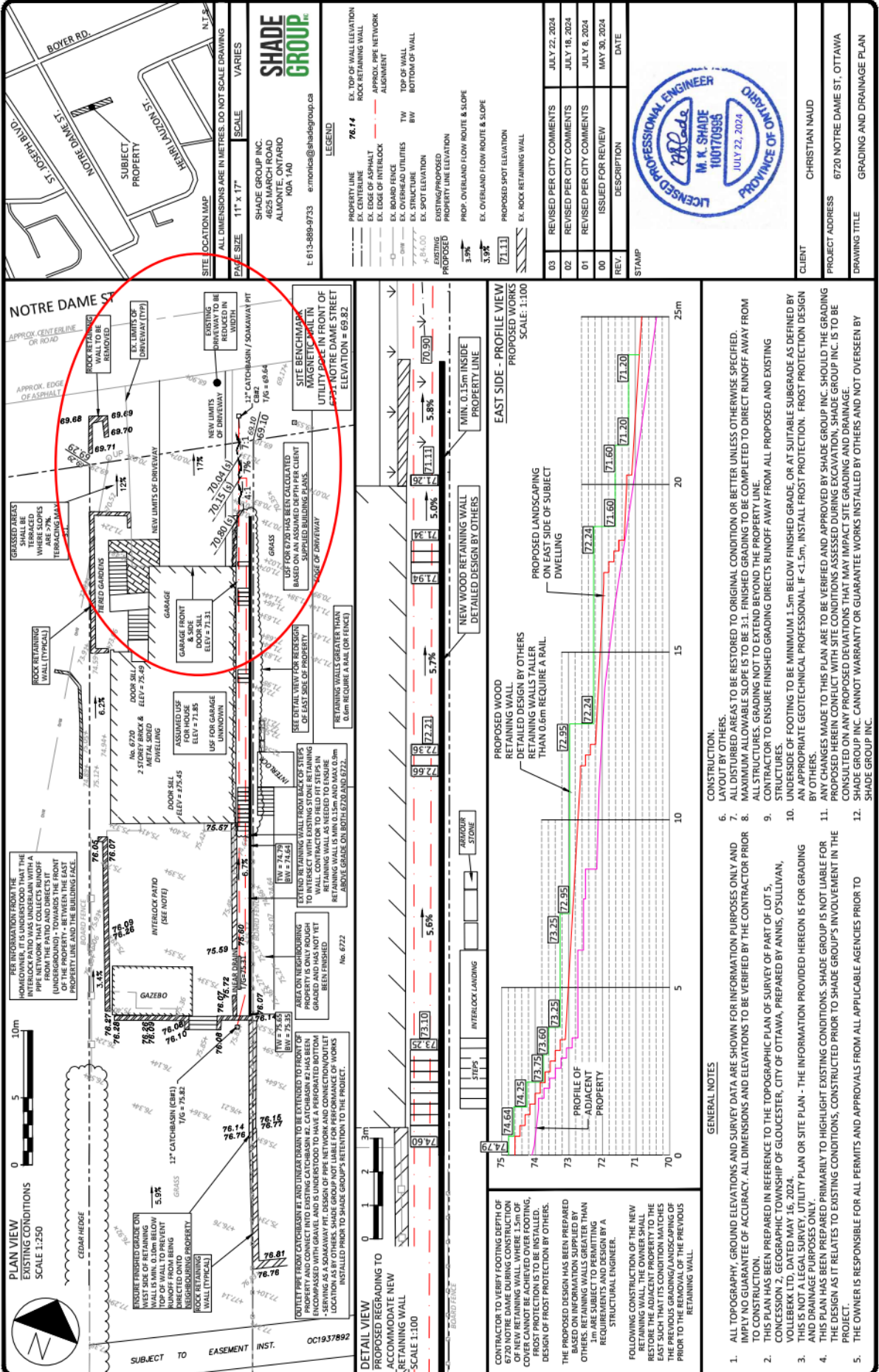




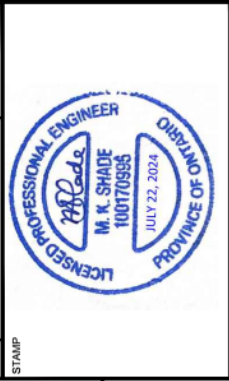
SHADE GROUP INC.
4625 MARCH ROAD
ALMONTÉ, ONTARIO
K0A 1A0
t: 613-889-9733 e: mtorres@shadegroup.ca

LEGEND

---	PROPERTY LINE	---	EX. TOP OF WALL ELEVATION
---	EX. CENTRELINE	---	ROCK RETAINING WALL
---	EX. EDGE OF ASPHALT	---	APPROX. PIPE NETWORK
---	EX. ROAD BLOCK	---	ALIGNMENT
---	EX. ROAD FENCE	---	TOP OF WALL
---	EX. OVERHEAD UTILITIES	---	EX. STRUCTURE
---	EX. SPOT ELEVATION	---	EXISTING PROPOSED
---	EXISTING PROPOSED	---	PROPERTY LINE ELEVATION
---	PROPOSED OVERLAND FLOW ROUTE & SLOPE	---	EX. OVERLAND FLOW ROUTE & SLOPE
---	PROPOSED SPOT ELEVATION	---	EX. ROCK RETAINING WALL

