

TOPOGRAPHIC PLAN OF SURVEY OF
**PART OF LOT 5
 CONCESSION 2**
 GEOGRAPHIC TOWNSHIP OF NORTH GOWER
CITY OF OTTAWA
 Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Committee of Adjustment
 Received | Reçu le
2025-04-02
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

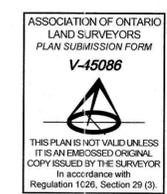
Scale 1 : 500

Metric
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate
 I CERTIFY THAT:
 1. This survey and plan are correct and in accordance with the Surveys Act and the Regulations made under them.
 2. The survey was completed on the 10th day of May, 2023.

May 11, 2023
 Date

 T. Hartwick
 Ontario Land Surveyor



Notes & Legend

- | Denotes | |
|---------|---|
| | Survey Monument Planted |
| | Survey Monument Found |
| | Standard Iron Bar |
| | Short Standard Iron Bar |
| | Iron Bar |
| | Witness |
| | Measured |
| | Annis, O'Sullivan, Vollebek Ltd. |
| | Plan SR-13075 |
| | (1697) Plan Dated November 4, 1994 |
| | Deciduous Tree |
| | Coniferous Tree |
| | Overhead Wires |
| | Corrugated Steel Pipe |
| | Gas Valve |
| | Hydro Meter |
| | Bell Terminal Box |
| | Bollard |
| | Sign |
| | Chain Link Fence |
| | Board Fence |
| | Post and Wire Fence |
| | Top of Slope |
| | Bottom of Slope |
| | Ditch Centreline |
| | Edge of Asphalt |
| | Edge of Concrete |
| | Stone Retaining Wall |
| | Utility Pole |
| | Anchor |
| | Light Standard |
| | Diameter |
| | Location of Elevations |
| | Top of Concrete Curb Elevation and Retaining Wall Elevation |
| | Property Line |
| | Shrub |
| | Edge of Interlock |
| | Maintenance Hole (Unidentified) |

Bearings are grid, derived from Can-Net 2015 Real Time Network GPS observations and are referenced to Specified Control Points 01915791338 and 01915871549, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

For bearing comparisons, a rotation of 0°31'00" counter-clockwise was applied to bearings on plan (P1).

