

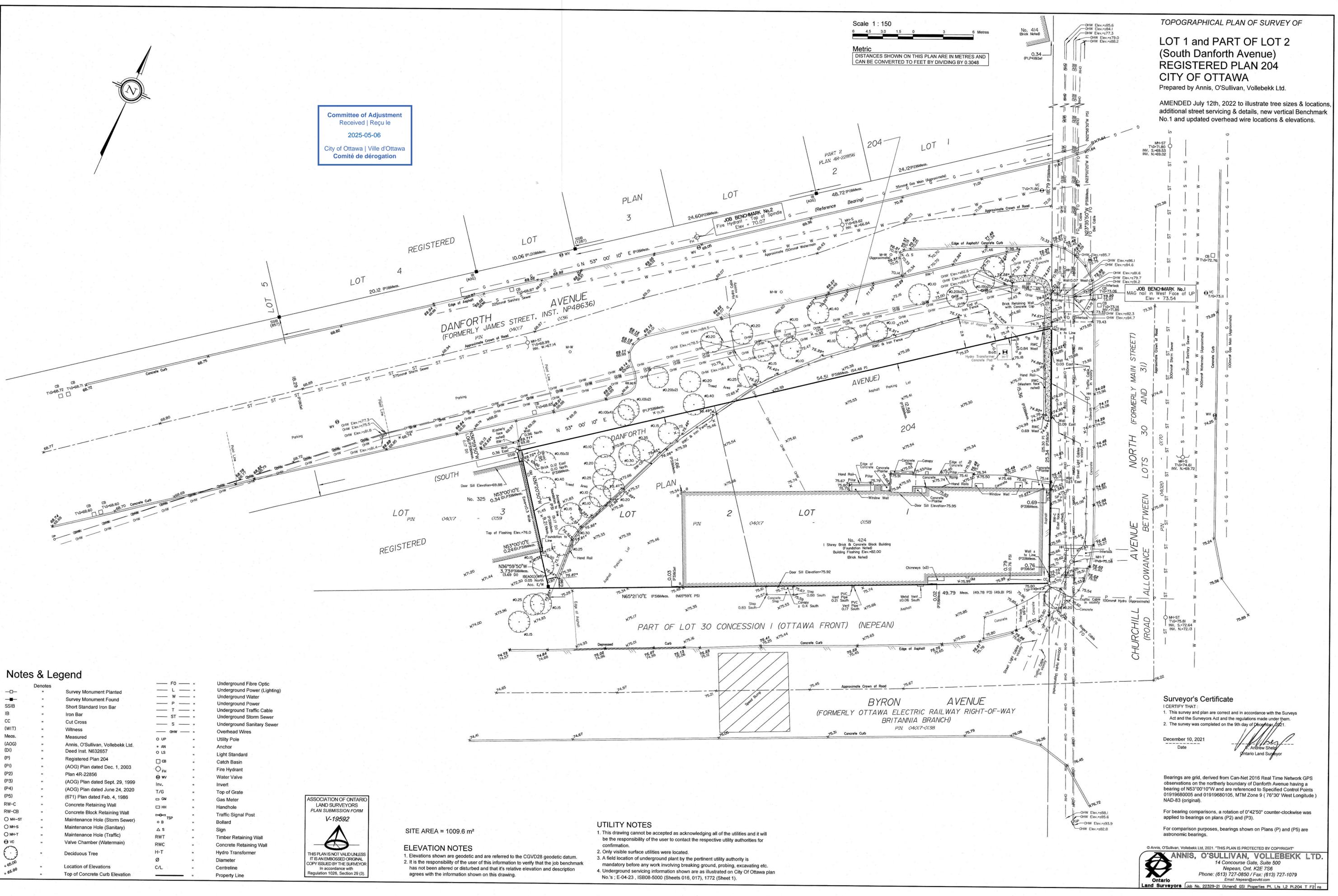
LOT 1 and PART OF LOT 2 (South Danforth Avenue) REGISTERED PLAN 204 CITY OF OTTAWA

Prepared by Annis, O'Sullivan, Vollebek Ltd.

AMENDED July 12th, 2022 to illustrate tree sizes & locations, additional street servicing & details, new vertical Benchmark No. 1 and updated overhead wire locations & elevations.

Scale 1:150 Metric DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Committee of Adjustment Received | Reçu le 2025-05-06 City of Ottawa | Ville d'Ottawa Comité de dérogation



- Notes & Legend Denotes Survey Monument Planted, Survey Monument Found, Short Standard Iron Bar, Iron Bar, Cut Cross, Witness, Measured, Annis, O'Sullivan, Vollebek Ltd., Registered Plan 204, (AOG) Plan dated Dec. 1, 2003, (AOG) Plan dated Sept. 29, 1999, (AOG) Plan dated June 24, 2020, (671) Plan dated Feb. 4, 1986, Concrete Retaining Wall, Concrete Block Retaining Wall, Maintenance Hole (Storm Sewer), Maintenance Hole (Sanitary), Maintenance Hole (Traffic), Valve Chamber (Watermain), Deciduous Tree, Location of Elevations, Top of Concrete Curb Elevation

- FG - Underground Fibre Optic, L - Underground Power (Lighting), W - Underground Water, P - Underground Power, T - Underground Traffic Cable, ST - Underground Storm Sewer, S - Underground Sanitary Sewer, OHW - Overhead Wires, UP - Utility Pole, AN - Anchor, LS - Light Standard, CB - Catch Basin, FH - Fire Hydrant, WV - Water Valve, Inv. - Invert, T/G - Top of Grate, GM - Gas Meter, HH - Handhole, TR - Traffic Signal Post, B - Bollard, S - Sign, RWT - Timber Retaining Wall, RWC - Concrete Retaining Wall, H-T - Hydro Transformer, D - Diameter, C/L - Centreline, Property Line



SITE AREA = 1009.6 m²

ELEVATION NOTES

- 1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum. 2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES

- 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation. 2. Only visible surface utilities were located. 3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc. 4. Underground servicing information shown are as illustrated on City of Ottawa plan No.'s: E-04-23, ISB08-5000 (Sheets 016, 017), 1772 (Sheet 1).

Surveyor's Certificate

- 1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them. 2. The survey was completed on the 9th day of December, 2021.