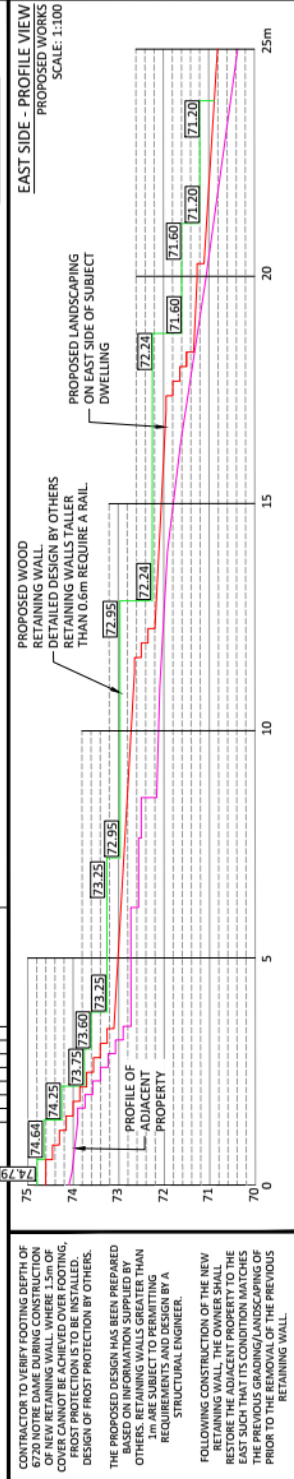
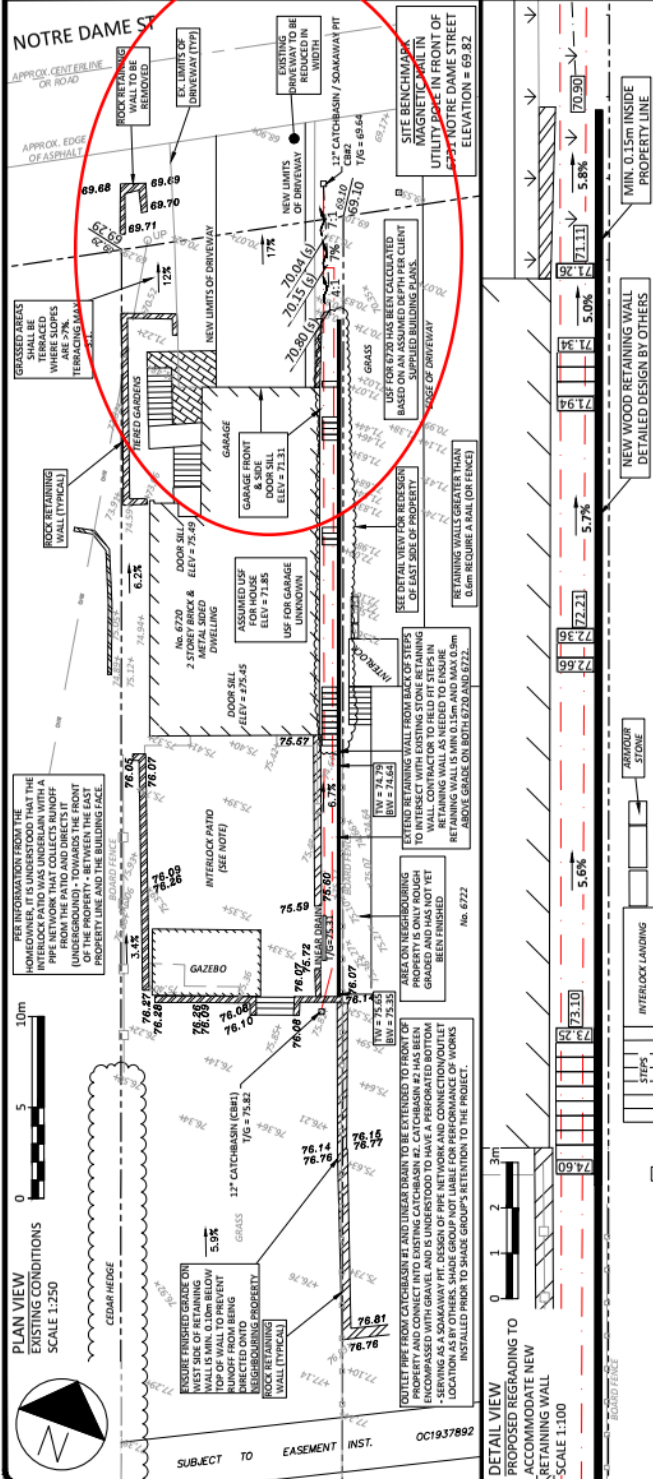
REVISIONS

REV.	DESCRIPTION	DATE
03	REVISED PER CITY COMMENTS	JULY 22, 2024
02	REVISED PER CITY COMMENTS	JULY 18, 2024
01	REVISED PER CITY COMMENTS	JULY 8, 2024
00	ISSUED FOR REVIEW	MAY 30, 2024