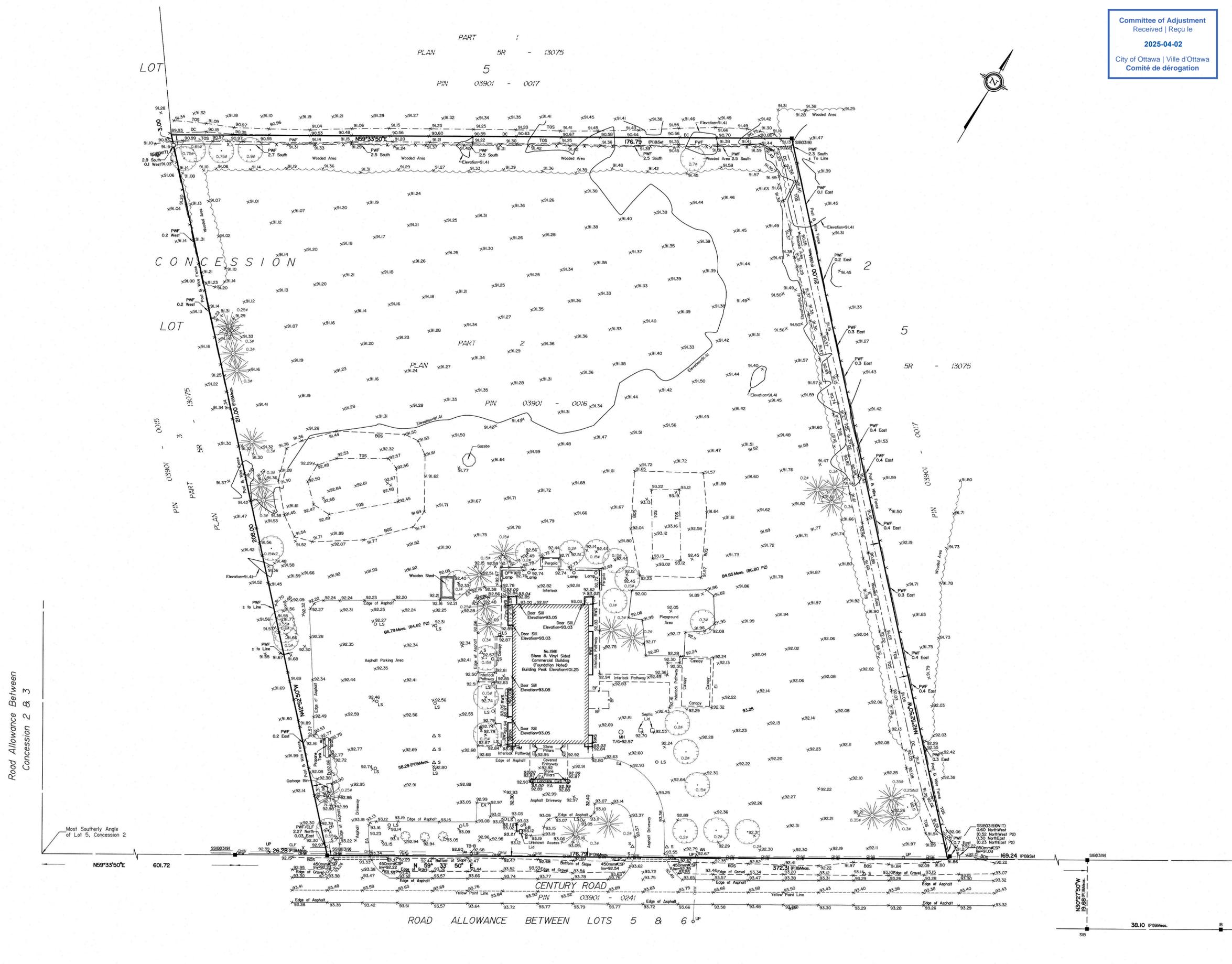
ELEVATION NOTES

- Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
- It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES

- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
- Only visible surface utilities were located.
- A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Topographic data was collected under Winter Conditions.
 Snow cover and ice preclude determining location and elevation of some topographical data that is otherwise visible.





BCCO CHURCH ADDITION

1981 CENTURY RD W, NORTH GOWER, ON

ISSUED FOR SPC

2025.03.12

ARCHITECTURAL DRAWINGS



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GOODKEY WEEDMARK CONSULTING ENGINEERS

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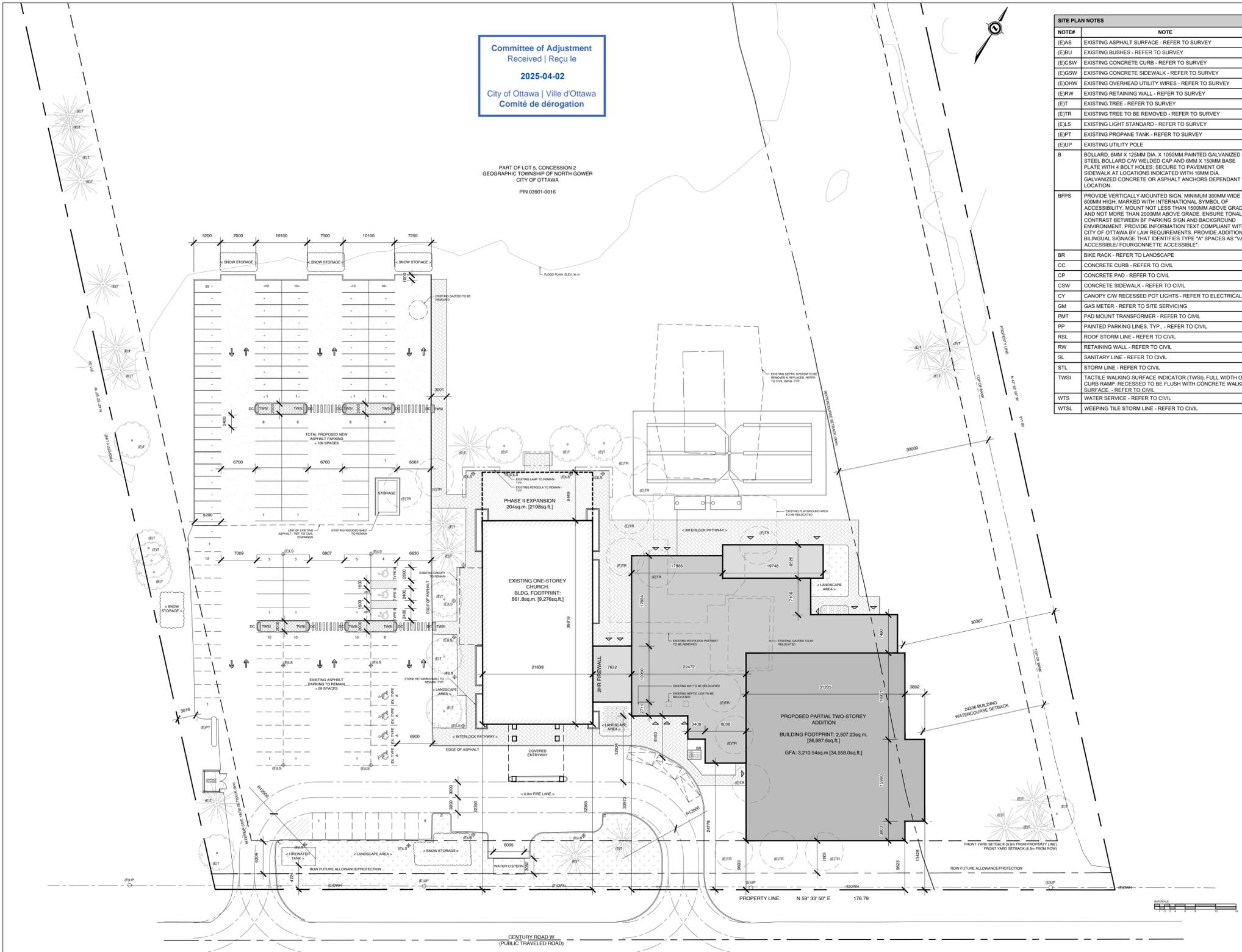
PLANNER



