

### Notes:

1. Contractor shall be responsible for obtaining all permits required to complete the works and ensure proper connections are made to existing municipal services.
2. The site/grading plan as proposed is under the direction of owner/agent and they assume full responsibility of the development as proposed.
3. The owner/agent assume full responsibility for scope and accuracy of the information shown.
4. The contractor shall be responsible to confirm they are working with appropriate plans.
5. All trees are to remain, unless otherwise noted.
6. Proposed sump-pump crock with appropriate check valve per manufacturer's instructions.

**Metric Note**  
Distances and coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

### Elevation Notes

1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 :1978. (FSD Ref. 501-11)
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that it's relative elevation and description agrees with the information shown on this drawing.

## Utility Notes

1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. Underground utility data derived from City of Ottawa utility sheet reference: No.377, D-06-19 and D-06-25.
4. Sanitary and storm sewer grades and inverts were derived from: Field measurement.
5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

## Notes & Legend

TpFDN	Denotes	Top Of Foundation
BF	"	Basement Floor
TpFTG	"	Top Of Footing
USF	"	Underside Of Footing
1.23	"	Proposed Setback
C/L	"	Centreline
p	"	Proposed Elevation
e	"	Existing Elevation
DS	"	Approximate Location Of Downspouts
○ MH-ST	"	Direction Of Drainage
○ MH-S	"	Maintenance Hole (Storm)
— S —	"	Maintenance Hole (Sanitary)
— W —	"	Underground Sanitary Sewer
— OW —	"	Underground Water
— G —	"	Overhead Wires
	"	Underground Gas
○ UP	"	Utility Pole
○ WV	"	Water Valve
INV	"	Invert
T/G	"	Top of Grate
GM	"	Gas Meter
— G —	"	Gate
CJT	"	Chain Link Fence
P&W	"	Post and Wire
BF	"	Board Fence
SRW	"	Stone Retainer Wall
CRW	"	Concrete Retainer Wall
C/L	"	Centreline
+65.00	"	Location of Elevations
+65.00	"	Top of Concrete Curb Elevation
.	"	Deciduous Tree
	"	Coniferous Tree

EXISTING CIVIC ADDRESS No. 146 NORTHWESTERN AVENUE

FOR CLARITY PURPOSES - THE EXISTING BUILDING, SHED, DECK & WALKWAY HAVE NOT BEEN SHOWN.


**If Applicable:**


- a) All trees on street right-of-way to be maintained before and after construction. All trees within property shall be protected as per the "municipal trees and natural areas protection by-law" and the "urban trees conservation by-law" as amended from time to time.
- b) Eavestroughs/downspouts shall be installed and directed towards the street. Location of downspouts are approximate, to be determined on site by others.
- c) Discharges of downspouts shall be directed a minimum of 1.5m from property lines and not towards adjacent lands. If downspouts are located less than 1.5m from the property line, splash pads must be installed.
- d) Ensure minimum 1.5metres soil coverage between underside of footing and surrounding grounds or provide rigid foam insulation under footing for frost protection, if required.
- e) Provide perimeter sub-drain along footings and connect to new storm service line.
- f) Conduct soil and backfill inverters and their existence, to be determined prior to excavating proposed underside of footings. Ensure 0.30m clearance between watermain and sanitary/storm laterals at all crossings.
- g) No excess drainage during and after construction will be directed towards adjacent properties.
- h) There shall be no alterations to existing grades and drainage patterns on property lines.
- i) Backwater valves to be installed per City of Ottawa standard drawings S14, S14.1 and S14.2.

**Surveyor's Certificate**

I certify this plan to be correct.