December 10, 2021 Date [Signature] Ontario Land Surveyor

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations on the northerly boundary of Danforth Avenue having a bearing of N53°00'10"W and are referenced to Specified Control Points 0191968005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

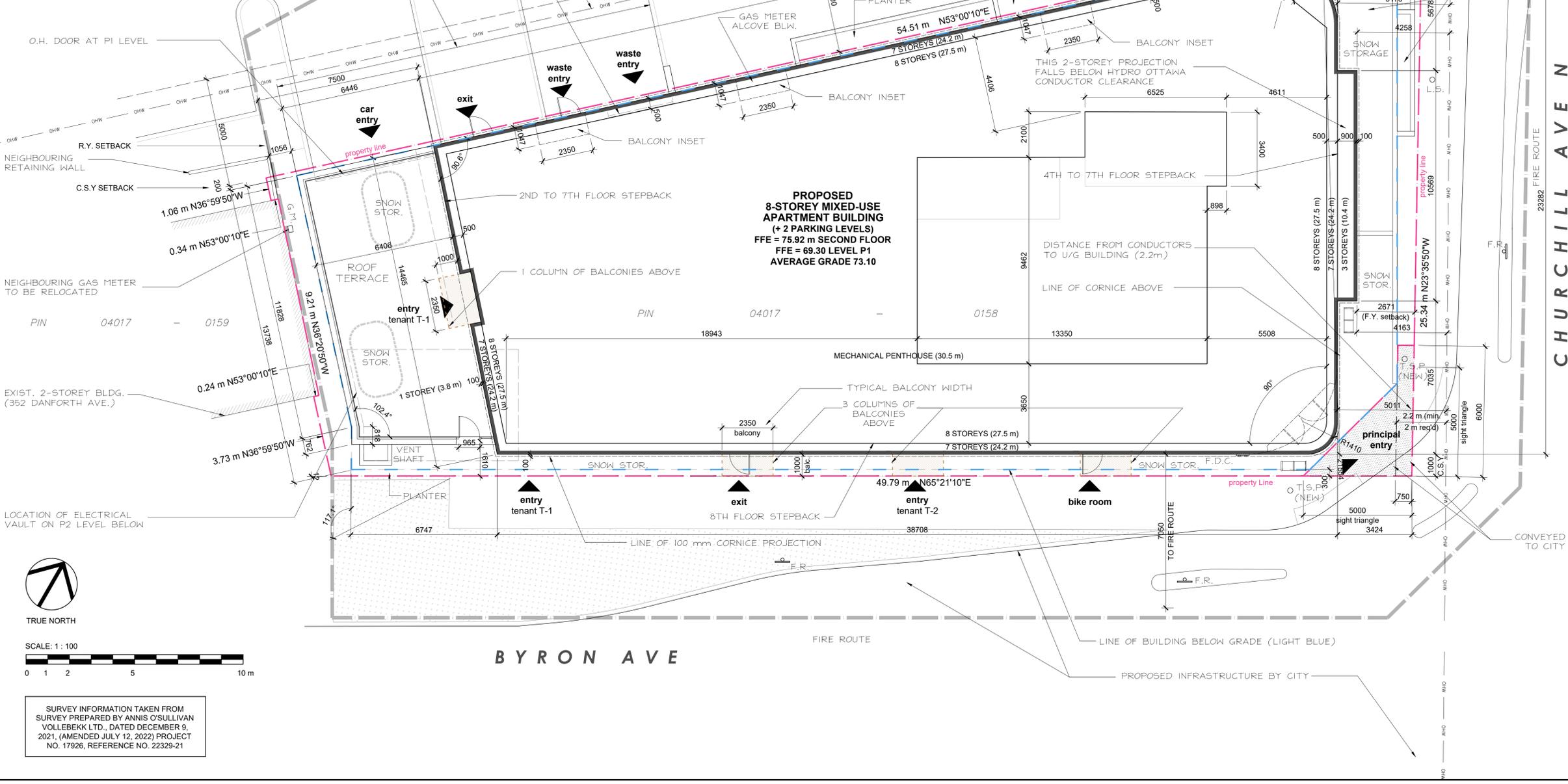
For bearing comparisons, a rotation of 0°42'50" counter-clockwise was applied to bearings on plans (P2) and (P3). For comparison purposes, bearings shown on Plans (P) and (P5) are astronomic bearings.

ANNIS, O'SULLIVAN, VOLLEBEK LTD. 14 Concourse Gate, Suite 500 Nepean, Ont. K2E 7S6 Phone: (613) 727-0850 / Fax: (613) 727-1079 Email: nepean@annis.com

Item	Requirement	Proposed	Compliance
234 Churchill Avenue North - Bakery mixed-use building with 72 dwelling units & 214 m ² commercial (Zoning 2008-205-TM2992) H2B1 - Traditional Mainstreet with Exception, Height Limit 24m	Required	Proposed	Compliance
Minimum Lot Width (Churchill Ave N) (Zone 10)	No minimum	23.5m	Yes
Minimum Front Yard Setback (Zone 10)	0.2m	2.6m	Yes
Minimum Interior Side Yard Setback (Zone 10)	1.2m	n/a (no interior side yard)	Yes
Minimum Side Yard Setback (Zone 10)	0.5m	0.5m	Yes
Minimum Rear Yard Setback (Zone 10)	0.5m	0.5m	Yes
Building Checkbacks (Zone 10)	0.9m	0.9m	Yes
Yard Setback (Zone 10)	0m	0m	Yes
Minimum Rear Yard Setback (Zone 10)	0.5m	0.5m	Yes
Maximum Building Height (Zone 10)	27.5m	27.5m	Yes
Amenity Space (Zone 10)	0.2m	0.2m	Yes
Hydro Setbacks (S1910104)	2m	4.7m	Yes
Permitted Projections into Required Area (Zone 10)	0.5m	0.5m	Yes

Item	Requirement	Proposed	Compliance
Parking & Loading, Area 6: Inner Urban, 2B, 6ch 1A, 7b dwelling units & 214 m ² commercial proposed	Performance Standard for Medium Rise Act	Required	Proposed
Minimum number of parking spaces for Dwelling Units	20	28	Yes
Minimum number of parking spaces for Commercial Use	20	28	Yes
Minimum number of parking spaces for Community Use	0	0	Yes
Minimum number of parking spaces for Total	40	56	Yes
Minimum number of accessible parking spaces	6	6	Yes
Minimum number of bicycle parking spaces	0	0	Yes
Minimum number of bicycle parking spaces for Commercial Use	0	0	Yes
Minimum number of bicycle parking spaces for Community Use	0	0	Yes
Minimum number of bicycle parking spaces for Total	0	0	Yes
Minimum number of bicycle parking spaces for Commercial Use	0	0	Yes
Minimum number of bicycle parking spaces for Community Use	0	0	Yes
Minimum number of bicycle parking spaces for Total	0	0	Yes
Minimum number of bicycle parking spaces for Commercial Use	0	0	Yes
Minimum number of bicycle parking spaces for Community Use	0	0	Yes
Minimum number of bicycle parking spaces for Total	0	0	Yes

Committee of Adjustment
Received | Reçu le
2025-05-06
City of Ottawa | Ville d'Ottawa
Comité de dérogation



CLIENT / OWNER :
CHURCHILL PROPERTIES INC.
5145 SELECT AVE.
TORONTO, ON M1V 5M8
416-292-9920

LANDSCAPE ARCHITECT :
IBI GROUP
410 ALBERT STREET, SUITE 101
WATERLOO, ON N2L 3V3
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613-313-4052

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5430 CANOTER ROAD,
OTTAWA, ON K1J 9G2
613-842-3434

rev / issue	description	date
02	Issued for minor variance	30 April 2025
01	Issued for 95% tender - base building	29 April 2025

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

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DO NOT SCALE DRAWINGS.

