

COLONNADE ROAD
(BY-LAW 153-77 INST. NS87692)
PART 2 PLAN 5R - 1516
PIN 04052 - 0349

SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of
PART OF LOT 30
CONCESSION "A" (RIDEAU FRONT)
GEOGRAPHIC TOWNSHIP OF NEPEAN
CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Scale 1 : 400
16 12 8 4 0 8 16 Metres

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate
I CERTIFY THAT :
1. This survey and plan are correct and in accordance with the Surveys
Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 28th day of January, 2020.

T. Hartwick
Date
T. Hartwick
Ontario Land Surveyor

PART 2
1. REGISTERED RIGHTS-OF-WAY/EASEMENTS
No rights-of-way or easements were found to be registered against the
subject property.
2. PROPERTY IMPROVEMENTS
There are concrete curbs crossing the north, south & east property limits.
See plan for details.
3. COMPLIANCE WITH MUNICIPAL ZONING BYLAWS
Compliance is not certified by this report.
4. ADDITIONAL REMARKS
The building lies are to the targeted concrete foundation walls unless
otherwise noted. 2 Brick sided buildings (No.14 & No.20) are situated on
the property. The property is accessed from Colonnade Road.

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to
Crown Realty Partners ("The Client"), their solicitors,
mortgagees, and other related parties, permission to use original, signed, sealed
copies of the Surveyor's Real Property Report in transactions involving The Client.

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS
observations and are referenced to Specified Control Points
01919680005 and 01919750705, MTM Zone 9 (76°30' West Longitude)
NAD-83 (original).

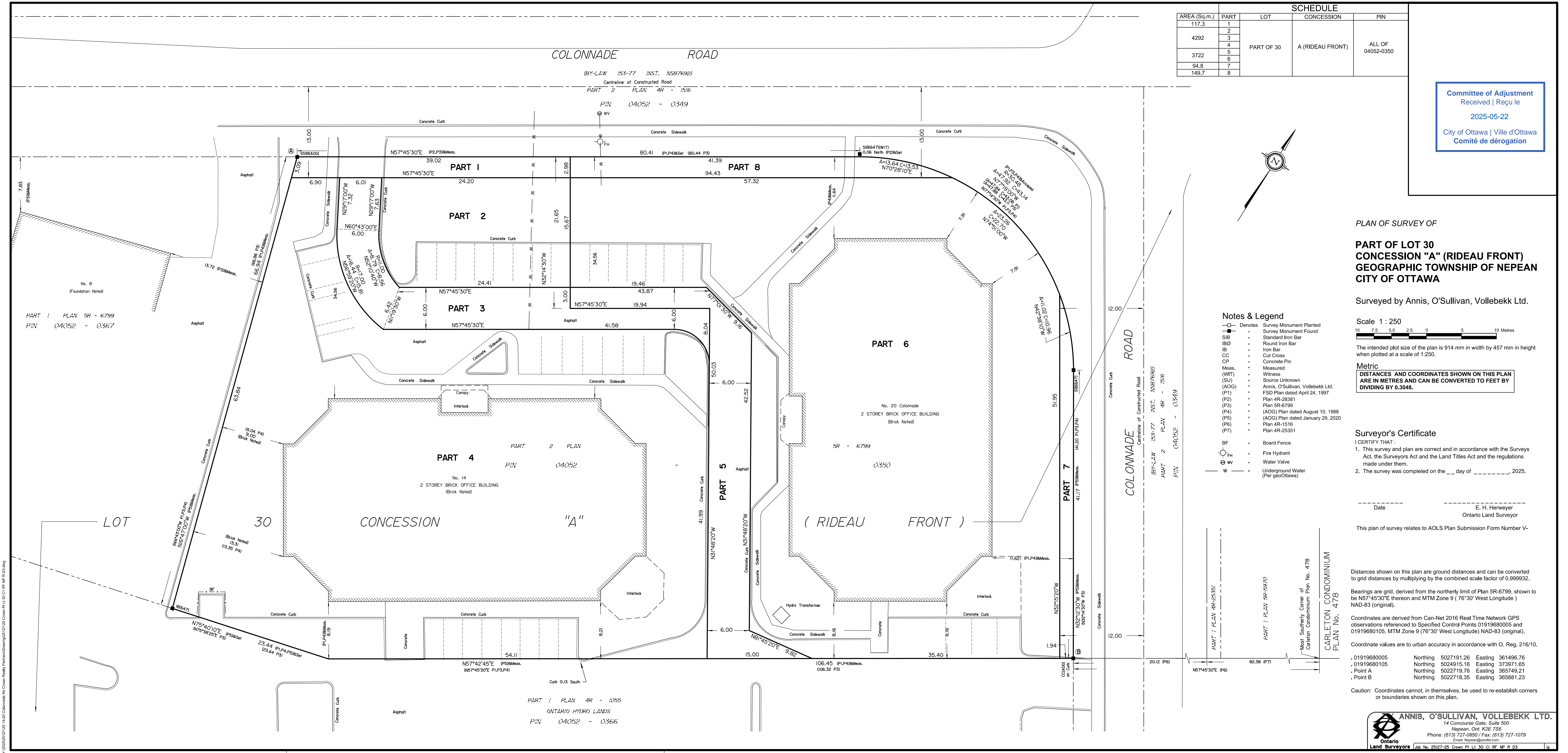
Notes & Legend
Denotes Survey Monument Planted
SIB Survey Monument Found
IB Standard Iron Bar
IB Round Iron Bar
CC Iron Bar
CP Cut Cross
CP Concrete Pin
Meas. Measured
(WT) Witness
(SU) Source Unknown
(AOG) Annis, O'Sullivan, Vollebakk Ltd.
(P1) FSD Plan dated April 24, 1997
(P2) Plan 4R-28381
(P3) Plan 5R-6799
(P4) (AOG) Plan dated August 10, 1988
BF Board Fence
W Well Cap
H-T Hydro Transformer Pad
SWC Concrete Sidewalk

Committee of Adjustment
Received | Reçu le
2025-05-22
City of Ottawa | Ville d'Ottawa
Comité de dérogation

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2114238
THIS PLAN IS NOT VALID UNLESS
IT IS AN EMBOSSED ORIGINAL
COPY ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29 (3).

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Ontario
Land Surveyors Job No. 20456-19 Crown P1130 Cont RPNP CI DI AR

Y:\2023\25127-25 14-20 Colonnade Rd. Crown Realty Partners Drawing\25127-25 Crown P.L.L. 30 C.I. RF. NP. R.D3.dwg

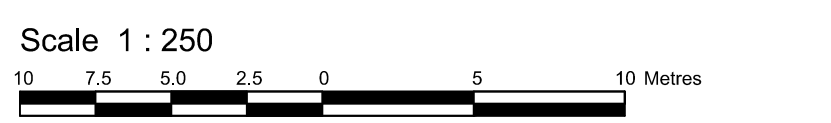


SCHEDULE				
AREA (Sq.m.)	PART	LOT	CONCESSION	PIN
117.3	1	PART OF 30	A (RIDEAU FRONT)	ALL OF 04052-0350
4292	2			
	3			
	4			
3722	5			
94.8	6			
149.7	7			
	8			

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Received | Reçu le
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PLAN OF SURVEY OF
**PART OF LOT 30
CONCESSION "A" (RIDEAU FRONT)
GEOGRAPHIC TOWNSHIP OF NEPEAN
CITY OF OTTAWA**

Surveyed by Annis, O'Sullivan, Vollebekk Ltd.



The intended plot size of the plan is 914 mm in width by 457 mm in height when plotted at a scale of 1:250.

Metric
**DISTANCES AND COORDINATES SHOWN ON THIS PLAN
ARE IN METRES AND CAN BE CONVERTED TO FEET BY
DIVIDING BY 0.3048.**

- Notes & Legend
- Denotes Survey Monument Planted
 - SIB Standard Iron Bar
 - IB Round Iron Bar
 - CC Concrete Pin
 - Meas. Measured
 - (WIT) Witness
 - (SU) Source Unknown
 - (AOG) Annis, O'Sullivan, Vollebekk Ltd.
 - (P1) FSD Plan dated April 24, 1997
 - (P2) Plan 4R-25351
 - (P3) Plan SR-6799
 - (P4) (AOG) Plan dated August 10, 1988
 - (P5) (AOG) Plan dated January 29, 2020
 - (P6) Plan 4R-1516
 - (P7) Plan 4R-25351
 - BF Board Fence
 - Fire Hydrant
 - Water Valve
 - Underground Water (Per geoOttawa)

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
2. The survey was completed on the __ day of _____, 2025.

Date
E. H. Herweyer
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.999932.

Bearings are grid, derived from the northerly limit of Plan SR-6799, shown to be N57°45'30"E thereon and MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Coordinates are derived from Can-Net 2016 Real Time Network GPS observations referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Coordinate values are to urban accuracy in accordance with O. Reg. 216/10.