May 7, 2018  
Date

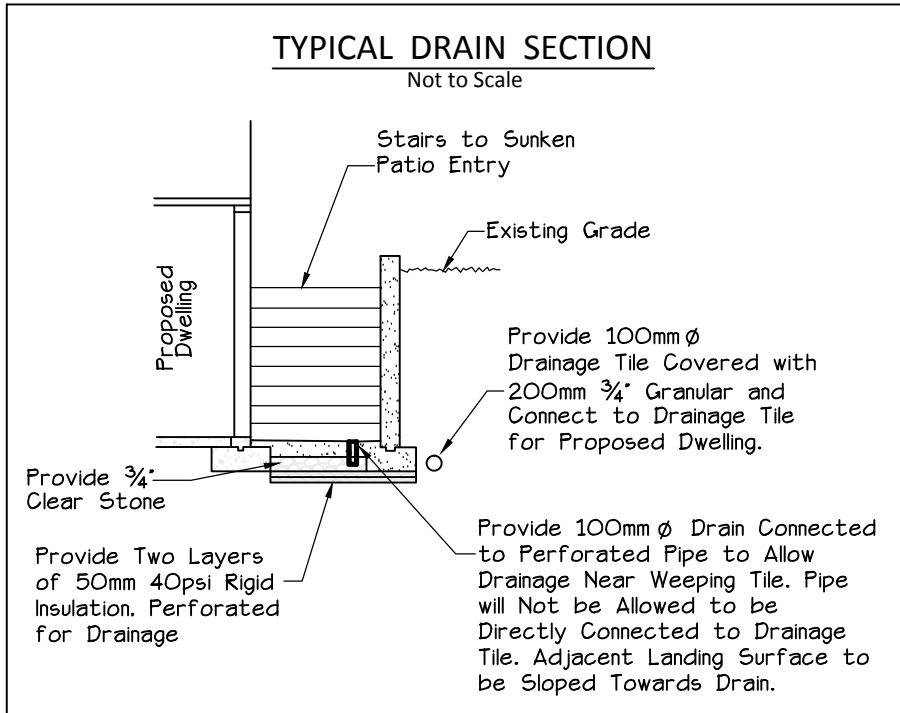
  
Jamie Leslie  
Ontario Land Surveyor



**FARLEY, SMITH & DENIS SURVEYING LTD.**

ONTARIO LAND SURVEYORS  
CANADA LAND SURVEYORS

190 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J5  
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2025-06-23

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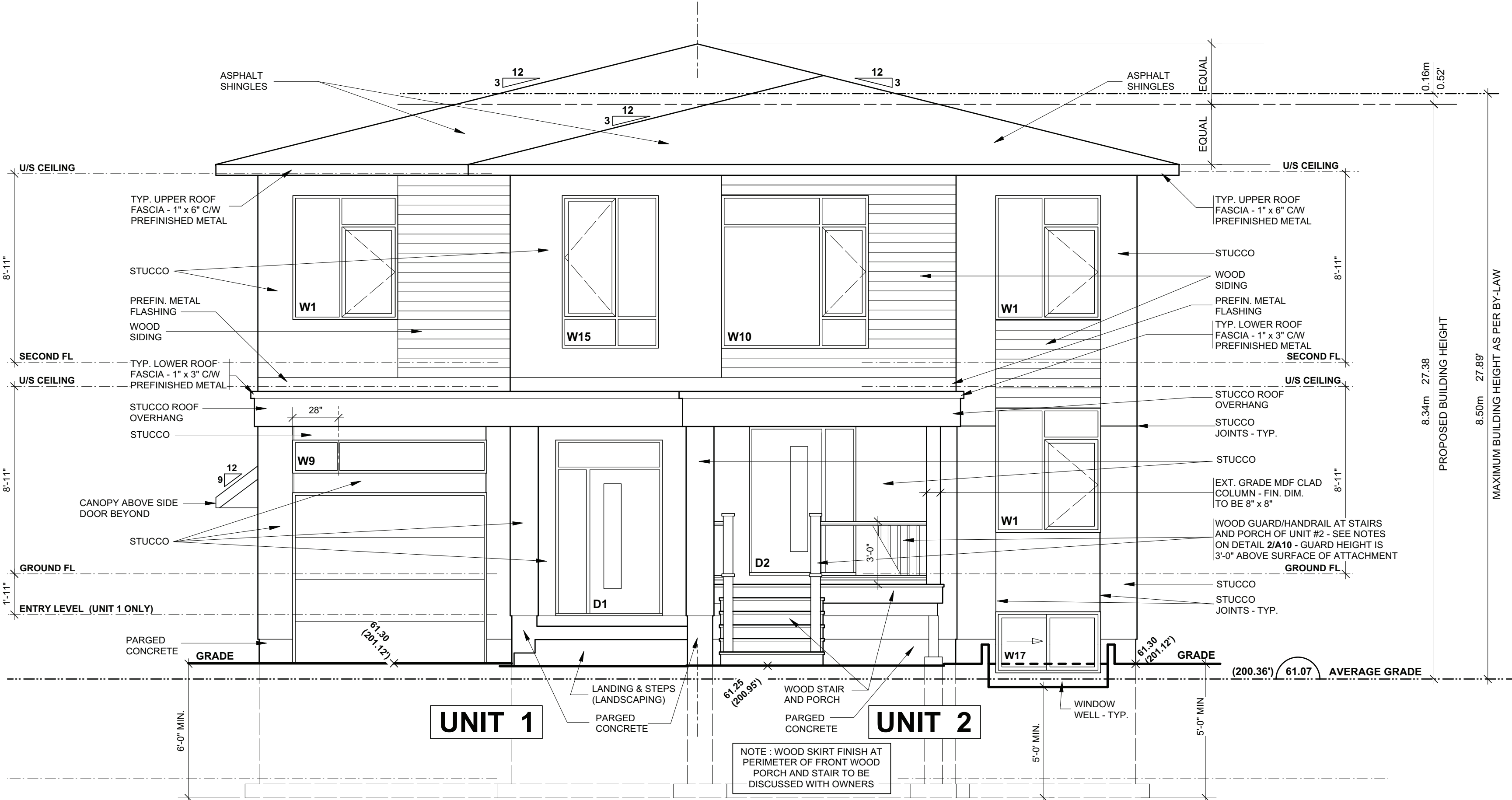
### WINDOW AND EXTERIOR DOOR SCHEDULE