Q9 PLANNING & DESIGN

43 ECCLES ST. UNIT C
OTTAWA, ONTARIO K1R 6S3

(P) 613 850 8345



SITE PLAN NOTES

NOTE	NOTE
(E)AS	EXISTING ASPHALT SURFACE - REFER TO SURVEY
(E)BU	EXISTING BUSHES - REFER TO SURVEY
(E)CSW	EXISTING CONCRETE CURB - REFER TO SURVEY
(E)GSW	EXISTING CONCRETE SIDEWALK - REFER TO SURVEY
(E)OHW	EXISTING OVERHEAD UTILITY WIRES - REFER TO SURVEY
(E)RW	EXISTING RETAINING WALL - REFER TO SURVEY
(E)T	EXISTING TREE - REFER TO SURVEY
(E)TR	EXISTING TREE TO BE REMOVED - REFER TO SURVEY
(E)LS	EXISTING LIGHT STANDARD - REFER TO SURVEY
(E)PT	EXISTING PROPANE TANK - REFER TO SURVEY
(E)UP	EXISTING UTILITY POLE
B	BOLLARD: 6MM X 125MM DIA. X 150MM PAINTED GALVANIZED STEEL BOLLARD CW WELDED CAP AND 6MM X 150MM BASE PLATE WITH 4 BOLT HOLES. SECURE TO PAVEMENT OR SIDEWALK AT LOCATIONS INDICATED WITH 16MM DIA. GALVANIZED CONCRETE OR ASPHALT ANCHORS DEPENDANT ON LOCATION.
BPFS	PROVIDE VERTICALLY-MOUNTED SIGN, MINIMUM 300MM WIDE X 600MM HIGH, MARKED WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY. MOUNT NOT LESS THAN 1500MM ABOVE GRADE AND NOT MORE THAN 200MM ABOVE GRADE. ENSURE TONAL CONTRAST BETWEEN BPFS SIGN AND BACKGROUND ENVIRONMENT. PROVIDE INFORMATION TEXT COMPLIANT WITH CITY OF OTTAWA BY-LAW REQUIREMENTS. PROVIDE ADDITIONAL BILINGUAL SIGNAGE THAT IDENTIFIES TYPE "A" SPACES AS "VAN ACCESSIBLE/ FOURGONNETTE ACCESSIBLE".
BR	BIKE RACK - REFER TO LANDSCAPE
CC	CONCRETE CURB - REFER TO CIVIL
CP	CONCRETE PAD - REFER TO CIVIL
CSW	CONCRETE SIDEWALK - REFER TO CIVIL
CY	CANOPY CW RECESSED POT LIGHTS - REFER TO ELECTRICAL
GM	GAS METER - REFER TO SITE SERVICING
PMT	PAD MOUNT TRANSFORMER - REFER TO CIVIL
PP	PAINTED PARKING LINES, TYP. - REFER TO CIVIL
RSL	ROOF STORM LINE - REFER TO CIVIL
RW	RETAINING WALL - REFER TO CIVIL
SL	SANITARY LINE - REFER TO CIVIL
STL	STORM LINE - REFER TO CIVIL
TWSI	TACTILE WALKING SURFACE INDICATOR (TWSI), FULL WIDTH OF CURB RAMP. RECESSED TO BE FLUSH WITH CONCRETE WALKING SURFACE - REFER TO CIVIL
WTS	WATER SERVICE - REFER TO CIVIL
WTL	WEAVING TILE STORM LINE - REFER TO CIVIL

CITY OF OTTAWA ZONING BY-LAW

ZONING MECHANISM (RIS)	REQUIRED	PROVIDED
MINIMUM LOT WIDTH	75m	176.79m
MINIMUM LOT AREA	10,000m ²	36,422.13m ²
MINIMUM BUILDING HEIGHT	12m	7.5m
MINIMUM FRONT YARD SETBACK	9.0m	9.6m FROM PROPERTY LINE 9.3m FROM ROW
MINIMUM REAR YARD SETBACK	10m	130m
MINIMUM INTERIOR YARD SETBACK	9.0m	30.4m/80m
MAXIMUM LOT COVERAGE	30%	6.9%
MINIMUM LANDSCAPED AREA	20%	70.5%
PROVIDED TOTAL LANDSCAPE AREA		25,670m ²
WATERCOURSE SETBACK	30m	24.34m
PARKING PROVISIONS		
MINIMUM REQUIRED VEHICLE PARKING SPACES (AREA D ON SCHEDULE 1A) (COMMUNITY CENTRE / PLACE OF WORSHIP)	<ul style="list-style-type: none"> EXISTING BUILDING <ul style="list-style-type: none"> CHURCH (PLACE OF WORSHIP): 661.8 m² 10 SPACES PER 100m² GFA = 661.8/100 = 6.618 x 10 = 67 SPACES PROPOSED ADDITION <ul style="list-style-type: none"> FLEX SPACE (COMMUNITY CENTER / PLACE OF ASSEMBLY): 1387.5 m² 10 SPACES PER 100m² GFA = 1387.5/100 = 13.875 x 10 = 139 SPACES CHURCH (PLACE OF WORSHIP): 687.7 m² 10 SPACES PER 100m² GFA = 687.7/100 = 6.877 x 10 = 69 SPACES TOTAL: 196 SPACES NEW BUILD + EXISTING: 67 + 196 = 263 SPACES REQUIRED	168 SPACES PROVIDED
PROVIDED PARKING		55
	REGULAR SPACES (EXISTING)	
	REGULAR SPACES (NEW)	45
	ACCESSIBLE SPACE (TYPE A)	4 (EXISTING)
	ACCESSIBLE SPACE (TYPE B)	3
	COMPACT SPACES (50% OF PARKING SPACES: BY-LAW 2021-218, PART 4 - SECTION 106)	61
	TOTAL	168
BICYCLE PARKING REQUIRED	1 PER 1500 m ² OF GFA = 3 SPACES	3
MINIMUM DRIVEWAY WIDTH	PARKING LOT: 6.0m	6.0m
MINIMUM AISLE WIDTH	PARKING LOT: 6.0m	6.0m
MINIMUM PARKING SPACE DIMENSIONS	LENGTH: 5.2m WIDTH: 2.6m	LENGTH: 5.2m WIDTH: 2.6m
	UP TO 50% OF REQUIRED PARKING SPACES MAY BE 4.6m x 2.4m	50% (81 SPACES PERMITTED) = 81 SPACES