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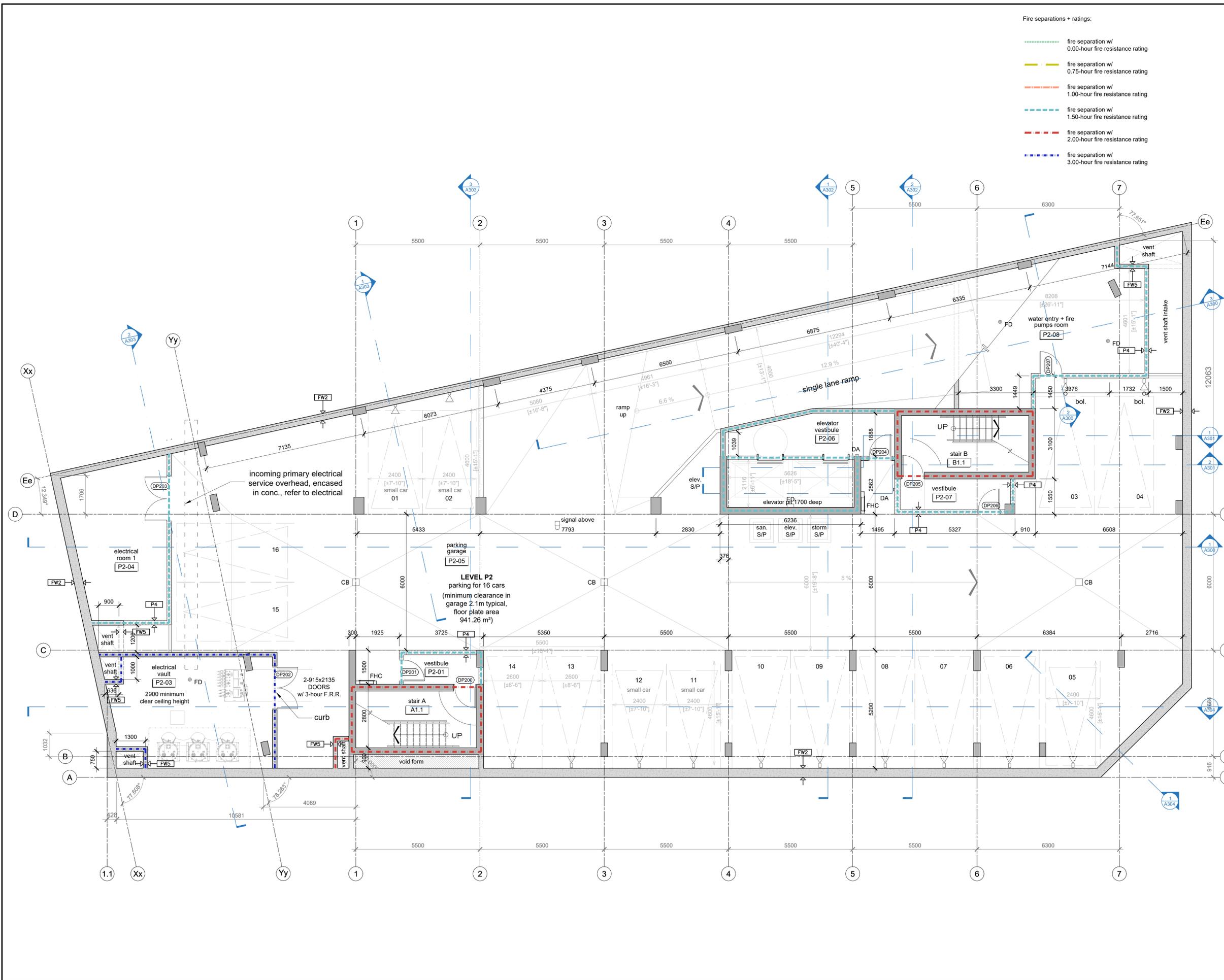
project
424 CHURCHILL AVENUE N.,
APARTMENT BUILDING

drawing
SITE PLAN

drawn	KDB	date	2022-JAN-06
approved	KDB	revision	1
project no.	2109	scale	1:100
drawing no.	A001		

18881

D07-12-22-0152



- Fire separations + ratings:
- fire separation w/ 0.00-hour fire resistance rating
 - fire separation w/ 0.75-hour fire resistance rating
 - fire separation w/ 1.00-hour fire resistance rating
 - fire separation w/ 1.50-hour fire resistance rating
 - fire separation w/ 2.00-hour fire resistance rating
 - fire separation w/ 3.00-hour fire resistance rating

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project

**424 CHURCHILL AVENUE N.,
 APARTMENT BUILDING**

drawing

Floor plan - level P2

drawn	KDB	date	2024
approved	KDB	revision	0
project no.	2119	scale	1:75
drawing no.			

A100

WASTE CAPACITY REQUIREMENTS:

waste:	0.11 yd ³ / DU = 8 yd ³ (7.7) 8 yd ³ provided
GMP:	0.018 yd ³ / DU = 2 yd ³ (1.24) 2 yd ³ provided
fiber:	0.038 yd ³ / DU = 3 yd ³ (2.66) 4 yd ³ provided
organic:	240 L cart / 50 DU = 2 carts 480 L provided

- Fire separations + ratings:**
- fire separation w/ 0.00-hour fire resistance rating
 - fire separation w/ 0.75-hour fire resistance rating
 - fire separation w/ 1.00-hour fire resistance rating
 - fire separation w/ 1.50-hour fire resistance rating
 - fire separation w/ 2.00-hour fire resistance rating
 - fire separation w/ 3.00-hour fire resistance rating