NOTE: THE MAXIMUM U-VALUE FOR WINDOWS, PATIO DOORS  
IS 0.28 AND 0.49 FOR SKYLIGHTS AS PER TABLE 3.1.1.2.A (IP) - SB12 OF THE O.B.C.

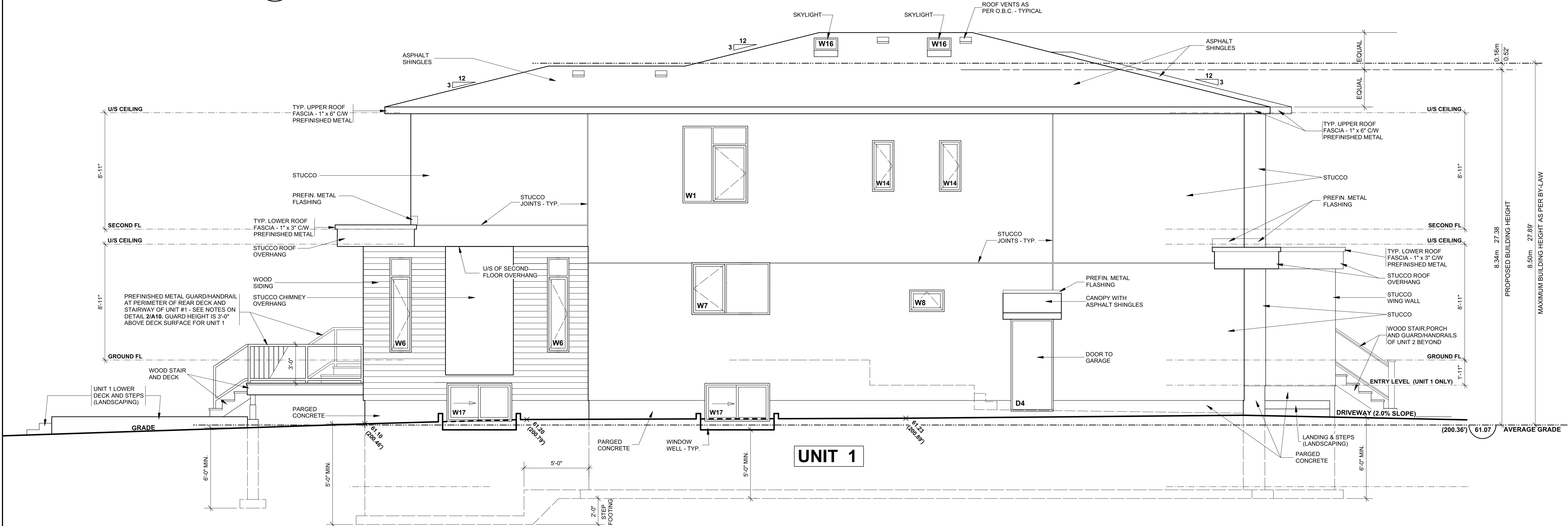
REF.	APPROX. FRAME SIZE (W x H)	HEAD HEIGHT ABOVE SUBFLOOR	TYPE & REMARKS
D1	60" x 100" (INCL. TRANSOM)		- 40"W INSULATED METAL DOOR WITH SIDELIGHT AND TRANSOM - UNIT 1 ENTRANCE HALL
D2	60" x 84"		- 40"W INSULATED METAL DOOR WITH SIDELIGHT - UNIT 2 ENTRANCE HALL
D3	71" x 94" (INCL. TRANSOM)		- PATIO DOOR - LIVING ROOM - UNIT 1 & 2
D4	38" x 84"		- 36"W INSULATED METAL DOOR - SWING OUT - (NO GLAZING) - UNIT 1 GARAGE TO EXTERIOR
D5	71" x 84"		- PATIO DOOR - MEDIA ROOM - UNIT 2
W1	60" x 71"	7'-10"	- 32"W x 55"H CASEMENT WITH FIXED AND TRANSOM - UNIT 1 & 2 - SEE PLANS FOR LOCATIONS
W2	108" x 24"	7'-10"	- 32"W x 24"H AWNINGS WITH FIXED UNIT - UNIT 2 DINING ROOM
W3	32" x 71"	7'-10"	- 32"W x 55"H CASEMENT WITH TRANSOM - UNIT 2 LIVING ROOM
W4	80" x 87"	7'-10"	- 32"W x 55"H CASEMENT WITH FIXED UNITS - UNIT 1 LIVING AND BEDROOMS 2 & 3
W5	88" x 87"	7'-10"	- 32"W x 71"H CASEMENT WITH TRANSOM AND FIXED UNITS - UNIT 1 LIVING
W6	20" x 87"	7'-10"	- 20"W x 71"H CASEMENT WITH TRANSOM - UNIT 1 LIVING
W6a	16" x 87"	7'-10"	- FIXED UNITS - UNIT 1 KITCHEN
W7	72" x 47"	7'-6"	- 32"W CASEMENT WITH FIXED UNIT - UNIT 1 KITCHEN