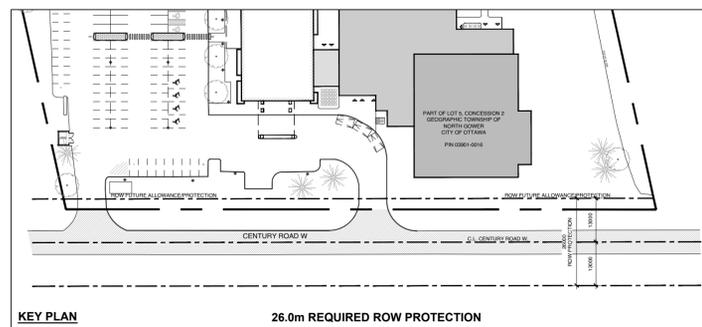
AREA SCHEDULE

ROOM NAME	ROOM AREA	LOCATION
PRIMARY USE (WORSHIP)		
EXISTING ONE-STOREY CHURCH	861.8 SQ.M	GROUND FLOOR
NURSERY ROOM	134.7 SQ.M	GROUND FLOOR
NURSERY W/C	4.9 SQ.M	GROUND FLOOR
FEEDING ROOM	21.2 SQ.M	GROUND FLOOR
STROLLER STORAGE	5.9 SQ.M	GROUND FLOOR
SUNDAY SCHOOL ROOM 01	59.4 SQ.M	SECOND FLOOR
YOUTH LOUNGE	197.8 SQ.M	SECOND FLOOR
MEZZANINE	27.9 SQ.M	SECOND FLOOR
SENIORS LOUNGE	70.8 SQ.M	SECOND FLOOR
SUNDAY SCHOOL ROOM 02	47.8 SQ.M	SECOND FLOOR
OFFICE	112.2 SQ.M	SECOND FLOOR
OFFICE	112.2 SQ.M	SECOND FLOOR
SECONDARY USE		
MULTI PURPOSE SPACE	1102.4 SQ.M	GROUND FLOOR
FEAST HALL/CAFE	245.6 SQ.M	GROUND FLOOR
COFFEE BAR	10.6 SQ.M	GROUND FLOOR
MEETING ROOM	28.9 SQ.M	SECOND FLOOR
SERVICE SPACE		
COAT CHECK	16.3 SQ.M	GROUND FLOOR
RECEPTION	7.7 SQ.M	GROUND FLOOR
MALE CHANGE ROOM	85.9 SQ.M	GROUND FLOOR
FEMALE CHANGE ROOM	86.8 SQ.M	GROUND FLOOR
UNIVERSAL W/C	9.3 SQ.M	GROUND FLOOR
STORAGE/JAN. CL.	15.0 SQ.M	GROUND FLOOR
COMMERCIAL KITCHEN	134.5 SQ.M	GROUND FLOOR
STAFF W/C	4.8 SQ.M	GROUND FLOOR
STAFF W/C	3.6 SQ.M	GROUND FLOOR
STORAGE/MECH	44.5 SQ.M	GROUND FLOOR
STORAGE	56.5 SQ.M	GROUND FLOOR
JAN. CL.	6.3 SQ.M	SECOND FLOOR
W/C	3.8 SQ.M	SECOND FLOOR
B.F W/C	6.5 SQ.M	SECOND FLOOR
CIRCULATION		
BUILDING LINK	55.5 SQ.M	GROUND FLOOR
LOBBY	117.6 SQ.M	GROUND FLOOR
VESTIBULE	15.4 SQ.M	GROUND FLOOR
EXIT CORRIDOR	3.8 SQ.M	GROUND FLOOR
STAIR A	22.7 SQ.M	GROUND FLOOR
CORRIDOR 01	48.3 SQ.M	GROUND FLOOR
STAIR B	24.2 SQ.M	GROUND FLOOR
CORRIDOR 02	62.4 SQ.M	GROUND FLOOR
CORRIDOR 03	120.2 SQ.M	SECOND FLOOR
STAIR A	22.7 SQ.M	SECOND FLOOR
STAIR B	20.5 SQ.M	SECOND FLOOR
AREA TOTALS		
PRIMARY USE (WORSHIP):	1449.5 SQ.M	[587.7 SQ.M NEW BUILD ONLY]
SECONDARY USE:	1387.5 SQ.M	
SERVICE SPACE:	481.5 SQ.M	
CIRCULATION:	513.3 SQ.M	

