

TRENTON

AVENUE

Committee of Adjustment
Received | Reçu le
2025-05-13
City of Ottawa | Ville d'Ottawa
Comité de dérogation

I REQUIRE THIS PLAN TO BE
DEPOSITED UNDER THE
LAND TITLES ACT.

DATE: _____

DANIEL ROBINSON
ONTARIO LAND SURVEYOR

PLAN 4R-
RECEIVED AND DEPOSITED

DATE: _____

REPRESENTATIVE FOR LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF
OTTAWA-CARLETON NO. 4.

SCHEDULE

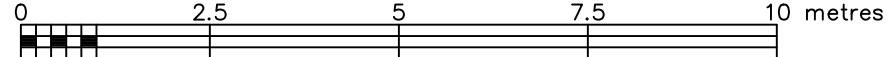
PART	LOT	PLAN	PIN	AREA (Sq.m.)
1	PART OF 67	294	ALL OF 04043 - 0111	302.5
2				45.7
3				45.7
4				302.5

PLAN OF SURVEY OF

PART OF LOT 67
REGISTERED PLAN 294
CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2025

Scale 1: 100



Metric Note

Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

Bearing Note

Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°31'10" counter-clockwise was applied to bearings on P2.

CO-ORDINATES WERE DERIVED FROM CAN-NET REAL TIME NETWORK OBSERVATIONS, MTM ZONE 9, N.A.D. 1983 (ORIGINAL).		
POINT ID	NORTHING	EASTING
(A)	5026618.52	365324.46
(B)	5026630.75	365343.77
01919680005	5027191.26	361496.76
01919680105	5024915.16	373971.65

CO-ORDINATES ARE MTM ZONE 9, N.A.D. 1983 (ORIGINAL), TO URBAN ACCURACY PER SEC. 14 (2) OF O.REG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

Notes & Legend

- Denotes Survey Monument Planted
- Survey Monument Found
- SIB Standard Iron Bar
- SSIB Short Standard Iron Bar
- IB Iron Bar
- CP Concrete Pin
- (Wit) Witness
- Meas Measured
- (P1) Registered Plan 294
- (P2) Plan by (857) dated August 15, 2024 (Ref. No. 789(a)-294 NP)
- (P3) Plan by (AOG) dated January 18, 2023 (Ref. No. 23110-22)
- (P4) Plan by (1692) dated April 2, 2015 (Ref. No. 489-11)
- (P5) Plan by (1692) dated January 8, 2025 (File. No. 454-24)
- (D1) Inst No. CR334748
- OUP Overhead Wires
- Utility Pole
- Ø Diameter
- CLF Chain Link Fence
- BF Board Fence
- CRW Concrete Retaining Wall
- IRW Interlock Retaining Wall
- NTS Not to scale
- C/L Centreline
- Property Line
- Deciduous Tree - The Symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

Surveyor's Certificate

I certify that:

- This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the Regulations made under them.
- The survey was completed on the ____ day of _____ 2025.