W8	32" x 20"	7'-6"	- AWNING - UNIT 1 MUDROOM
W9	18" HIGH	U/S OF DROPPED BEAM	- FIXED UNITS - MATCH FRAME WIDTH OF GARAGE DOOR - UNIT 1 GARAGE - SEE 1/A9
W10	84" x 87"	7'-10"	- 28"W x 55"H CASEMENT WITH FIXED UNITS - UNIT 2 SECOND FLOOR HALL
W11	24" x 47"	6'-10"	- CASEMENT - UNIT 2 ENSUITE
W12	56" x 71"	7'-10"	- 32"W x 55"H CASEMENT WITH FIXED UNIT AND TRANSOM - UNIT 1 ENSUITE
W13	106" x 71"	7'-10"	- 32"W x 55"H CASEMENT WITH FIXED UNIT AND TRANSOMS - UNIT 1 MASTER
W14	20" x 47"	6'-10"	- CASEMENT - UNIT 1 LAUNDRY AND WASHROOM
W15	56" x 87"	7'-10"	- 32"W x 71"H CASEMENT WITH FIXED UNITS - UNIT 1 BEDROOM 2
W16	21" x 46" SKYLIGHT		- FIXED SKYLIGHT - UNIT 1 SECOND FLOOR HALL
W17	63" x 35"	7'-10"	- SLIDER - BASEMENT - UNIT 1 & 2 - SEE PLANS FOR LOCATION (SEE NOTE 1 BELOW)
W18	71" x 35"	7'-10"	- SLIDER - BASEMENT - UNIT 2 CRAFT ROOM

#### NOTES

1. WINDOW W17 CONFORMS TO 9.9.10.1(1) EGRESS WINDOWS OR DOORS FOR BEDROOMS OF THE O.B.C. THE PROPOSED WINDOW IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS, PROVIDES AN INDIVIDUAL UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 6.50 S.F.(0.60 M.S.) WITH NO DIMENSION LESS THAN 2.42" (738 mm) AND MAINTAINS THE REQUIRED OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT.