01 CONCEPT SITE PLAN
A1.0 SCALE: 1:400

LEGEND

	NEW OVERHEAD DOOR		NEW SIGN, REFER TO SIGN LEGEND		TWO WAY TRAFFIC		MINIMUM SETBACKS (ZONING)
	NEW DOOR / ENTRANCE		FIRE ROUTE SIGN		DEPRESSED CURB (DC)		NEW CONSTRUCTION
	BICYCLE PARKING SPACE (1.8Mx0.6M)		STREET LIGHT		TACTILE WALKING SURFACE INDICATORS (TWSIs)		EXISTING BUILDINGS
	NO PARKING LINES		DESIGNATED ACCESSIBLE PARKING SPACE AS PER AODA STANDARDS		PROPERTY LINE		SOFT LANDSCAPING
	PARKING STALL COUNT PER ROW		VISITOR PARKING		PROPOSED FENCE		CONCRETE SIDEWALK
			COMPACT PARKING SPACES		BUILDING MOUNTED LIGHTS REFER TO ELECTRICAL DWGS		

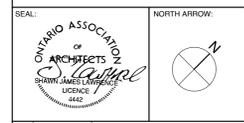


BUILDING AREAS	SQ.M.	SQ.FT.
BUILDING FOOTPRINT	2,507.23m ²	26,987.68m ²
GROUND FLR. GROSS AREA	2,507.23m ²	26,987.68m ²
SECOND FLR. GROSS AREA	708.43m ²	7,625.58m ²
TOTAL GROSS FLR. AREA	3,215.66m ²	34,613.18m ²

CLIENT NAME:
BCCO BRUNSTAD CHRISTIAN CHURCH

NOTES:
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5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

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LANDSCAPE DRAWINGS
V.S. LANDSCAPE GROUP
4888 BANK ST. OTTAWA, ON K1X 1S7
613.774.5298
URBAN PLANNING
D9 PLANNING + DESIGN
43 ECOLES ST UNIT C, OTTAWA, ON K1R 6G3
613.850.8045



No.	DATE	REVISION
22	2025.03.12	ISSUED FOR SPC
19	2024.12.05	ISSUED FOR COORDINATION
18	2024.08.29	ISSUED FOR COORDINATION

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PROJECT:
BCCO CHURCH ADDITION

1901 CENTURY RD W, NORTH GOWER ON

SHEET TITLE:
SITE PLAN

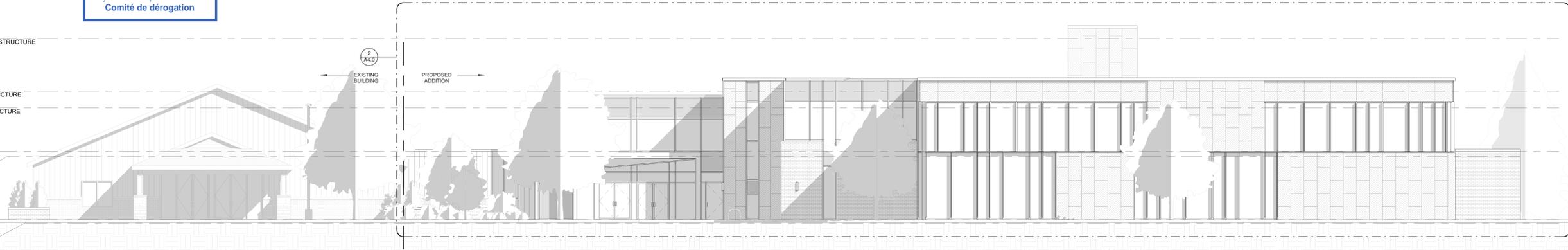
DRAWN BY: D.T. B.L. CHECKED BY: S.J.L.
PLOT DATE: 2025.03.12 PROJECT DATE: 2023.03.15
JOB NUMBER: SL-1090-23 SCALE: 1:400
SHEET NUMBER:

A1.0 PLAN #

APPLICATION #

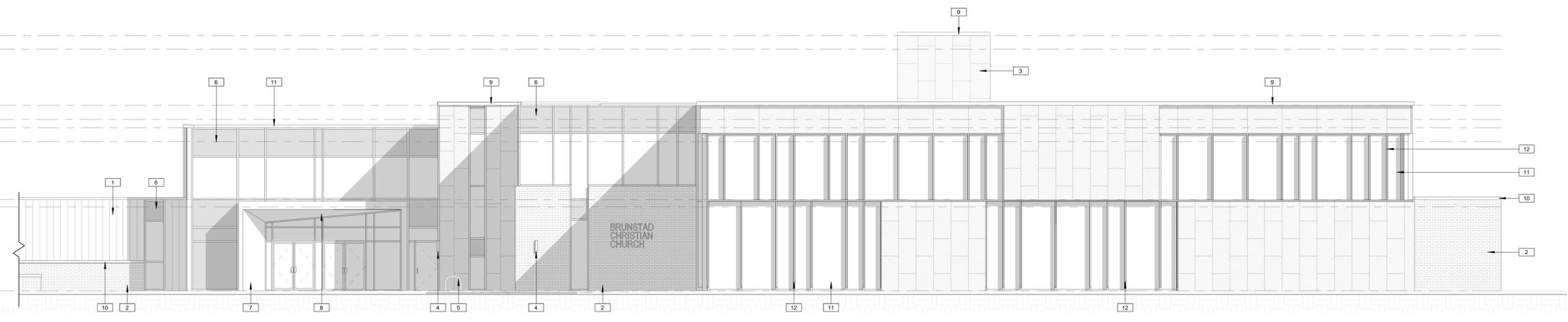
Committee of Adjustment
Received | Reçu le
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- 10516 T/O PENTHOUSE ROOF STRUCTURE
- 7468 T/O HIGHER ROOF STRUCTURE
- 6495 T/O LOWER ROOF STRUCTURE
- 3963 T/O SECOND FLOOR
- 3658 T/O ROOF @ LINK
- 0 T/O GROUND FLR
- 200 T/O GRADE @ FRONT



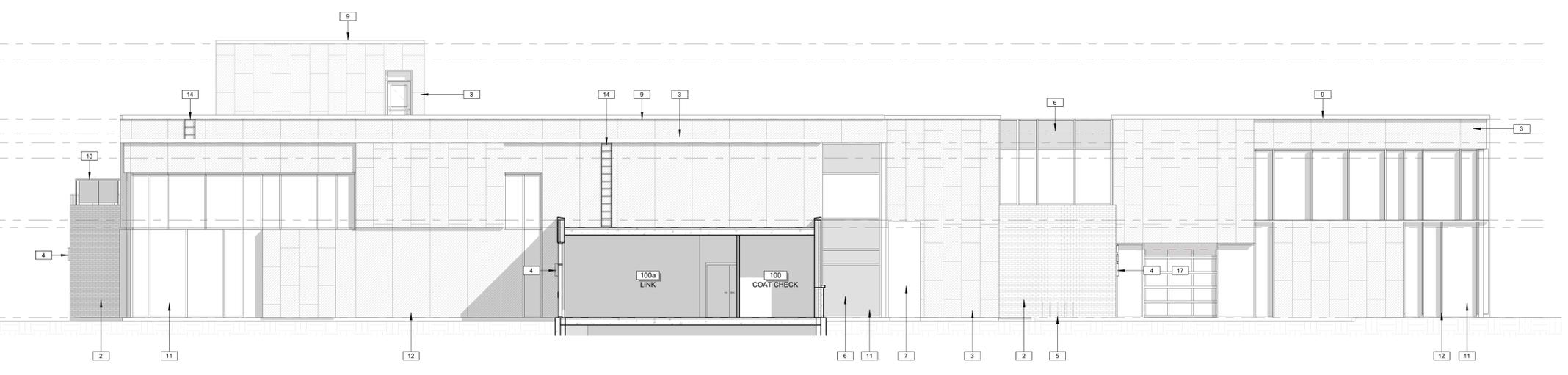
1 SOUTH ELEVATION (EXISTING & PROPOSED)
SCALE 1:125

- 11126 T/O PENTHOUSE PARAPET
- 10516 T/O PENTHOUSE ROOF STRUCTURE
- 8077 T/O HIGHER PARAPET
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- 7105 T/O LOWER PARAPET
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- 0 T/O GROUND FLR



2 SOUTH ELEVATION
SCALE 1:100

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3 WEST ELEVATION
SCALE 1:100

CLIENT NAME
BCCO BRUNSTAD CHRISTIAN CHURCH

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KEYNOTES-ELEVATION

1	VERTICAL SIDING - PATTERN AND COLOUR TBD
2	MASONRY VENEER - PATTERN AND COLOUR TBD
3	ALUMINUM COMPOSITE PANEL (ACM) - COLOUR TBD
4	WALL SCORCE. REFER TO ELECTRICAL
5	BICYCLE PARKING RACKS. REFER TO PLANS
6	SPANDREL PANEL
7	PRECAST CONCRETE CANOPY
8	PROVIDE POT LIGHTS WITHIN US OF PRECAST CANOPY - REFER TO ELECTRICAL
9	PRE-FINISHED METAL FASCIA
10	4" PRECAST CONCRETE SILL
11	STOREFRONT GLAZING
12	PRE-FINISHED METAL DECORATIVE FINIS TO ALIGN WITH STOREFRONT GLAZING MILLIONS - COLOUR AND PATTERN TBD
13	PRE-FINISHED METAL GUARD RAIL (1070mm TALL)
14	GALVANIZED ROOF ACCESS LADDER. PROVIDE P.ENG STAMPED SHOP DWGS FOR REVIEW
15	EXTERIOR LED WALLPACK
16	EXTERIOR PRE-FINISHED STEEL STAIR
17	ALUMINUM/GLASS OVERHEAD DOOR