CLIENT

CLIENT	CHRISTIAN NAUD
PROJECT ADDRESS	6720 NOTRE DAME ST., OTTAWA
DRAWING TITLE	GRADING AND DRAINAGE PLAN



- GENERAL NOTES**
1. ALL TOPOGRAPHY, GROUND ELEVATIONS AND SURVEY DATA ARE SHOWN FOR INFORMATION PURPOSES ONLY AND IMPLY NO GUARANTEE OF ACCURACY. ALL DIMENSIONS AND ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
 2. THIS PLAN HAS BEEN PREPARED IN REFERENCE TO THE TOPOGRAPHIC PLAN OF SURVEY OF PART OF LOT 5, CONCESSION 2, GEOGRAPHIC TOWNSHIP OF GLOUCESTER, CITY OF OTTAWA, PREPARED BY ANNIS, O'SULLIVAN, VOLLEBECK LTD., DATED MAY 16, 2024.
 3. THIS IS NOT A LEGAL SURVEY. UTILITY PLAN OR SITE PLAN - THE INFORMATION PROVIDED HEREON IS FOR GRADING AND DRAINAGE PURPOSES ONLY.
 4. THIS PLAN HAS BEEN PREPARED PRIMARILY TO HIGHLIGHT EXISTING CONDITIONS. SHADE GROUP IS NOT LIABLE FOR THE DESIGN AS IT RELATES TO EXISTING CONDITIONS, CONSTRUCTED PRIOR TO SHADE GROUP'S INVOLVEMENT IN THE PROJECT.
 5. THE OWNER IS RESPONSIBLE FOR ALL PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES PRIOR TO CONSTRUCTION.
 6. LAYOUT BY OTHERS.
 7. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED. MAXIMUM ALLOWABLE SLOPE IS TO BE 3:1. FINISHED GRADING TO BE COMPLETED TO DIRECT RUNOFF AWAY FROM ALL STRUCTURES. GRADING NOT TO EXTEND BEYOND THE PROPERTY LINE.
 8. CONTRACTOR TO ENSURE FINISHED GRADING DIRECTS RUNOFF AWAY FROM ALL PROPOSED AND EXISTING STRUCTURES.
 9. UNDERSIDE OF FOOTING TO BE MINIMUM 1.5m BELOW FINISHED GRADE, OR AT SUITABLE SUBGRADE AS DEFINED BY AN APPROPRIATE GEOTECHNICAL PROFESSIONAL. IF <1.5m, INSTALL FROST PROTECTION. FROST PROTECTION DESIGN BY OTHERS.
 10. ANY CHANGES MADE TO THIS PLAN ARE TO BE VERIFIED AND APPROVED BY SHADE GROUP INC. SHOULD THE GRADING PROPOSED HEREIN CONFLICT WITH SITE CONDITIONS ASSESSED DURING EXCAVATION, SHADE GROUP INC. IS TO BE CONSULTED ON ANY PROPOSED DEVIATIONS THAT MAY IMPACT SITE GRADING AND DRAINAGE.
 11. SHADE GROUP INC. CANNOT WARRANTY OR GUARANTEE WORKS INSTALLED BY OTHERS AND NOT OVERSEEN BY SHADE GROUP INC.
 12. THE OWNER IS RESPONSIBLE FOR ALL PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES PRIOR TO CONSTRUCTION.

6720 NOTRE DAME
REQUEST FOR MINOR
VARIANCE FOR DRIVEWAY
SLOPE OF 17%.

LINE OF OVERHEAD DECK

SOFT LANDSCAPING

GARAGE DOOR

16'

4.87m

MAILBOX

STEP

8'-8"

2.64m

STEP

25'-4"

7.72m

4'

1.2m

17%

7'-6"

2.28m

16'-0"

(4.9m)

4'-0"

(1.2m)