• 01919680005	Northing	5027191.26	Easting	361496.76
• 01919680105	Northing	5024915.16	Easting	373971.65
• Point A	Northing	5022719.76	Easting	365749.21
• Point B	Northing	5022718.35	Easting	365881.23

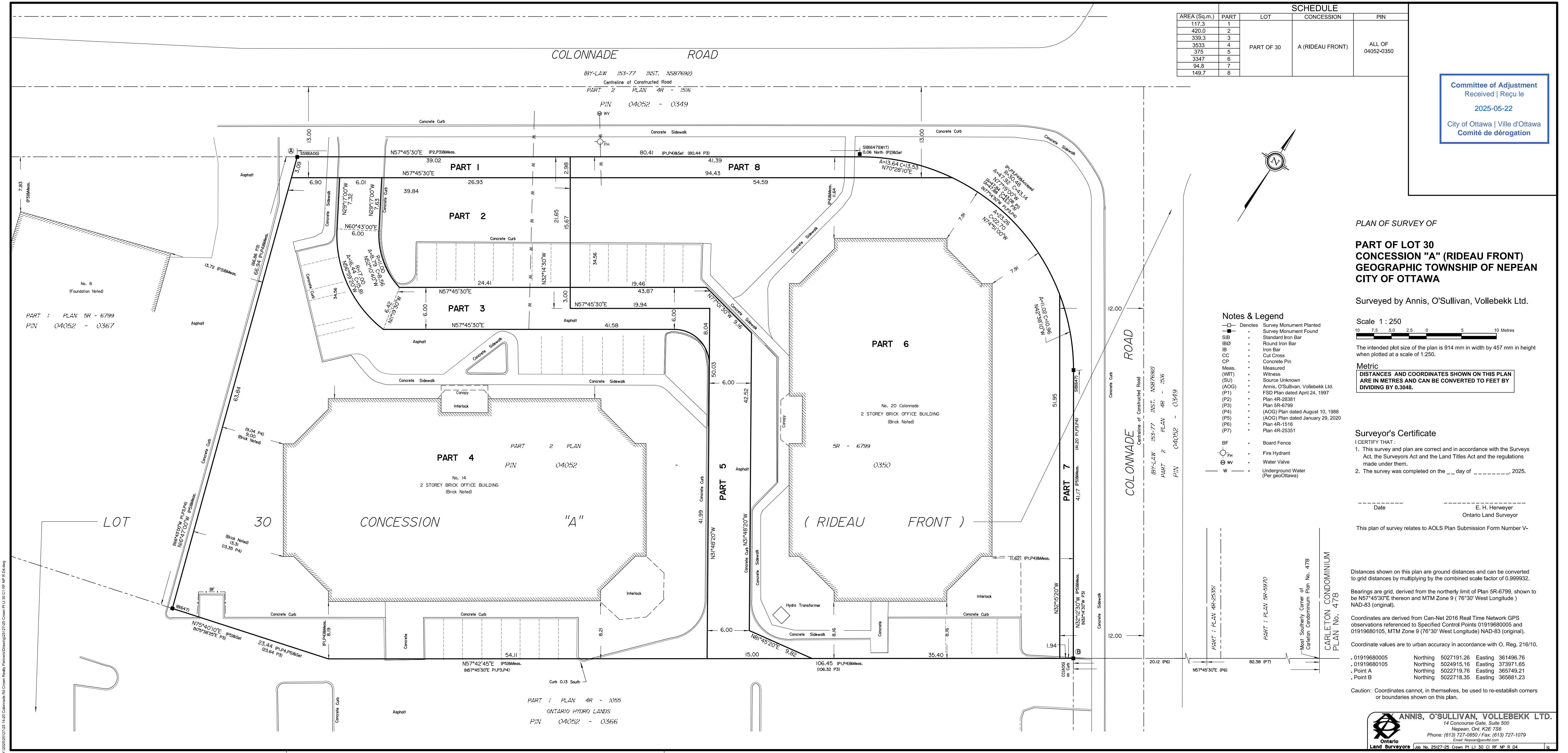
Caution: Coordinates cannot, in themselves, be used to re-establish corners or boundaries shown on this plan.

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Email: Nepean@awit.com

Ontario
Land Surveyors

Job No. 25127-25 Crown P.L.L. 30 C.I. RF. NP. R.D3

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SCHEDULE				
AREA (Sq.m.)	PART	LOT	CONCESSION	PIN
117.3	1	PART OF 30	A (RIDEAU FRONT)	ALL OF 04052-0350
420.0	2			
339.3	3			
3533	4			
375	5			
3347	6			
94.8	7			
149.7	8			

Committee of Adjustment
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- Notes & Legend**
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