1 EAST (FRONT) ELEVATION  
A5



2 SOUTH SIDE ELEVATION  
A5

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ISSUED FOR TRUSS LAYOUTS AND SITE / GRADING PLAN REVIEW	19 / 03 / 18
STRUCTURAL REVIEW	05 / 04 / 18
ISSUED FOR BLDG. PERMIT APPLIC.	13 / 04 / 18
ISSUED FOR CONSTRUCTION	
REVISION	DATE

**JACQUES BELLEAU DESIGN**  
RESIDENTIAL

821 QUINLAN ROAD OTTAWA, ONT. K1G 1R8  
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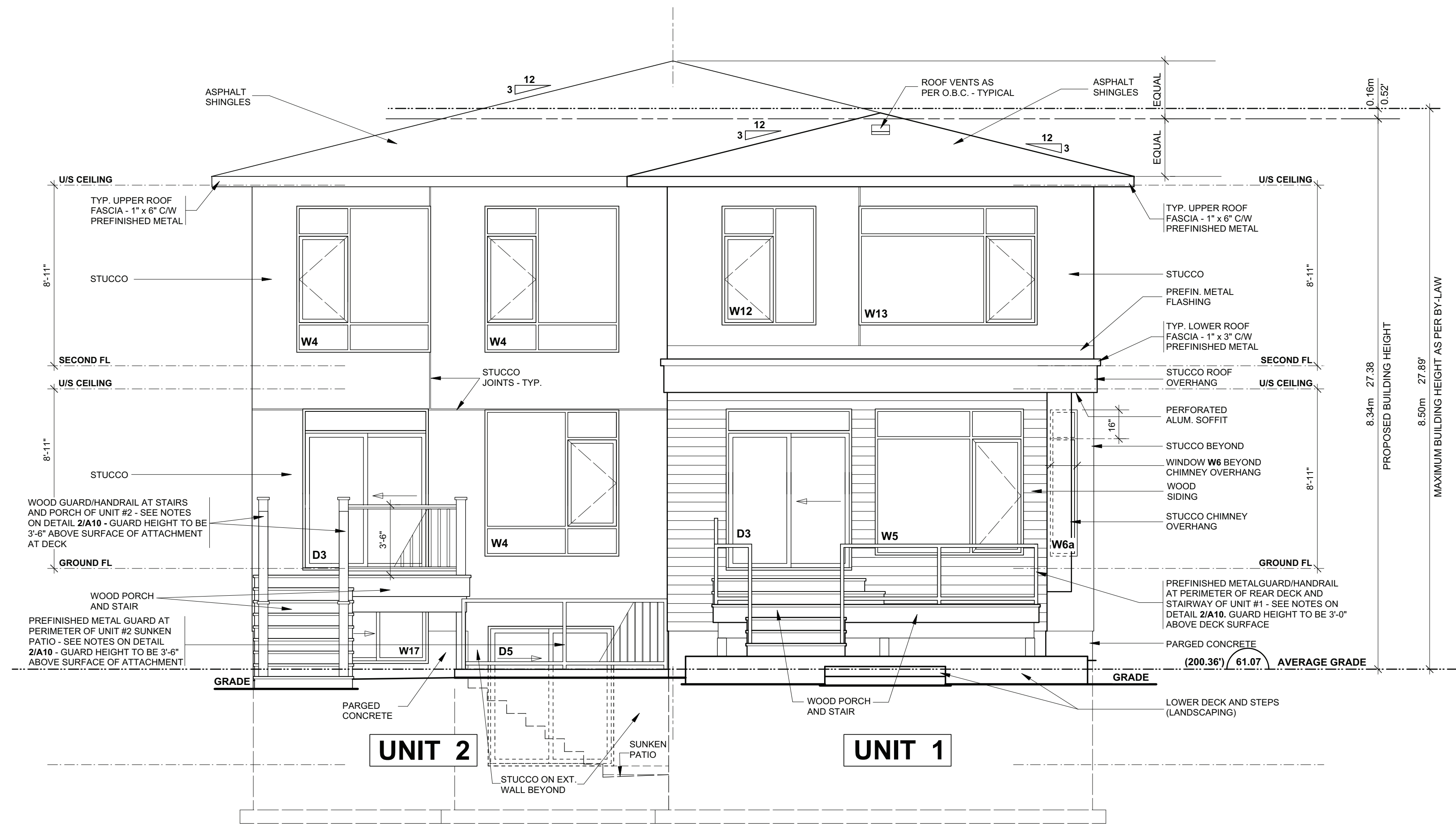
PROPOSED SEMI-DETACHED  
146 NORTHWESTERN AVENUE

EAST AND SOUTH ELEVATIONS

FIRM B.C.I.N. # 29478  
QUALIFIED DESIGNER B.C.I.N. # 23660  
SCALE 1/4" = 1'-0"  
DATE NOVEMBER 14, 2017

A5





1 WEST (REAR) ELEVATION  
A6

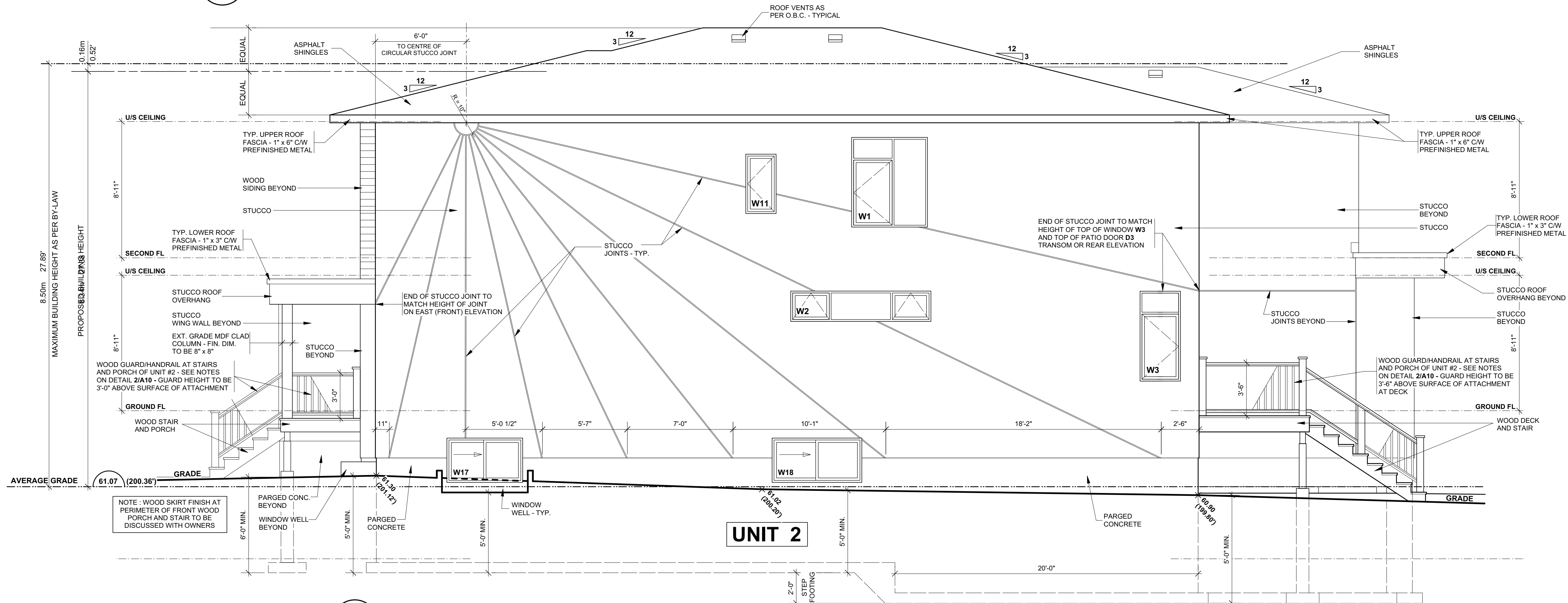
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2 NORTH SIDE ELEVATION  
A6

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PROPOSED  
SEMI-DETACHED  
146 NORTHWESTERN  
AVENUE

WEST AND NORTH  
ELEVATIONS

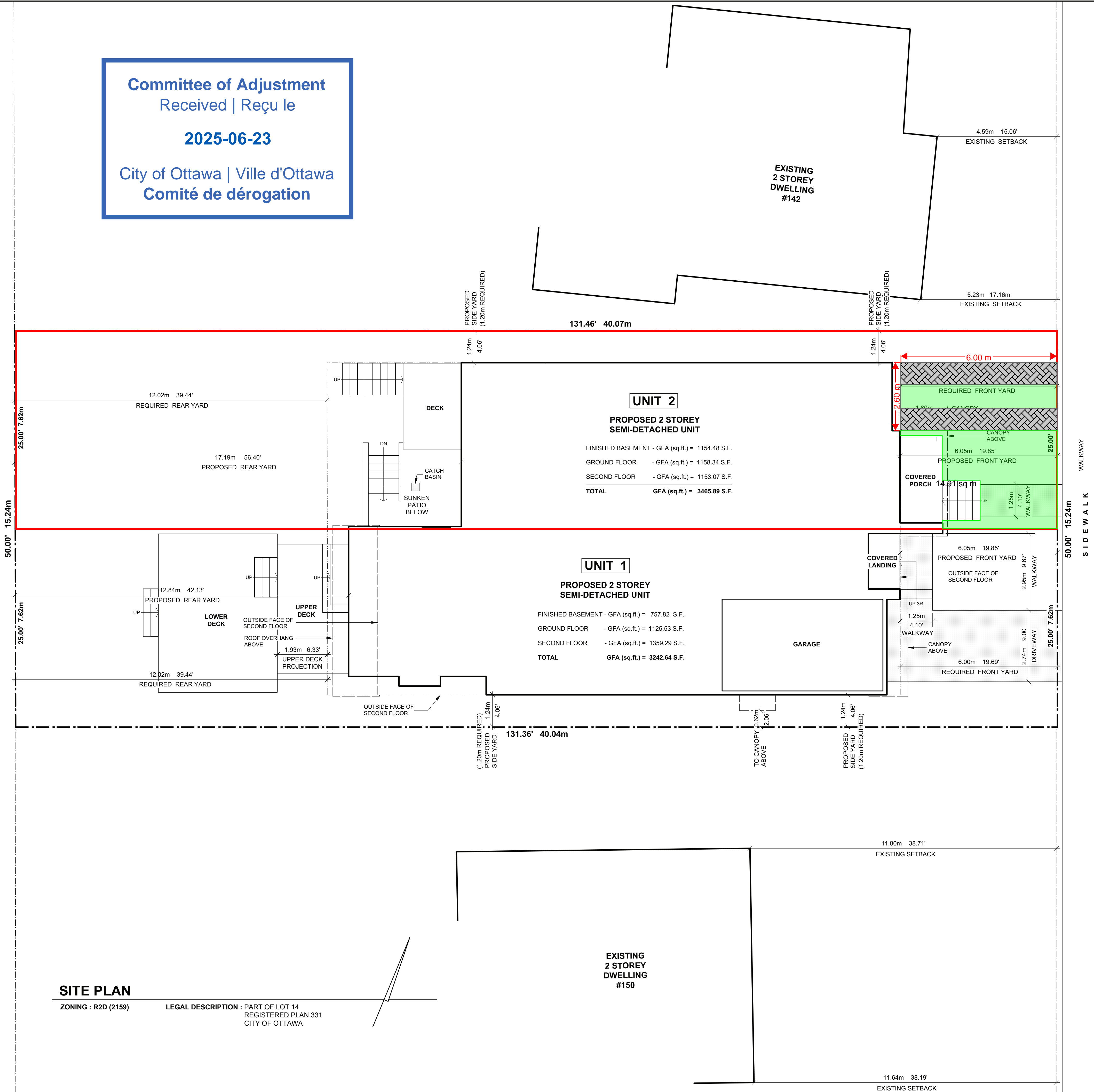
FIRM B.C.I.N. # 29478	SCALE 1/4" = 1'-0"
QUALIFIED DESIGNER B.C.I.N. # 23660	DATE NOVEMBER 14, 2017

A 6

Committee of Adjustment  
Received | Reçu le

2025-06-23

City of Ottawa | Ville d'Ottawa  
Comité de dérogation



N O R T H W E S T E R N A V E N U E

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PROJECT  
**PROPOSED SEMI-DETACHED**  
**146 NORTHWESTERN AVENUE**

DRAWING  
**SITE PLAN**

FIRM B.C.I.N. # 29478	SCALE 1:75
QUALIFIED DESIGNER B.C.I.N. # 23660	DATE NOVEMBER 14, 2017
	<b>A 1</b>