MAGNOLIA TREE

UTILITY POLE

ASPHALT
DRIVEWAY

PROPOSED DRIVEWAY

PROPOSED WALKWAY
CONCRETE W/AGGREGATE FINISH &
SNOWMELTING SYSTEM

BROOM FINISH - CONCRETE W/ SNOWMELTING SYSTEM

Committee of Adjustment

Received | Reçu le

Revised | Modifié le : 2025-05-20

City of Ottawa | Ville d'Ottawa

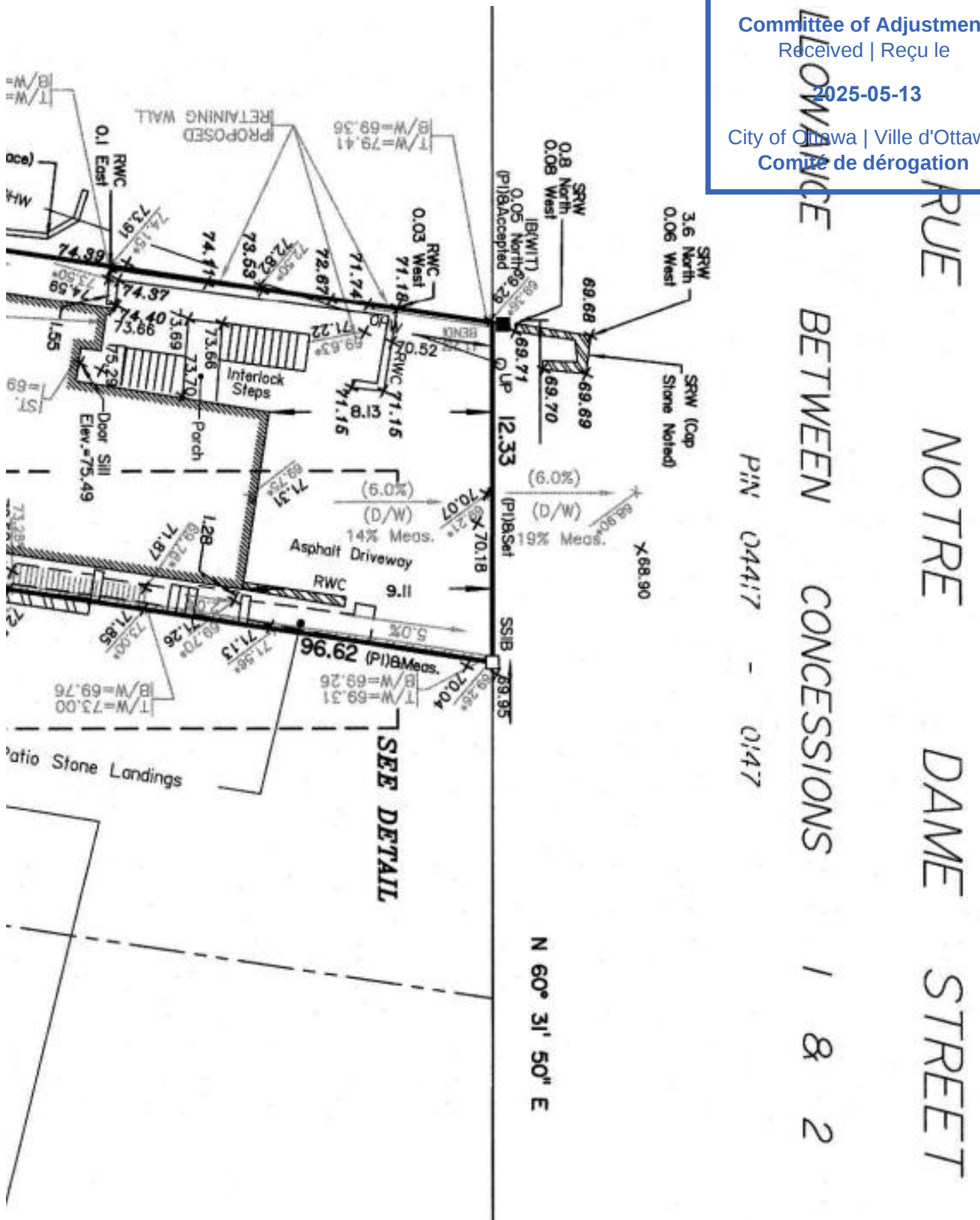
Comité de dérogation

Survey Expanded View -Driveway slope planned (6%) vs. 17% average measured.

Committee of Adjustment
Received | Reçu le

2025-05-13

City of Ottawa | Ville d'Ottawa
Comité de dérogation



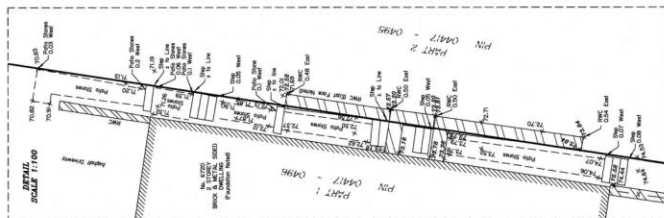
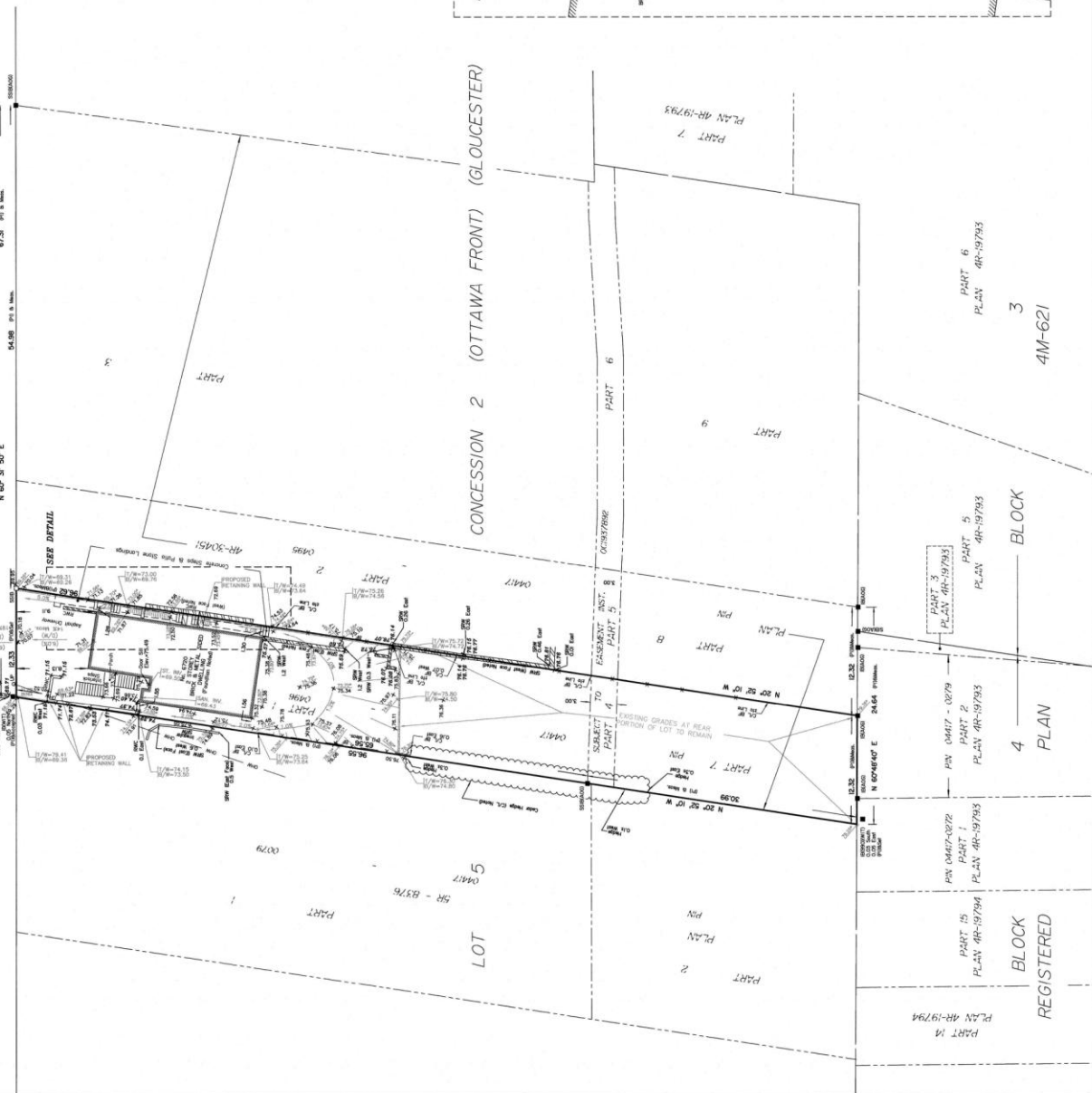
Site Benchmark
Magnetic Nail in
Utility Pole
Elevation=69.82