No.	DATE	REVISION
06	2025.03.12	ISSUED FOR SPC
04	2024.06.18	ISSUED FOR REVIEW
03	2024.01.23	ISSUED FOR REVIEW
02	2023.12.04	ISSUED FOR PRE-CONSULT
01	2023.11.30	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
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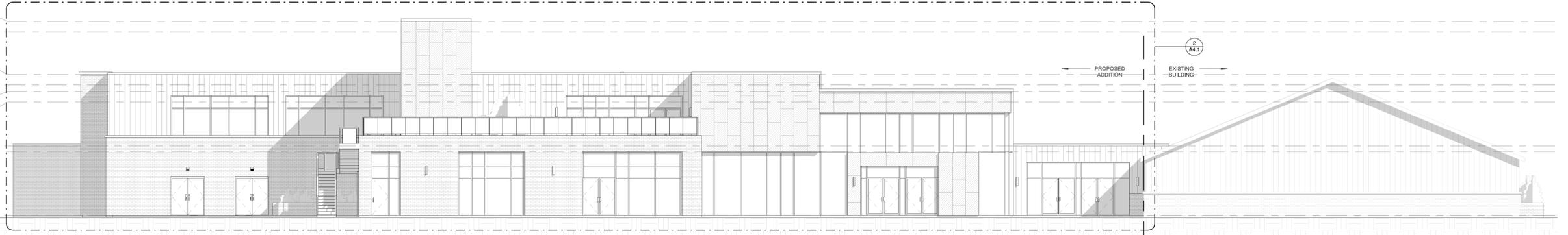
SHEET TITLE:
PROPOSED ELEVATIONS

DRAWN BY: **D.T. B.L.** CHECKED BY: **S.J.L.**
PLOT DATE: **2025-03-12 9:42:54 AM** PROJECT DATE: **2023.03.15**
JOB NUMBER: **SL-1090-23** SCALE: **As Indicated**

A4.0
APPLICATION #

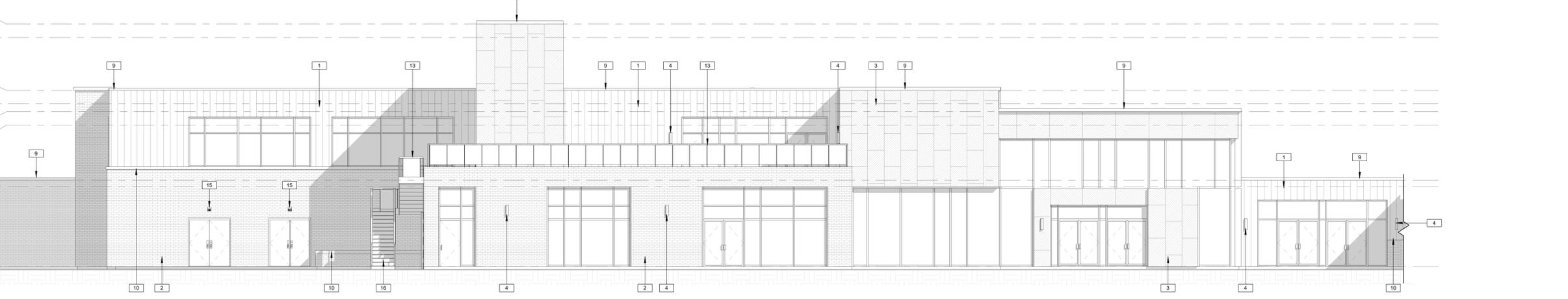
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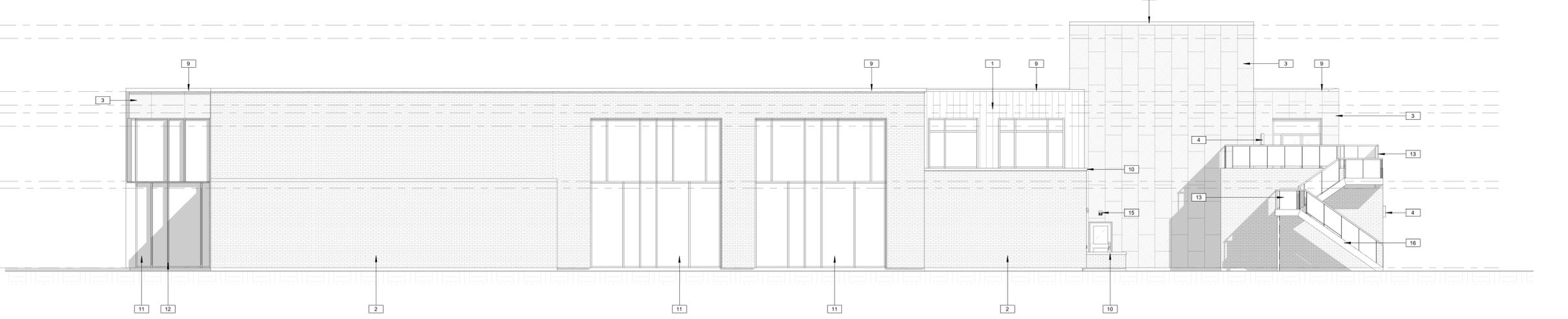
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2 NORTH ELEVATION
SCALE 1:100

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3 EAST ELEVATION
SCALE 1:100