Date Daniel Robinson
Ontario Land Surveyor

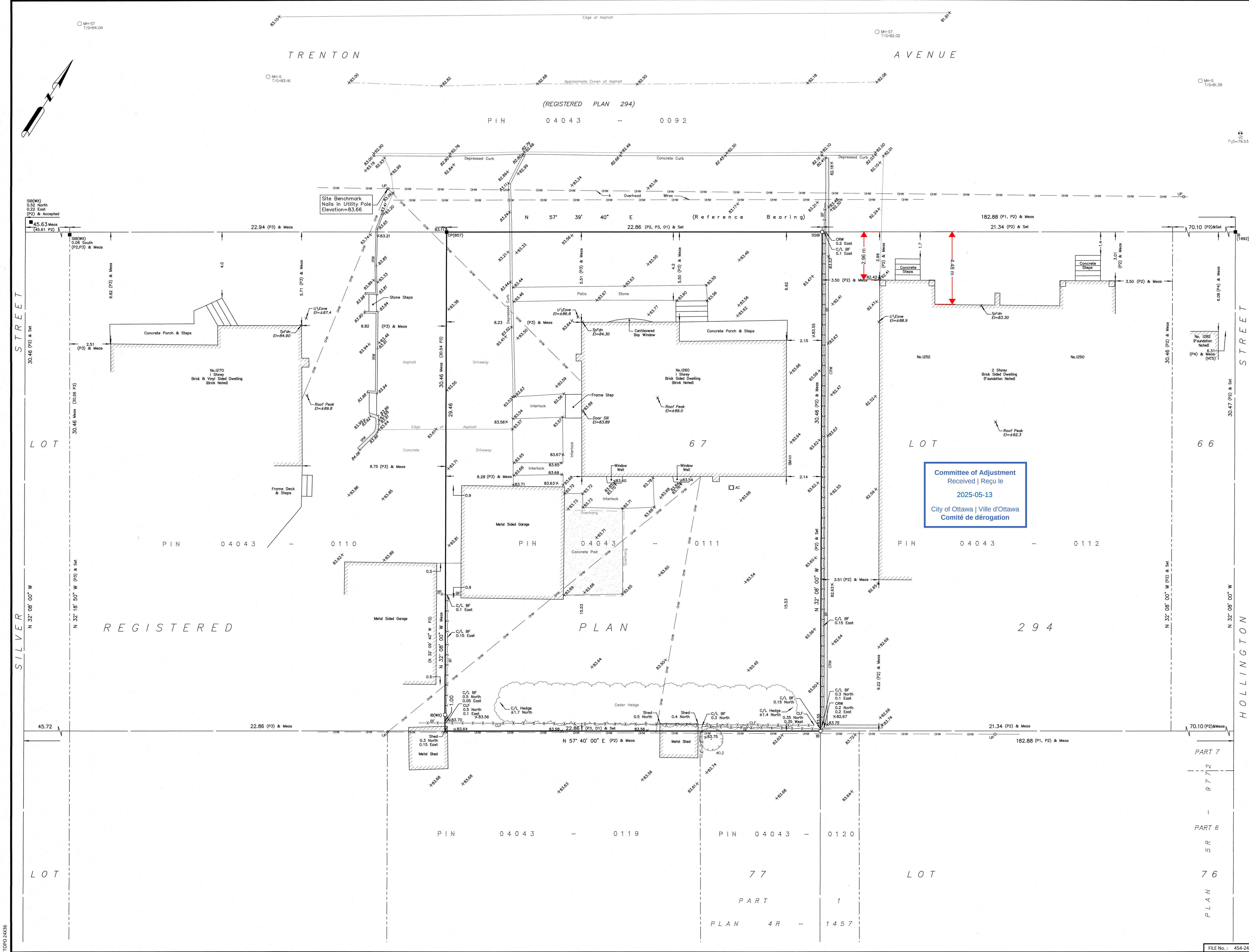
This plan of survey relates to AOLS Plan Submission Form Number V-XXXXX

FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS
CANADA LAND SURVEYORS

Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6
TEL: (613) 727-8226 E-mail: info@fstdsurveys.ca

FILE NO.: 110-25



TOPOGRAPHIC PLAN OF SURVEY OF

PART OF LOT 67
REGISTERED PLAN 294
CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2025

Scale 1: 100

Metric Note
Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Bearing Note
Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

Elevation Notes
1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 :1978. (Monument No. 19680092)
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

Utility Notes
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. Sanitary and storm sewer grades were derived from: Field measurement.
4. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.
5. Not all overhead wires/transformers adjacent to the property have been located, the nearest overhead wire locations are shown on the plan.

Notes & Legend

Denotes	Survey Monument Planted
SIB	Standard Iron Bar
SSIB	Short Standard Iron Bar
IB	Iron Bar
CP	Concrete Pin
(Wit)	Witness
Meas	Measured
(P1)	Registered Plan 294
(P2)	Plan by (857) dated August 15, 2024 (Ref. No. 789(a)-294 NP)
(P3)	Plan by (AOC) dated January 18, 2023 (Ref. No. 23110-22)
(P4)	Plan by (1692) dated April 2, 2015 (Ref. No. 489-11)
(D1)	Inst No. CR334748
MH-ST	Maintenance Hole (Storm)
MH-S	Maintenance Hole (Sanitary)
VC	Valve Chamber (Watermain)
ST	Underground Storm Sewer
S	Underground Sanitary Sewer
W	Underground Water
e	Underground Gas
OW	Overhead Wires
ULP	Utility Pole
GM	Gas Meter
AC	Air Conditioner
Ø	Diameter
CLF	Chain Link Fence
BF	Board Fence
CRW	Concrete Retaining Wall
IRW	Interlock Retaining Wall
NTS	Not to scale
Inv.	Invert
T/G	Top of Grate
U/Eave	Underside of Eave
TpFdn	Top of Foundation
C/L	Centreline
+65.00	Location of Elevations
+65.00	Top of Concrete Curb/Retaining Wall Elevation
Property Line	Property Line
Deciduous Tree	The Symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

Site Area=696.3 sq.m.

TOPOGRAPHIC DATA WAS COLLECTED UNDER WINTER CONDITIONS. SNOW COVER AND ICE PRECLUDE DETERMINING LOCATION AND ELEVATION OF SOME TOPOGRAPHICAL DATA THAT IS OTHERWISE VISIBLE.

WARNING NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF FARLEY, SMITH & DENIS SURVEYING LTD.
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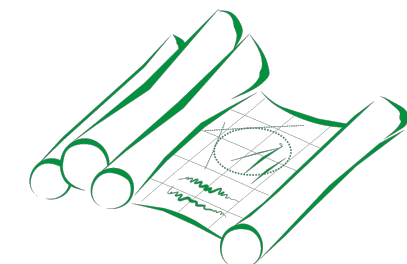
Surveyor's Certificate
I certify that :
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.
2. The survey was completed on the 2nd day of January, 2025.

Jan 08/2025
Date
Emad Alirefaai
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-90906
FARLEY, SMITH & DENIS SURVEYING LTD.
ONTARIO LAND SURVEYORS
CANADA LAND SURVEYORS
Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6
TEL. (613) 727-8226 E-mail: info@fstdsurveys.ca

FILE No.: 454-24

TRENTON STREET



CLEAR DRAFTING

ENGINEERING & ARCHITECTURAL DRAFTING & DESIGN SERVICES

211-1390 PRINCE OF WALES DRIVE
OTTAWA, ONTARIO K2C 3N6
613-255-3425 | SERVICES@CLEARDRAFTING.COM

I BASSAM ELSARAJ REVIEW AND TAKE RESPONSIBILITIES FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER DIVISION C, PART 3, SUBSECTION 3.2.4 OF THE 2024 O.B.C. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES.

DESIGNER BCIN: 37385 FIRM BCIN: 40889

SIGNATURE OF MEMBER:

PROJECT TITLE:
FARHAT UNITS
1260 TRENTON STREET
OTTAWA, ONTARIO

PROJECT NUMBER:	2507
SQUARE FOOTAGE:	EXISTING NEW
BASEMENT/FDN:	--- ft ² --- ft ²
GROUND FLOOR:	--- ft ² --- ft ²
SECOND FLOOR:	--- ft ² --- ft ²
THIRD FLOOR:	--- ft ² --- ft ²
ROOF-TOP:	--- ft ² --- ft ²

REVISION TABLE		
NO.	DESCRIPTION	DATE

DRAWING TITLE:
SITE PLAN

- GENERAL NOTES:
- DO NOT SCALE DIMENSIONS. READ DIMENSIONS ONLY.
 - GENERAL CONTRACTORS SHALL CONSTRUCT ALL WORK IN ACCORDANCE WITH THE 2024 ONTARIO BUILDING CODE, MUNICIPAL BYLAWS, AND ALL OTHER APPLICABLE BUILDING CODES.
 - THE OWNER/BUILDER MAY NEED TO PROVIDE AN ENGINEER'S REPORT AT HIS/HER EXPENSE. CONSULT YOUR LOCAL BUILDING AUTHORITIES.
 - PLEASE NOTIFY DESIGNER FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.
 - TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH THE CLIENT'S SPECIFICATIONS AND ANY CHANGES MADE ON THEM AFTER SUBMISSION ARE MADE AT THE OWNER'S AND/OR CONTRACTOR'S EXPENSE AND RESPONSIBILITY.