RUE NOTRE DAME STREET

ROAD ALLOWANCE BETWEEN CONCESSIONS 1 & 2 (OTTAWA FRONT) (GLOUCESTER)

$P_{11}^{\text{in}} = 0.4917$ - 0.47

Surveyed by Annis, O'Sullivan, Vollebekk Ltd.



Scale 1 : 250



Electric

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate

CERTIFY THAT:

- This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
- The survey was completed on the 8th day of March, 2024.

24.8.2024

Date _____

Ontario Land Surveyor

Ontario Land Surveyor

Notes & Legend

Density:

- | | |
|---------------------------------------|---------------------------------------|
| Survey Measured Planned | Survey Measured Planned |
| Standard from Bar | Standard from Bar |
| Short Standard from Bar | Short Standard from Bar |
| Iron Bar | Iron Bar |
| Vertical | Vertical |
| Measured | Measured |
| Arms, O'Sullivan, Volkheim LLC | Arms, O'Sullivan, Volkheim LLC |
| Plan 46-3445 | Plan 46-3445 |
| Utility Pole | Utility Pole |
| Location of Retaining Wall Elevations | Location of Retaining Wall Elevations |
| Location of Elevations | Location of Elevations |
| Location of Proposed Elevations | Location of Proposed Elevations |
| Gravel | Gravel |
| Concrete Retaining Wall | Concrete Retaining Wall |
| Concrete Retaining Wall | Concrete Retaining Wall |
| Best Force | Best Force |

earings are grid, derived from Can-Net 2016 Real Time Network
 18 observations, MTM Zone 9 (76°30' West Longitude) NAD-83
 (meters).

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM

V-53834



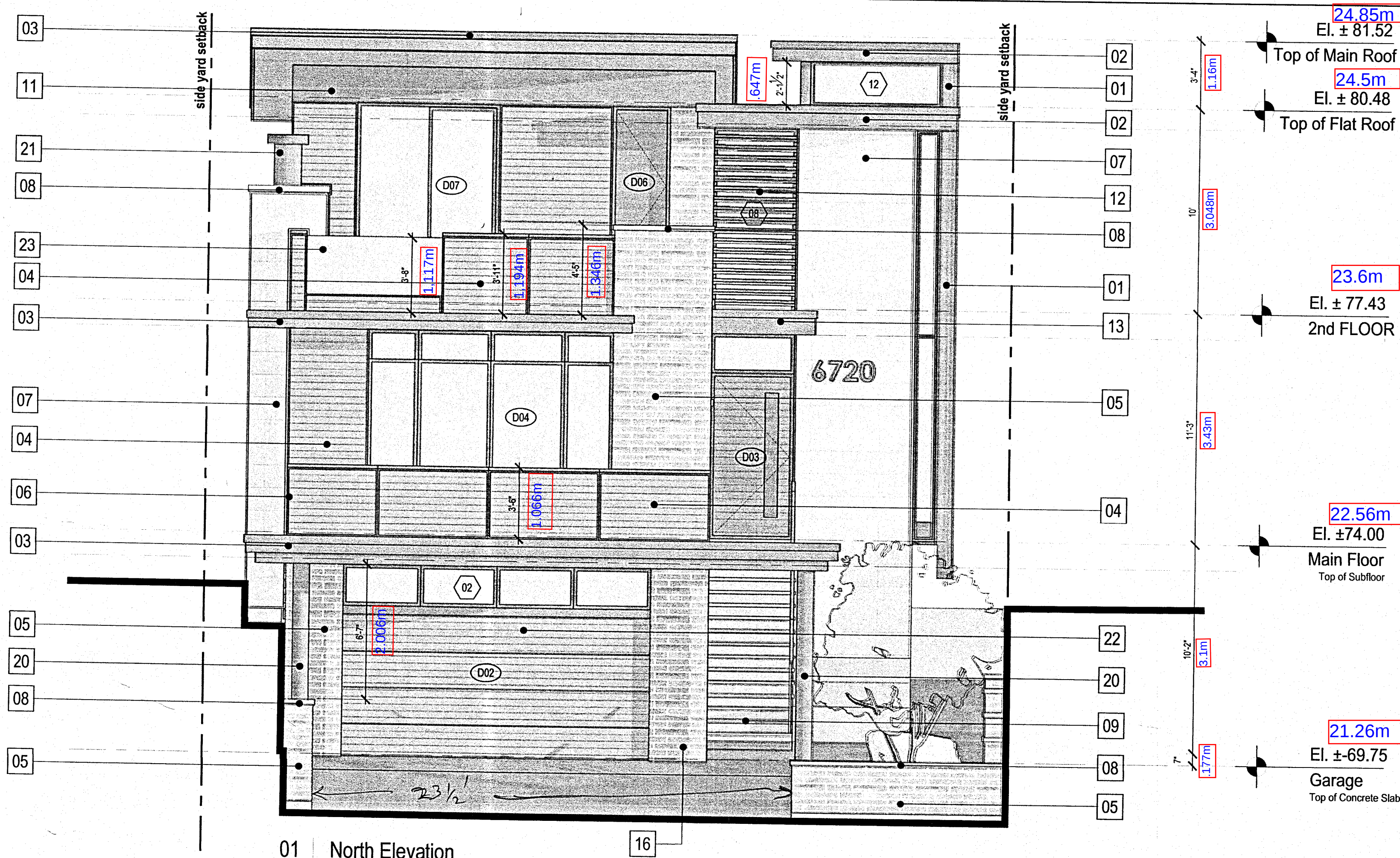
THIS PLAN IS NOT VALID UNLESS
IT IS AN EMBOSSED ORIGINAL
COPY ISSUED BY THE SURVEYOR