CLIENT NAME
BCCO BRUNSTAD CHRISTIAN CHURCH

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KEYNOTES-ELEVATION

1	VERTICAL SIDING - PATTERN AND COLOUR TBD
2	MASONRY VENEER - PATTERN AND COLOUR TBD
3	ALUMINUM COMPOSITE PANEL (ACM) - COLOUR TBD
4	WALL SOUNDC - REFER TO ELECTRICAL
5	BICYCLE PARKING RACKS, REFER TO PLANS
6	SPANDREL PANEL
7	PRECAST CONCRETE CANOPY
8	PROVIDE POT LIGHTS WITHIN UIS OF PRECAST CANOPY - REFER TO ELECTRICAL
9	PRE-FINISHED METAL FASCIA
10	4" PRECAST CONCRETE SILL
11	STOREFRONT GLAZING
12	PRE-FINISHED METAL DECORATIVE FINIS TO ALIGN WITH STOREFRONT GLAZING MULLIONS - COLOUR AND PATTERN TBD
13	PRE-FINISHED METAL GUARD RAIL (1070mm TALL)
14	GALVANIZED ROOF ACCESS LADDER PROVIDE F. ENG STAMPED SHOP DWGS FOR REVIEW
15	EXTERIOR LED WALLPACK
16	EXTERIOR PRE-FINISHED STEEL STAIR
17	ALUMINUM/GLASS OVERHEAD DOOR

SEAL OF THE ONTARIO ASSOCIATION OF ARCHITECTS

NORTH ARROW:

No.	DATE	REVISION
06	2025.03.12	ISSUED FOR SPC
04	2024.06.18	ISSUED FOR REVIEW
03	2024.01.23	ISSUED FOR REVIEW
02	2023.12.04	ISSUED FOR PRE-CONSULT
01	2023.11.30	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
18 DEAKIN STREET SUITE 200 OTTAWA, ONTARIO K2E 8B7
T: (613) 739-7770 F: (613) 739-7703 e: sj@slarchitect.com

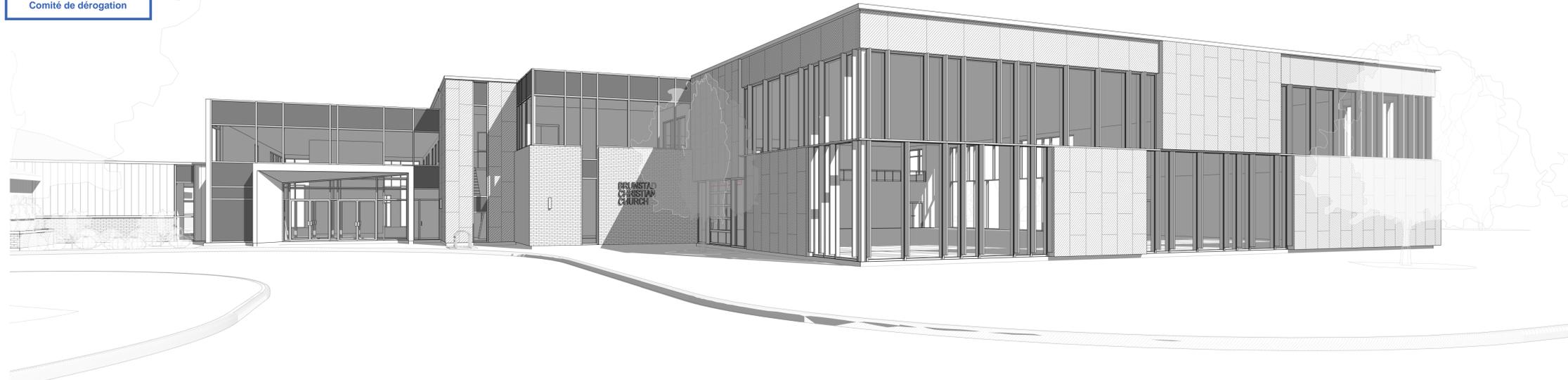
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PROJECT:
BCCO CHURCH ADDITION
1981 CENTURY RD W, NORTH GOWER, ON
SHEET TITLE:
PROPOSED ELEVATIONS

DRAWN BY: D.T. B.L. CHECKED BY: S.J.L.
PLOT DATE: 2025-03-12 9:42:58 AM PROJECT DATE: 2023.03.15
JOB NUMBER: SL-1090-23 SCALE: As Indicated

A4.1
APPLICATION #

Committee of Adjustment
Received | Reçu le
2025-04-02
City of Ottawa | Ville d'Ottawa
Comité de dérogation



1 3D PERSPECTIVE 01 (FRONT ELEVATION)
A4.2 SCALE



2 3D PERSPECTIVE 02 (FRONT ELEVATION)
A4.2 SCALE



3 3D PERSPECTIVE 03 (REAR ELEVATION)
A4.2 SCALE

CLIENT NAME:
BCCO BRUNSTAD CHRISTIAN CHURCH

NOTES:
1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
3) DO NOT SCALE DRAWINGS.
4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



No.	DATE	REVISION
06	2025.03.12	ISSUED FOR SPIC
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PROJECT:
BCCO CHURCH ADDITION
1981 CENTURY RD W, NORTH GOWER, ON

SHEET TITLE:
PERSPECTIVES

DRAWN BY: D.T. B.L. CHECKED BY: S.J.L.
PLOT DATE: 2025-03-12 9:43:06 AM PROJECT DATE: 2023.03.15
JOB NUMBER: SL-1090-23 SCALE: