully compliant corner side yard setback of 3.0 metres. Staff indicated during the Site Plan Control application review process that there is a 30-centimetre reserve adjacent to the westerly lot line of the site. Consequently, an interior side yard setback is required.

The provided setback exceeds the minimum interior side yard setback of 1.5 metres required for the first 21 metres from the front lot line, providing a consistent 3.0-metre setback. The provided 3.0-metre setback provides a consistent building setback from the interior lot line and the provided setback ensures that an adequate interior side yard is still provided.

The interior side yard adjacent to Stittsville Main Street appears to be a corner side yard setback and functions as a corner side yard setback. Despite the 30-centimetre reserve, the proposed stacked dwellings still face Stittsville Main Street. The provided setback is appropriate and results in a

consistent yard setback that is compatible with existing land use patterns and the front and corner side yard setback pattern provided on the site.

The requested variance meets the general intent and purpose of the Zoning By-law.

The third test for a minor variance is that the minor variance is considered suitable and desirable for the use of land.

The requested variance is suitable and desirable for the appropriate use of the land. The provided setback of 3.0 metres exceeds the required minimum corner side yard in the R4Z Zone and exceeds the minimum 1.5 metre interior side yard setback required for the first 21 metres from the front lot line.

The provided interior side yard setback of 3.0 metres results in buildings that address Stittsville Main Street, resulting in a more urban streetscape design and allowing the parking areas to be internalized on the property. The provided setback has sufficient space for a 1.5-metre walkway so that access is provided through the property. The provided interior side yard setback is consistent with the provided front yard setbacks facing Parade Drive and Campolina Way and the provided corner side yard setback facing Falabella Street.

The proposed development with the requested variance allows for buildings to be oriented towards the street, internalizing most of the parking areas. This contributes to urban development characteristics found in Table 6 of the Official Plan.

The requested variance is considered suitable and desirable for the appropriate use of land.

The fourth test for a minor variance is that the variance is considered minor in nature.

The requested variance to permit a reduced interior side yard setback is minor. The reduced interior side yard setback of 3.0 metres is 3.0 metres less than the minimum interior side yard setback of 6 metres. However, the reduced setback is 1.5 metres more than the minimum interior side yard setback of 1.5 metres which applies for the first 21 metres from the front lot line.

The provided interior side yard setback exceeds the minimum required front yard setback and the minimum required corner side yard setback of 3.0 metres. Since there is a 30-centimetre reserve along Stittsville Main Street, the yard adjacent to Stittsville Main Street is considered an interior side yard, even though it is functionally a corner side yard. If the 30-centimetre reserve was not there or was removed, then that interior side yard would become a corner side yard. Without the reserve, the minimum corner side yard setback of 3.0 metres would be applicable and relief would not be required.

There is no lot adjacent to the westerly interior lot line. Consequently, there is no impact to an adjacent building or use as a result of the reduced interior side yard setback.

The impact of the reduced setback is thus minor, as the requirement for relief is triggered only by the presence of the reserve.

The variance is considered minor in nature.

Conclusion

The requested minor variance to permit a reduced interior side yard setback maintains the general intent and purpose of the Official Plan, helping to facilitate low-rise, residential development in the Neighbourhoods designation. The requested variance maintains the general intent and purpose of the Zoning By-law by facilitating the development of a permitted use and maintaining the intent of the interior side yard setback provision. The variance is suitable and desirable for the use of land as it results in buildings that address the street and aligns with the urban characteristics in Table 6 of the Official Plan. Finally, the requested variance is minor in nature as it is triggered by the 30-centimetre reserve adjacent to the property. If the reserve were lifted, then the minimum corner side yard setback provision would apply and the development would conform to the required setback. The requested variance meets the criteria of Section 45(1) of the *Planning Act*.

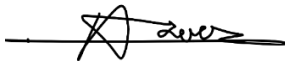
The Minor Variance application represents good land use planning.

In support of the applications for permission, please find enclosed:

- Cover Letter (one copy)
- Complete Minor Variance Application Form (one original copy)
- Signed Minor Variance Authorization Form (one original copy)
- Application fee
- Survey Plan (one 8.5x11 copy and one 11x17 copy)
- Site Plan (one 8.5x11 copy and one 11x17 copy)
- Elevation Drawings (one 8.5x11 copy and one 11x17 copy)
- Tree Conservation Report (one original copy)

Should you have any questions regarding this application, please do not hesitate to contact me.

Yours truly,



NOVATECH
Arjan Soor, M.PL
Planner