In accordance with
The Survey Act, R.S.O. 1990, c. S.5, s. 29(1)

ELEVATION NOTES

- ELEVATION NOTES**
Elevations shown are geodetic and are referred to the Vertical Control Benchmark 0011985/US05 having an elevation of 59.54 metres (CGVD28 geodetic datum). It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that it's relative elevation and description agrees with the information shown on this drawing.

 **ANNIS, O'SULLIVAN, VOLLEBEK LTD.**
14 Concourse Gate, Suite 500
Newport, Ont. K7E 7S6
Phone: (813) 727-0550 / Fax: (813) 727-1079
Email: info@annvol.com



24.85m
El. ± 81.52
Top of Main Roof
24.5m
El. ± 80.48
Top of Flat Roof

23.6m
El. ± 77.43
2nd FLOOR

22.56m
El. ± 74.00
Main Floor
Top of Subfloor

21.54m
El. ± 70.60
Basement
Top of Concrete Slab

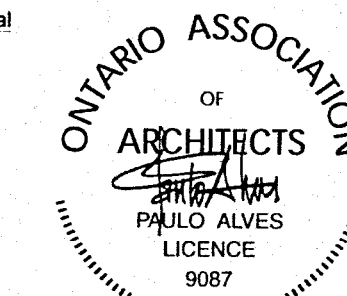
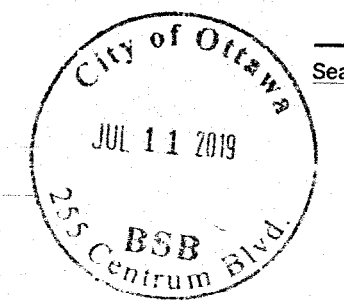
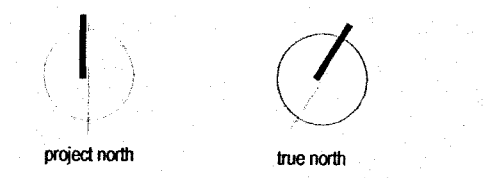
21.26m
El. ± 69.75

- 01 PRE-FINISHED METAL TRIM
COLOUR: COMMERCIAL BROWN
- 02 PRE-FINISHED METAL FASCIA AND
SOFFIT: COMMERCIAL BROWN
- 03 PRE-FINISHED METAL FASCIA AND
WOOD SOFFIT
- 04 LUX: METAL V-GROOVE 6" PANEL
COLOUR: TIGERWOOD
- 05 BELDEN BRICK
COLOUR: BLACK DIAMOND VELOUR
- 06 PRE-FINISHED METAL SIDING TRIM
COLOUR: COMMERCIAL BROWN
- 07 NICHHA INDUSTRIAL BLOCK: CEMENT BOARD PANELS
COLOUR: GREY *see revised*
- 08 3" PRECAST SILL
- 09 POURED CONCRETE STEPS
- 10 CEMENT PARGING TO A MINIMUM
OF 8" BELOW GRADE
- 11 CORRUGATED METAL SIDING
COLOUR: CHARCOAL

Committee of Adjustment
Received | Reçu le
Revised | Modifié le : 2025-05-20
City of Ottawa | Ville d'Ottawa
Comité de dérogation

- 12 1½" x 4" ALUMINUM SCREEN
- 13 PRE-FINISHED METAL CAP
COMMERCIAL BROWN
- 14 METAL WINDOW WELL - PROVIDE 7" MIN. DISTANCE
BETWEEN WINDOW SILL AND GRADE
- 15 6X6 CEDAR POST
- 16 PROVIDE MASONARY WEEP HOLES
THROUGHOUT AT 2'-7" MAX. O/C
- 17 3X8 CEDAR TRELLIS
- 18 4X10 CEDAR BEAM
- 19 ½" x 3½" LUX SCREEN
- 20 6" dia. x ¼" HSS - PAINTED TO MATCH
COMMERCIAL BROWN
- 21 FIREPLACE VENT: REFER TO SPECS
FOR MORE INFORMATION
- 22 GARAGE DOOR FINISH TO MATCH
METAL SIDING COLOUR
- 23 ¾" THICK TEMPERED GLASS RAIL
- 24 WOOD DECK AND STEPS

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drawings and related documents in part or whole is unlawful
and forbidden without the written permission of a*studio.
The Contractor shall verify and assume the full responsibility of
all site dimensions and report any discrepancies to a*studio



G		
F		
E		
D		
C		
B	Re-issued for building permit	2019.05.22
A	Issued for building permit	2019.03.25
issue	description	date
project title		