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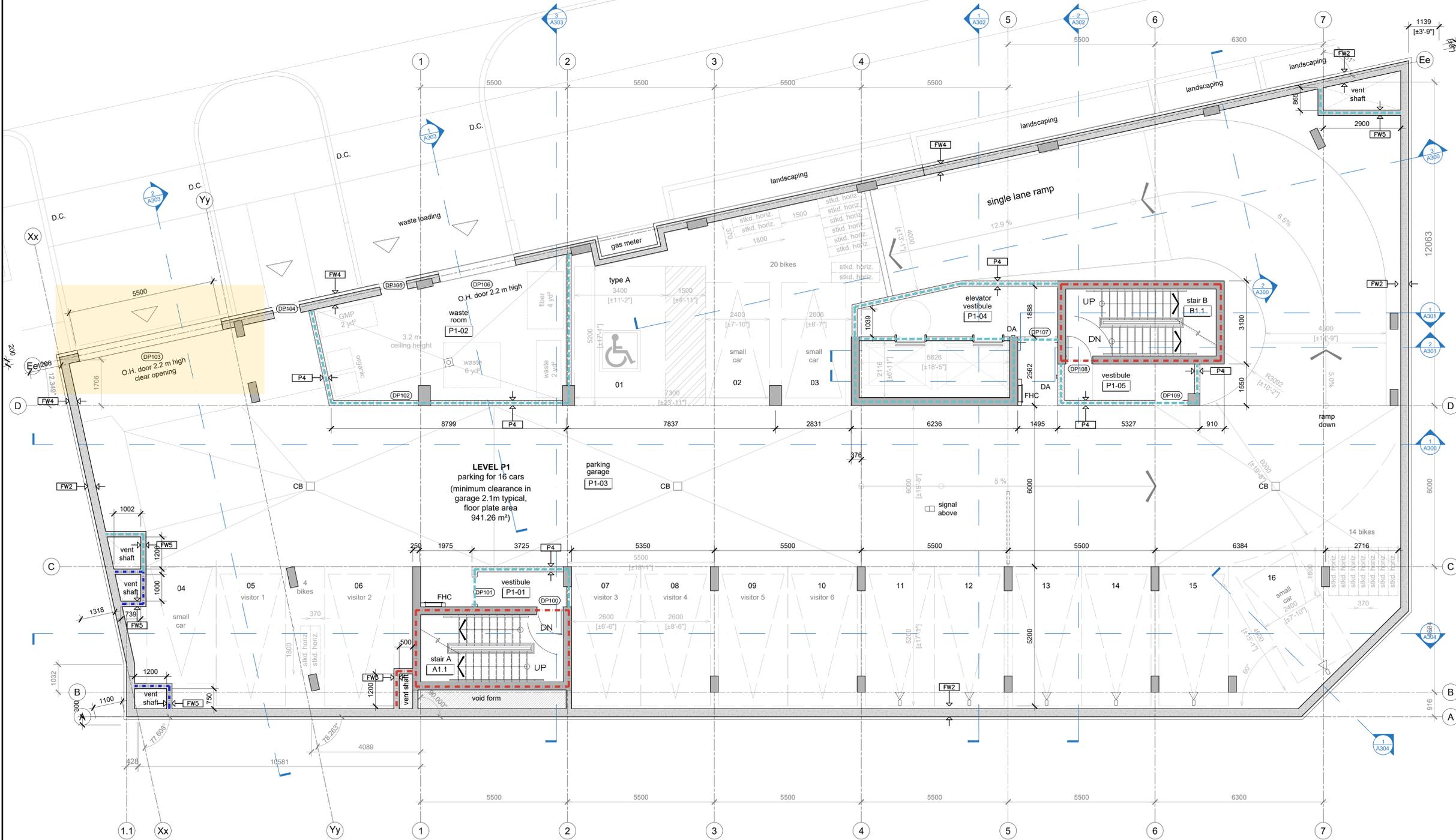
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rev. / issue	description	date
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project

**424 CHURCHILL AVENUE N.,
APARTMENT BUILDING**

drawing

Floor plan - level P1

drawn	KDB	date	2024
approved	KDB	revision	
project no.	2119	scale	1:75
drawing no.			

A101

SYMBOL & MATERIAL LEGEND :

- BUILDING ENTRANCE
- ELEVATION MARKER, ### mm ABOVE FINISHED FLOOR
- F.D.C. FIRE DEPT. CONNECTION, REFER TO MECHANICAL
- F.R. FIRE ROUTE SIGN, REFER TO CIVIL
- F.H. FIRE HYDRANT, REFER TO CIVIL
- U.P. HYDRO UTILITY POLE, REFER TO HYDRO
- TREE, REFER TO LANDSCAPE ARCHITECT
- LANDSCAPE MATERIAL, REFER TO LANDSCAPE ARCHITECT
- GRASS, REFER TO LANDSCAPE ARCHITECT
- POURED CONCRETE
- PAVERS, REFER TO LANDSCAPE ARCHITECT
- YELLOW DIAGONAL ROAD PAINT
- CONCRETE WALKWAY, REFER TO LANDSCAPE ARCHITECT

- CLIENT / OWNER :**
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- SURVEYOR :**
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01	Issued for 95% tender - base building	29 April 2025
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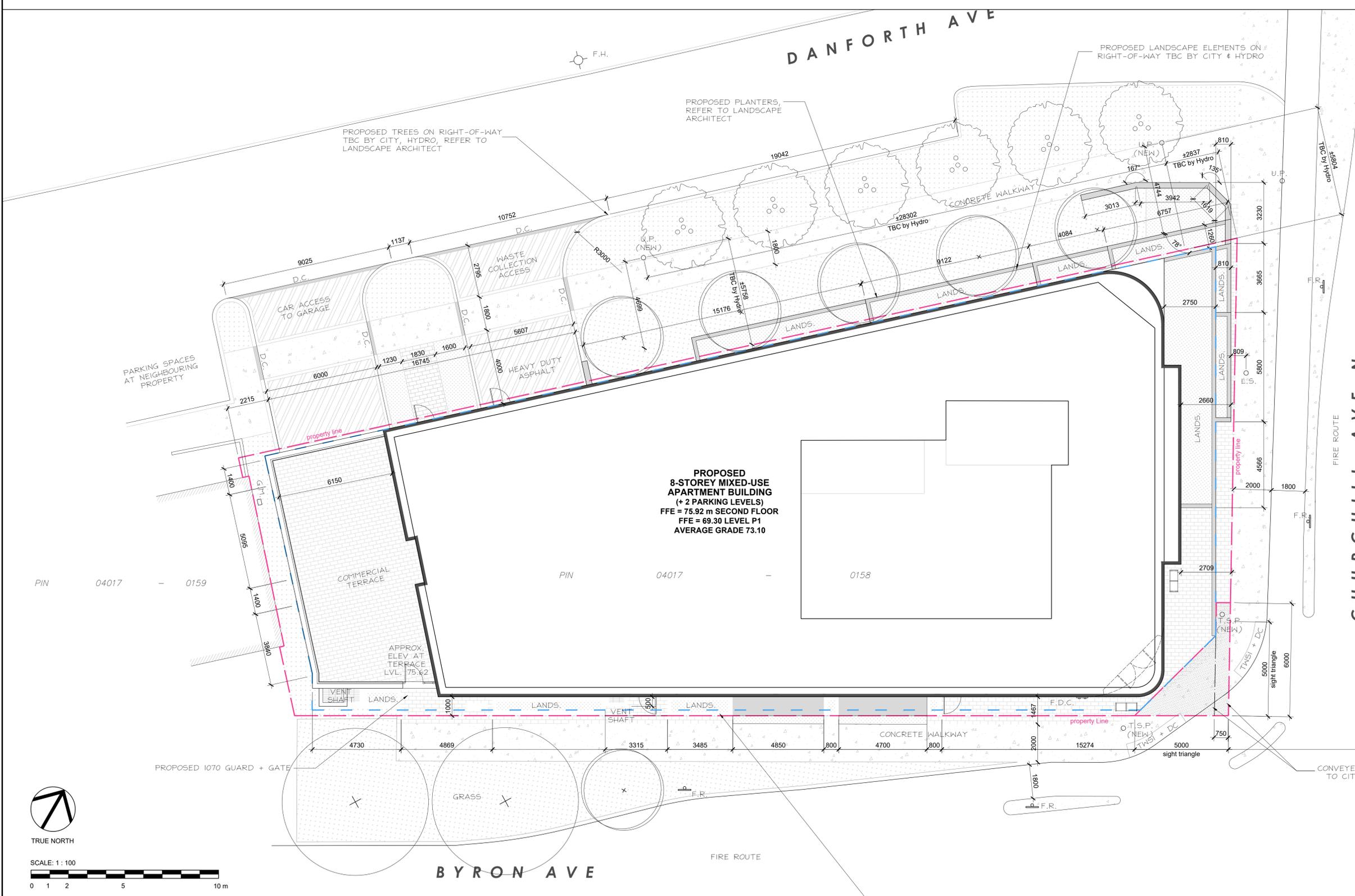
project

**424 CHURCHILL AVENUE N.,
APARTMENT BUILDING**

drawing

**SITE PLAN -
WALKWAYS & LANDSCAPING**

drawn	KDB	date	2022-JAN-06
approved	KDB	revision	1
project no.	2109	scale	1:100
drawing no.	A002		



SURVEY INFORMATION TAKEN FROM SURVEY PREPARED BY ANNIS O'SULLIVAN VOLLEBEKK LTD., DATED DECEMBER 9, 2021, (AMENDED JULY 12, 2022) PROJECT NO. 17926, REFERENCE NO. 22329-21

1 SITE PLAN
A002 1:100

D07-12-22-0152



- MATERIALS LEGEND :**
- (AL) aluminum guard - charcoal coloured
 - (AL) aluminum window framing - aged-copper coloured
 - (AL) aluminum window framing - charcoal coloured
 - (CB) poured concrete - w/ blasted finish
 - (CC) poured concrete
 - (GL) glass type 1
 - (GL) glass type 2
 - (GL) glass type 3 - translucent patterned
 - (GL) glass type 4 - translucent
 - (MH) metal interlocking tile cladding - dark colour (levels P1, 1 + 8)
 - (ML) metal interlocking tile cladding - light colour (penthouse)
 - (ML) metal louver - colour to match adjacent cladding material
 - (CB) rubber overhead door
 - (PC) pre-cast concrete panels - colour + finish type 1
 - (PC) pre-cast concrete panels - colour + finish type 2
 - (PC) pre-cast concrete panels - colour + finish type 3
 - (PV) pre-cast concrete panels - w/ vertical flutes colour + finish type 2
 - (SP) aluminum insulated spandrel panel - aged-copper coloured
 - (SP) aluminum insulated spandrel panel - charcoal coloured (louvered where required for mechanical)
 - (SP) aluminum insulated spandrel panel - with opaque spandrel glass
 - (ZF) zinc drip flashing

1 SOUTH ELEVATION
A200
1 : 125

- General Notes:**
1. Provide shop drawings for all windows, doors and glazing. Provide engineer's stamp where specified.
 2. All windows with sill heights below 1070mm from finished interior floor shall be designed as guards by an engineer. Provide limiters to all of these windows.
 3. Window, door and glazing energy performance characteristics shall comply with the SB-10 requirements identified in this drawings package.
 4. All balcony guards to be designed by the supplier's engineer. Stamped shop drawings shall be provided to architect.



2 NORTH ELEVATION
A200
1 : 125

CLIENT / OWNER :
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rev. / issue	description	date
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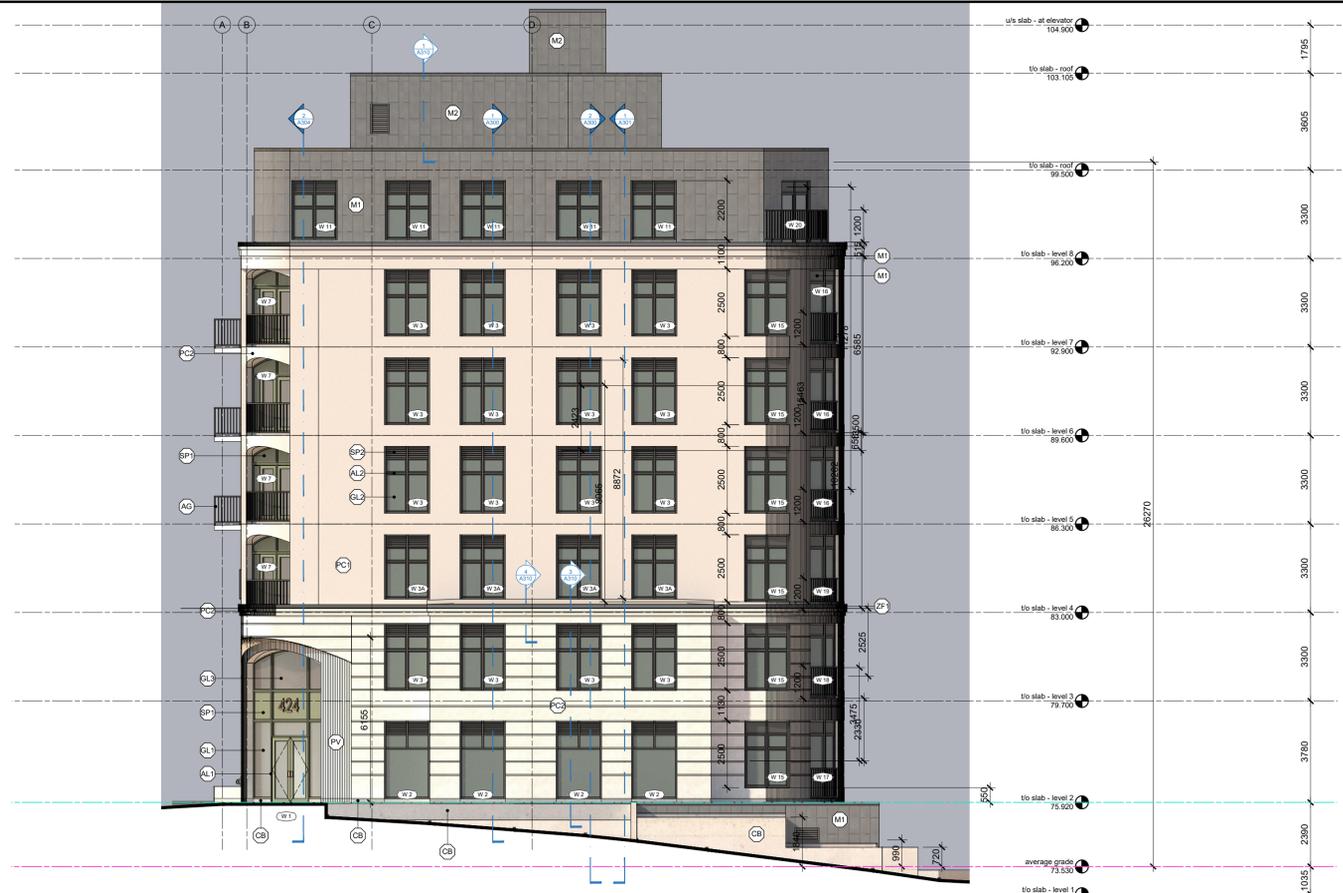
**424 CHURCHILL AVENUE N.,
APARTMENT BUILDING**

drawing

**NORTH AND SOUTH
ELEVATIONS**

drawn	KDB	date	2022-SEP-12
approved	KDB	revision	1
project no.	2109	scale	1 : 125
drawing no.			

A200



1 EAST ELEVATION
A201
1 : 125



2 WEST ELEVATION
A201
1 : 125

- MATERIALS LEGEND :**
- (AG) aluminum guard - charcoal coloured
 - (AL) aluminum window framing - aged-copper coloured
 - (AL2) aluminum window framing - charcoal coloured
 - (CB) poured concrete - w/ blasted finish
 - (CC) poured concrete
 - (GL1) glass type 1
 - (GL2) glass type 2
 - (GL3) glass type 3 - translucent patterned
 - (GL4) glass type 4 - translucent
 - (MH) metal interlocking tile cladding - dark colour (levels P1, 1 + 8)
 - (MG) metal interlocking tile cladding - light colour (penthouse)
 - (ML) metal louver - colour to match adjacent cladding material
 - (OR) rubber overhead door
 - (PC1) pre-cast concrete panels - colour + finish type 1
 - (PC2) pre-cast concrete panels - colour + finish type 2
 - (PC3) pre-cast concrete panels - colour + finish type 3
 - (PV) pre-cast concrete panels - w/ vertical flutes colour + finish type 2
 - (SP) aluminum insulated spandrel panel - aged-copper coloured
 - (SP2) aluminum insulated spandrel panel - charcoal coloured (louvered where required for mechanical)
 - (SP3) aluminum insulated spandrel panel - with opaque spandrel glass
 - (ZF) zinc drip flashing

- General Notes:**
- Provide shop drawings for all windows, doors and glazing. Provide engineer's stamp where specified.
 - All windows with sill heights below 1070mm from finished interior floor shall be designed as guards by an engineer. Provide limiters to all of these windows.
 - Window, door and glazing energy performance characteristics shall comply with the SB-10 requirements identified in this drawings package.
 - All balcony guards to be designed by the supplier's engineer. Stamped shop drawings shall be provided to architect.

CLIENT / OWNER :
CHURCHILL PROPERTIES INC.
5-145 SELECT AVE.
TORONTO, ON M1V 5M8
416-292-9920

LANDSCAPE ARCHITECT :
IBI GROUP
410 ALBERT STREET, SUITE 101
WATERLOO, ON N2L 3V3
519-585-2285

CONSULTING PLANNER :
FOTENN
396 COOPER STREET, SUITE 300
OTTAWA, ON K2P 2H7
613-730-3709

SURVEYOR :
ANNIS, O'SULLIVAN, VOLLEBECK LTD.
14 CONCOURSE GATE, SUITE 500
OTTAWA, ON K2E 2T6
613-727-0850

ARCHITECT :
OPEN PLAN ARCHITECTS INC.
340 GLADSTONE AVE., SUITE 301,
OTTAWA, ON K2P 0Y8
613-234-8883

NOISE, VIBRATION & WIND ENGINEER :
GRADIENT WIND ENGINEERING
127 WALGREEN ROAD,
OTTAWA, ON K0A 1L0
613-836-0934

STRUCTURAL ENGINEER :
D + M STRUCTURAL
333 PRESTON STREET, SUITE 110
OTTAWA, ON K1S 5N4
613-651-9490

TRANSPORTATION ENGINEER :
CASTELGLEN CONSULTANTS INC.
2460 LANCASTER ROAD,
OTTAWA, ON K1B 4S5
613-731-4052

MECHANICAL, ELECTRICAL & CIVIL ENGINEER :
LRL ENGINEERING
5430 CANOTEK ROAD,
OTTAWA, ON K1J 9G2
613-842-3434

rev. / issue	description	date
02	Issued for minor variance	30 April 2025
01	Issued for 95% tender - base building	29 April 2025

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND PROMPTLY REPORT ALL ERRORS AND/OR OMISSIONS TO THE CONSULTANT BEFORE WORK COMMENCES.

ALL WORK IS TO FOLLOW THE OCB 2012 AND ANY OTHER APPLICABLE CODES AND REGULATIONS.

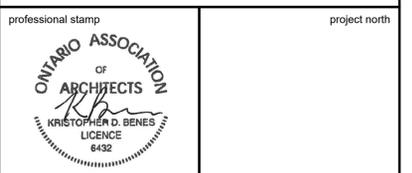
DO NOT SCALE DRAWINGS.

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professional stamp

project north



open plan architects inc.

340 gladstone ave. | suite 301 | ottawa | on
613-883-5090 info@openplan.ca

project

**424 CHURCHILL AVENUE N.,
APARTMENT BUILDING**

drawing

EAST AND WEST ELEVATIONS

drawn	KDB	date	2022-SEP-12
approved	KDB	revision	1
project no.	2109	scale	1 : 125
drawing no.	A201		

Committee of Adjustment
Received | Reçu le
2025-05-06
City of Ottawa | Ville d'Ottawa
Comité de dérogation



TREE PROTECTION FENCE,
SEE DETAIL 1 AND 2 ON SHEET TPP-2

CLIENT
CHURCHILL PROPERTIES INC.
5-145 SELECT AVE.,
TORONTO, ONTARIO

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Arcadis Professional Services (Canada) Inc.
Formerly BSI Group Professional Services (Canada) Inc.