SCALE:
AS SHOWN

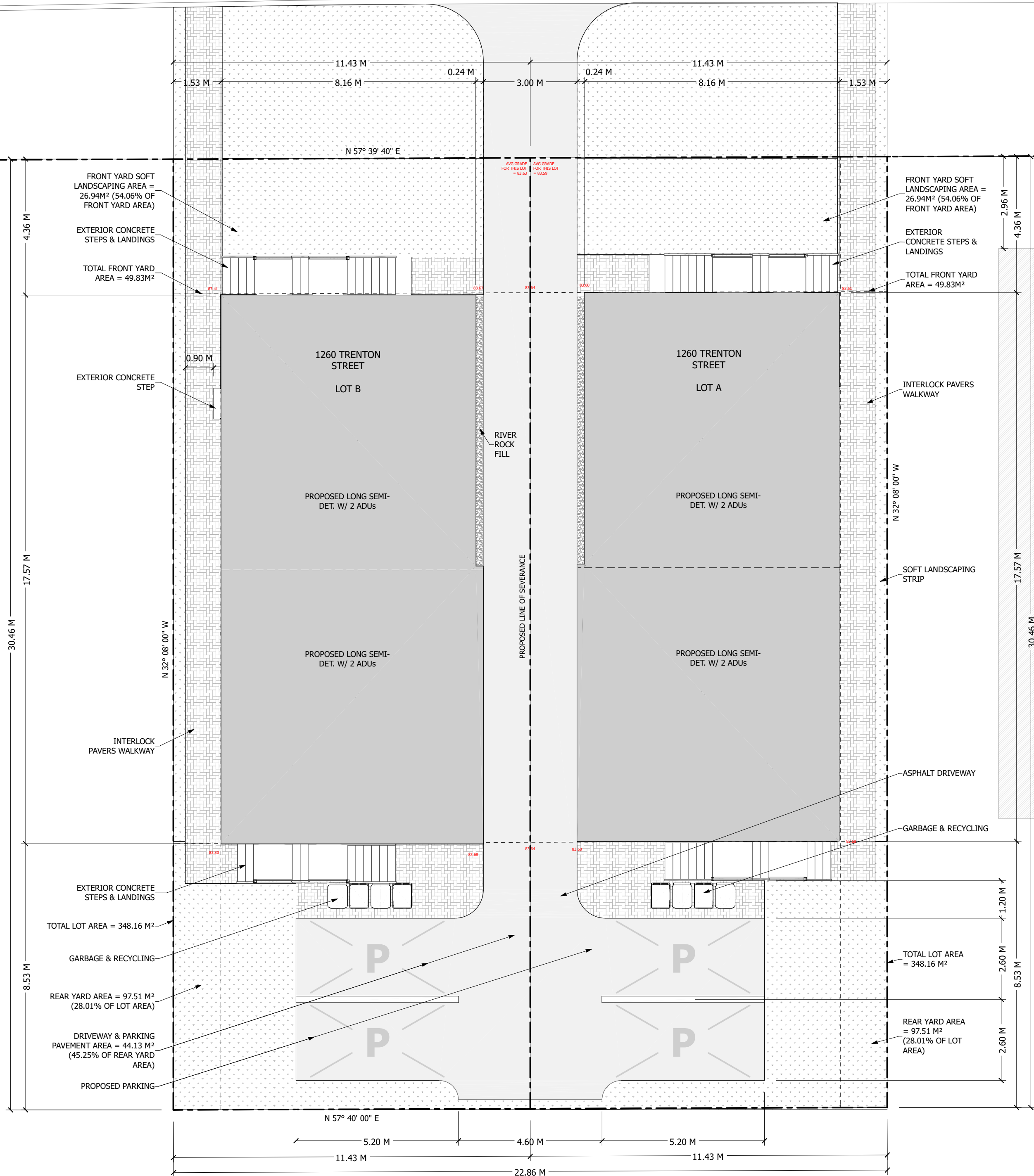
DESIGNED BY:
B.E.

DRAWN BY:
B.E.

DATE:
APRIL 12, 2025

DRAWING NUMBER:

A1



Committee of Adjustment
Received | Reçu le

2025-05-13

City of Ottawa | Ville d'Ottawa
Comité de dérogation

PART OF LOT 67
REGISTERED PLAN 294
CITY OF OTTAWA

LOT INFORMATION (EASTERN LOT):

LOT ZONING: R2G
PROPOSED LONG SEMI-DET. W/ 2 ADUS

CONDITION	ZONING REQUIREMENT	PROPOSED
LOT WIDTH	10.00 M MIN.	11.43 M
LOT DEPTH	N/A	N/A
LOT AREA	300.00 M ²	348.16 M ²
BUILDING HEIGHT	8.00M MAX	8.00 M
FRONT SETBACK	4.34 M AVERAGE B/W NEIGHBOURING LOTS	4.36 M
REAR SETBACK	8.52 M (28% OF LOT DEPTH)	8.53 M (28.00% OF L.D.) *
INTERIOR SETBACK	1.2 M MIN. (3.0 M TOTAL)	1.50 M & 1.53 M

LOT INFORMATION (WESTERN LOT):

LOT ZONING: R2G
PROPOSED LONG SEMI-DET. W/ 2 ADUS

CONDITION	ZONING REQUIREMENT	PROPOSED
LOT WIDTH	10.00 M MIN.	11.43 M
LOT DEPTH	N/A	N/A
LOT AREA	300.00 M ²	348.16 M ²
BUILDING HEIGHT	8.00M MAX	7.96 M
FRONT SETBACK	4.34 M AVERAGE B/W NEIGHBOURING LOTS	4.36 M
REAR SETBACK	8.52 M (28% OF LOT DEPTH)	8.53 M (28.00% OF L.D.) *
INTERIOR SETBACK	1.2 M MIN. (3.0 M TOTAL)	1.50 M & 1.53 M

1 SITE PLAN
A1 1 M = 100 M