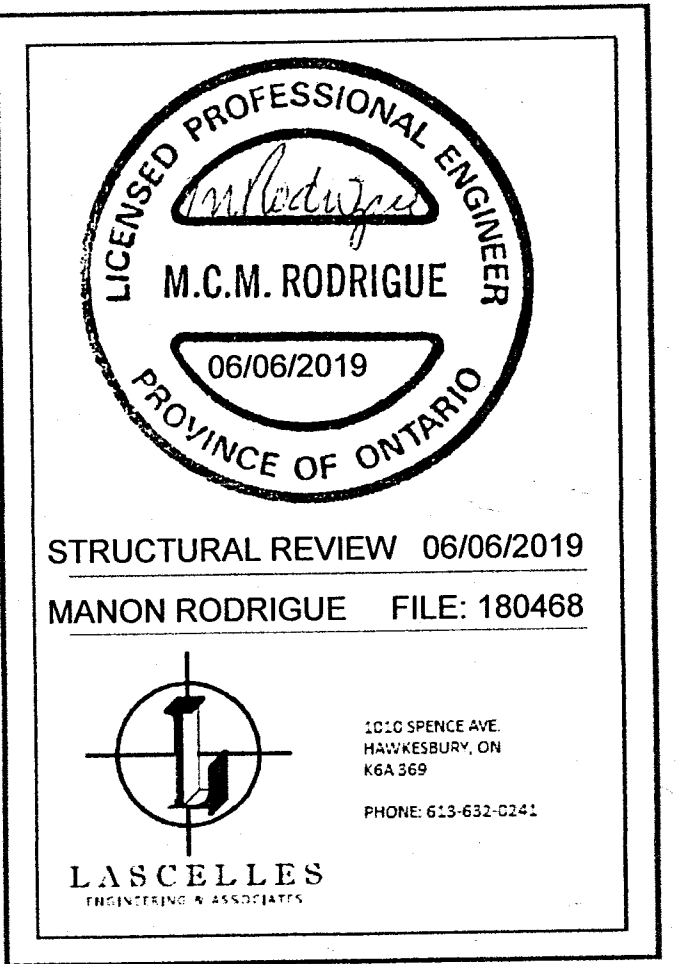
6720 NOTRE-DAME

Ottawa, Ontario

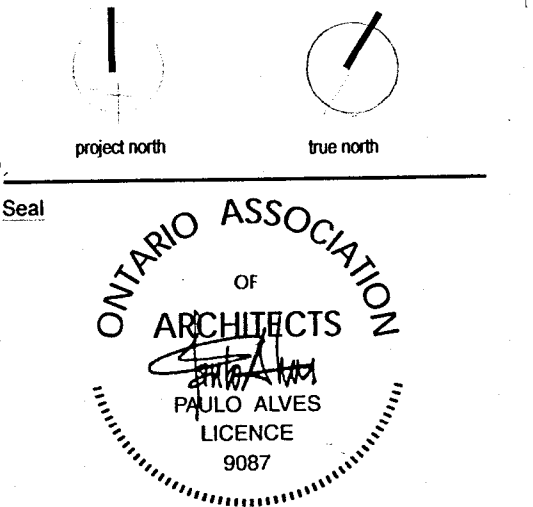
NORTH & WEST
ELEVATIONS

drawn by
scale
date
project number
drawing number

02 West Elevation



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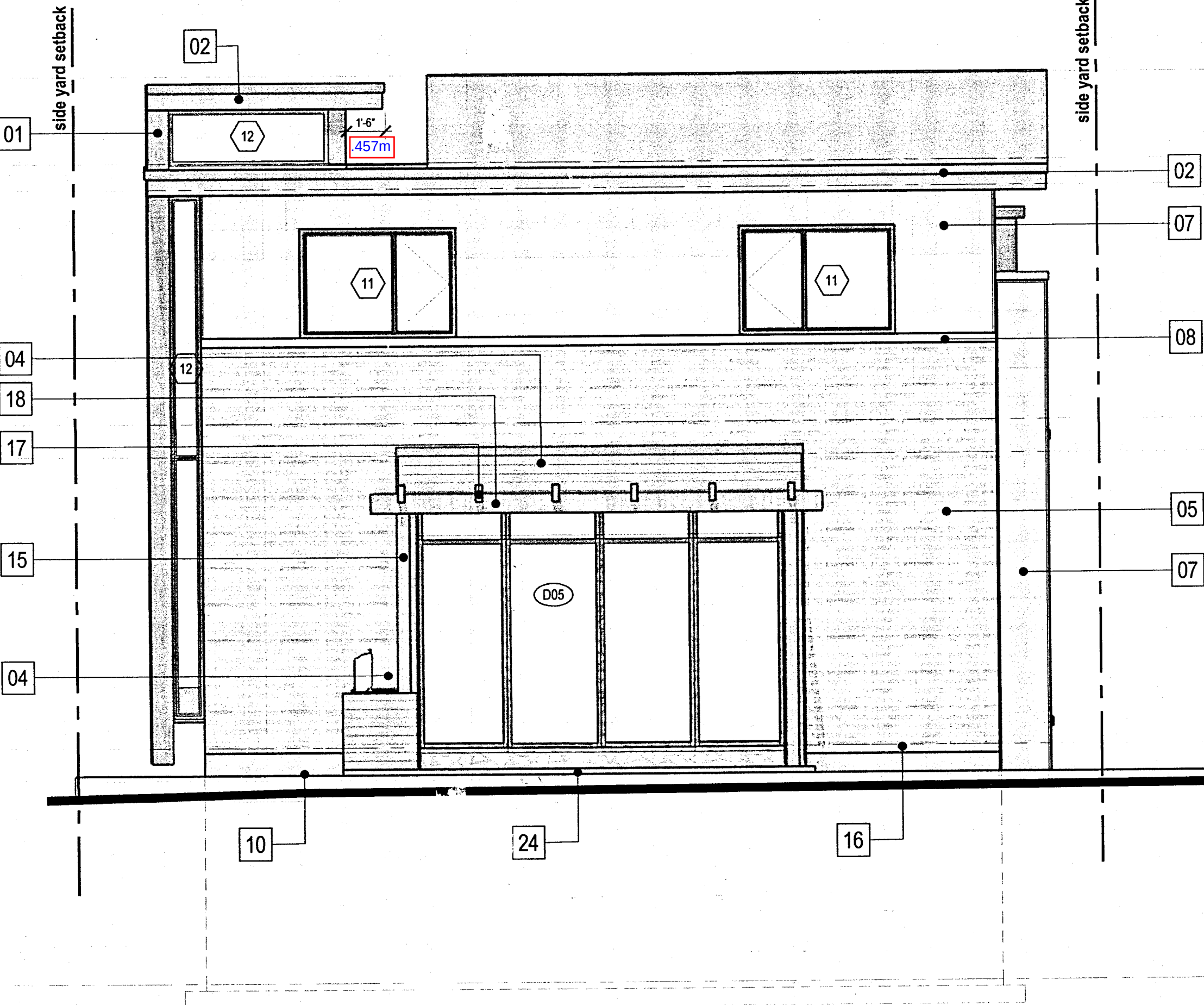


Re-issued for building permit	2019.05.22
Issued for building permit	2019.03.25
Issue description	date
project title	

6720 NOTRE-DAME
Ottawa, Ontario

SOUTH & EAST
ELEVATIONS

drawn by	P.A.
scale	1"=8'-114"
date	2018.07
project number	
drawing number	A2.2
rev	B



24.85m
El. ± 81.52
Top of Main Roof

24.5m
El. ± 80.48
Top of Flat Roof

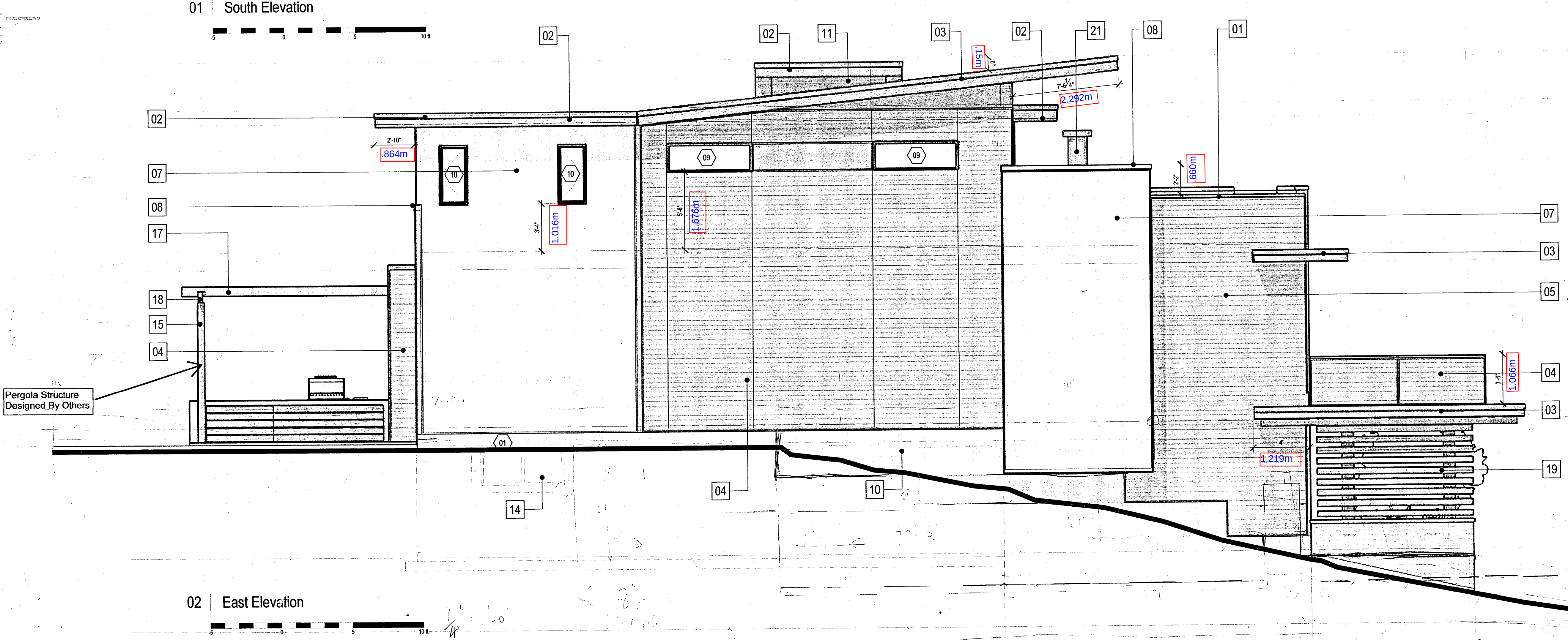
23.6m
El. ± 77.43
2nd FLOOR

22.56m
El. ± 74.00
Main Floor
Top of Subfloor

21.54m
El. ± 70.60
Basement
Top of Concrete Slab

- 01 PRE-FINISHED METAL TRIM
COLOUR: COMMERCIAL BROWN
- 02 PRE-FINISHED METAL FASCIA AND
SOFFIT: COMMERCIAL BROWN
- 03 PRE-FINISHED METAL FASCIA AND
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COLOUR: GREY *see revised P.A.*
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- 09 POURED CONCRETE STEPS
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24.85m
El. ± 81.52
Top of Main Roof

24.5m
El. ± 80.48
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22.56m
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Top of Concrete Slab

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El. ± 69.75
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Top of Concrete Slab