ISSUES		
No.	DESCRIPTION	DATE
1	ISSUED FOR ZBA & SPA REVIEW	2022-10-21
2	ISSUED FOR ZBA & SPA REVIEW	2023-03-24
3	ISSUED FOR ZBA & SPA REVIEW	2024-08-12

LEGEND

- EXISTING DECIDUOUS TREE
- TEMPORARY TREE PROTECTION FENCING
- PROJECT SITE BOUNDARY

TREE IDENTIFICATION TAGS

- 000 P → TREE TO BE PRESERVED
- 000 R → TREE TO BE REMOVED

SEAL

PRIME CONSULTANT
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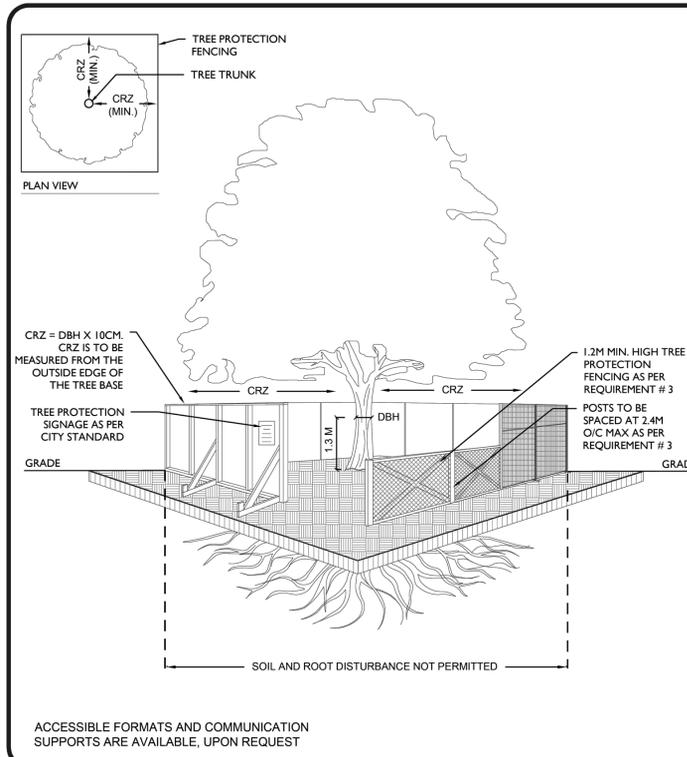
PROJECT
424 Churchill Ave
CITY OF OTTAWA

PROJECT NO:
139413
DRAWN BY:
E.L
CHECKED BY:
E.L
PROJECT MGR:
M.P
APPROVED BY:
T.M

SHEET TITLE
TREE PRESERVATION PLAN

SHEET NUMBER
TPP-1
ISSUE
3

File Location: \\139413_424_Churchill\7.03_Production\7.03_Design\05_Landscape\Sheet\139413_TPP.dwg Last Saved: March 27, 2025, by 162223 Plotted: August 14, 2024 10:51:49 AM by Li, Erick



- TREE PROTECTION REQUIREMENTS:**
- PRIOR TO ANY WORK ACTIVITY WITHIN THE CRITICAL ROOT ZONE (CRZ = 10 X DIAMETER) OF A TREE, TREE PROTECTION FENCING MUST BE INSTALLED SURROUNDING THE CRITICAL ROOT ZONE, AND REMAIN IN PLACE UNTIL THE WORK IS COMPLETE.
 - UNLESS PLANS ARE APPROVED BY CITY FORESTRY STAFF, FOR WORK WITHIN THE CRZ:
 - DO NOT PLACE ANY MATERIAL OR EQUIPMENT - INCLUDING OUTHOUSES;
 - DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE;
 - DO NOT RAISE OR LOWER THE EXISTING GRADE;
 - TUNNEL OR BORE WHEN DIGGING;
 - DO NOT DAMAGE THE ROOT SYSTEM, TRUNK, OR BRANCHES OR ANY TREE;
 - ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARD ANY TREE CANOPY;
 - DO NOT EXTEND HARD SURFACE OR SIGNIFICANTLY CHANGE LANDSCAPING
 - TREE PROTECTION FENCING MUST BE AT LEAST 1.2M IN HEIGHT, AND CONSTRUCTED OF RIGID OR FRAMED MATERIALS (E.G. MODULOC - STEEL, PLYWOOD HOARDING, OR SNOW FENCE ON A 2"x4" WOOD FRAME) WITH POSTS 2.4M APART, SUCH THAT THE FENCE LOCATION CANNOT BE ALTERED. ALL SUPPORTS AND BRACING MUST BE PLACED OUTSIDE OF THE CRZ, AND INSTALLATION MUST MINIMISE DAMAGE TO EXISTING ROOTS. (SEE DETAIL)
 - THE LOCATION OF THE TREE PROTECTION FENCING MUST BE DETERMINED BY AN ARBORIST AND DETAILED ON ANY ASSOCIATED PLANS FOR THE SITE (E.G. TREE CONSERVATION REPORT, TREE INFORMATION REPORT, ETC). THE PLAN AND CONSTRUCTED FENCING MUST BE APPROVED BY CITY FORESTRY STAFF PRIOR TO THE COMMENCEMENT OF WORK.
 - IF THE FENCED TREE PROTECTION AREA MUST BE REDUCED TO FACILITATE CONSTRUCTION, MITIGATION MEASURES MUST BE PRESCRIBED BY AN ARBORIST AND APPROVED BY CITY FORESTRY STAFF. THESE MAY INCLUDE THE PLACEMENT OF PLYWOOD, WOOD CHIPS, OR STEEL PLATING OVER THE ROOTS FOR PROTECTION OR THE PROPER PRUNING AND CARE OF ROOTS WHERE ENCOUNTERED.
- THE CITY'S TREE PROTECTION BY-LAW, 2020-340 PROTECTS BOTH CITY-OWNED TREES, CITY-WIDE, AND PRIVATELY-OWNED TREES WITHIN THE URBAN AREA. PLEASE REFER TO WWW.OTTAWA.CA/TREEBY-LAW FOR MORE INFORMATION ON HOW THE TREE BY-LAW APPLIES.

TREE PROTECTION SPECIFICATION

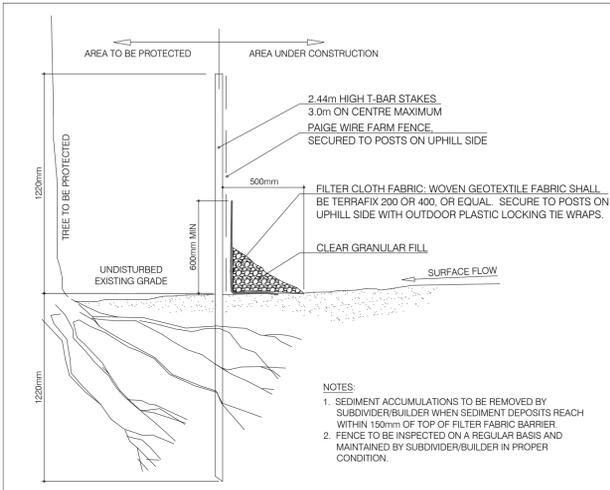
TO BE IMPLEMENTED FOR RETAINED TREES, BOTH ON SITE AND ON ADJACENT SITES, PRIOR TO ANY TREE REMOVAL OR SITE WORKS AND MAINTAINED FOR THE DURATION OF WORK ACTIVITIES ON SITE.

SCALE: NTS

DATE: MARCH 2021

DRAWING NO.: 1 of 1

1 TREE PROTECTION SPECIFICATION
TPP-2 N.T.S.



2 EROSION CONTROL AND SEDIMENTATION FENCING
TPP-2 N.T.S.

Table 1 - Existing Tree Inventory
424 Churchill, Ottawa, Ontario
Project #: 139413

Tag #	Species	Common Name	Diameter at Breast Height (DBH) cm or range (cm)	Drip Line Radius (cm)	Multistem Tree	Overall Condition	Recommended Action	Notes	Ownership
1	<i>Acer negundo</i>	Manitoba Maple	10	480	---	Good	Protection to installed at property limits with reduced protection areas.	Hard lean to south	Private on adjoining site
2	<i>Ulmus americana</i>	American Elm	22	280	---	Fair	Protection to installed at property limits with reduced protection areas.	Lean to south	Private on adjoining site
3	<i>Acer platanoides</i>	Norway Maple	11	250	---	Poor	Remove - Due to grading and infrastructure improvement		Private on site
4	<i>Acer platanoides</i>	Norway Maple	11	200	---	Good	Remove - Due to grading and infrastructure improvement		Private on adjoining site
5	<i>Malus spp.</i>	Apple spp.	11	200	---	Good	Protection to installed at property limits with reduced protection areas.		Private on adjoining site
6	<i>Juglans nigra</i>	Black Walnut	26	500	---	Good	Protection to installed at property limits with reduced protection areas.		Private on adjoining site
7	<i>Acer negundo</i>	Manitoba Maple	11	350	---	Fair	Remove - Due to grading and infrastructure improvement		Private on site
8	<i>Ulmus americana</i>	American Elm	25	350	---	Poor	Remove - Due to grading and infrastructure improvement		Private on site
9	<i>Acer platanoides</i>	Norway Maple	13	490	---	Very Good	Remove - Due to building construction and excavation		Private on site
10	<i>Acer negundo</i>	Manitoba Maple	11	370	---	Good	Remove - Due to building construction and excavation		Private on site
11	<i>Acer negundo</i>	Manitoba Maple	37	850	---	Very Good	Remove - Due to grading and infrastructure improvement		Private on site
12	<i>Acer platanoides</i>	Norway Maple	17	360	---	Very Good	Remove - Due to grading and infrastructure improvement		Private on site
13	<i>Acer negundo</i>	Manitoba Maple	12	280	---	Poor	Remove - Due to grading and infrastructure improvement		Private on site
14	<i>Ulmus americana</i>	American Elm	15	50	---	Poor	Remove - Due to building construction and excavation		Private on site
15	<i>Acer negundo</i>	Manitoba Maple	19	440	---	Poor	Remove - Due to building construction and excavation		Private on site
16	<i>Unknown</i>	Unknown	19	240	---	Dead	Remove - Due to building construction and excavation		City Tree
17	<i>Acer platanoides</i>	Norway Maple	19	580	---	Very Good	Remove - Due to grading and infrastructure improvement		City Tree
18	<i>Rhamnus cathartica</i>	Common Buckthorn	10	730	---	Good	Remove - Due to grading and infrastructure improvement	Hard lean north	Private on site
19	<i>Acer negundo</i>	Manitoba Maple	25	1220	---	Very Good	Remove - Due to building construction and excavation		Private on site
20	<i>Acer negundo</i>	Manitoba Maple	35	640	---	Good	Remove - Due to grading and infrastructure improvement		Private on site
21	<i>Tilia americana</i>	Basswood	11	520	Yes	Poor	Remove - Due to building construction and excavation		City Tree
22	<i>Tilia americana</i>	Basswood	12	540	Yes	Good	Remove - Due to grading and infrastructure improvement		City Tree
23	<i>Acer platanoides</i>	Norway Maple	15	360	---	Very Good	Remove - Due to grading and infrastructure improvement		City Tree
24	<i>Acer negundo</i>	Manitoba Maple	35	1090	Yes	Poor	Remove - Due to grading and infrastructure improvement		City Tree
25	<i>Ulmus americana</i>	American Elm	20	470	---	Good	Remove - Due to grading and infrastructure improvement		City Tree
26	<i>Ulmus americana</i>	American Elm	16	440	---	Good	Remove - Due to grading and infrastructure improvement		City Tree
27	<i>Juglans nigra</i>	Black Walnut	20	1040	---	Good	Remove - Due to grading and infrastructure improvement		City Tree
28	<i>Tilia americana</i>	Basswood	14	0	---	Dead	Remove - Due to grading and infrastructure improvement		City Tree
29	<i>Acer negundo</i>	Manitoba Maple	18	710	---	Good	Remove - Due to grading and infrastructure improvement		City Tree
30	<i>Acer negundo</i>	Manitoba Maple	19	350	---	Very Good	Remove - Due to grading and infrastructure improvement		City Tree
31	<i>Acer negundo</i>	Manitoba Maple	15	410	---	Good	Remove - Due to grading and infrastructure improvement		City Tree
32	<i>Acer negundo</i>	Manitoba Maple	11	0	---	Dead	Remove - Due to grading and infrastructure improvement		City Tree
33	<i>Rhamnus cathartica</i>	Common Buckthorn	11	810	---	Very Good	Remove - Due to grading and infrastructure improvement		City Tree
34	<i>Tilia americana</i>	Basswood	28	430	---	Poor	Remove - Due to grading and infrastructure improvement		City Tree
35	<i>Acer negundo</i>	Manitoba Maple	12	0	---	Dead	Remove - Due to grading and infrastructure improvement		City Tree
36	<i>Acer platanoides</i>	Norway Maple	11	30	---	Very Good	Remove - Due to grading and infrastructure improvement		City Tree
37	<i>Acer negundo</i>	Manitoba Maple	27	810	Yes	Poor	Remove - Due to grading and infrastructure improvement		City Tree
38	<i>Acer negundo</i>	Manitoba Maple	14	450	Yes	Very Good	Remove - Due to grading and infrastructure improvement		City Tree
39	<i>Quercus macrocarpa</i>	Burr Oak	22	220	Yes	Very Good	Remove - Due to grading and infrastructure improvement		City Tree

CLIENT
CHURCHILL PROPERTIES INC.

5-145 SELECT AVE.,
TORONTO, ONTARIO

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Arcadis Professional Services (Canada) Inc.
Formerly ISI Group Professional Services (Canada) Inc.

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SEAL

PRIME CONSULTANT
ARCADIS
410 Albert Street - Suite 101
Waterloo ON N2L 3V3 Canada
tel 519 585 2255
www.arcadis.com

PROJECT
424 Churchill Ave

CITY OF OTTAWA

PROJECT NO:
139413
DRAWN BY:
E.L.
PROJECT MGR:
M.P.
CHECKED BY:
E.L.
APPROVED BY:
T.M.

SHEET TITLE
TREE PRESERVATION PLAN

SHEET NUMBER
TPP-2
ISSUE
3

File Location: \\1139413_424_Churchill\7_03_Design\05_Landscape\05_139413_TPP.dwg Last Saved: August 14, 2024 11:01:17 AM by L.I. Erick