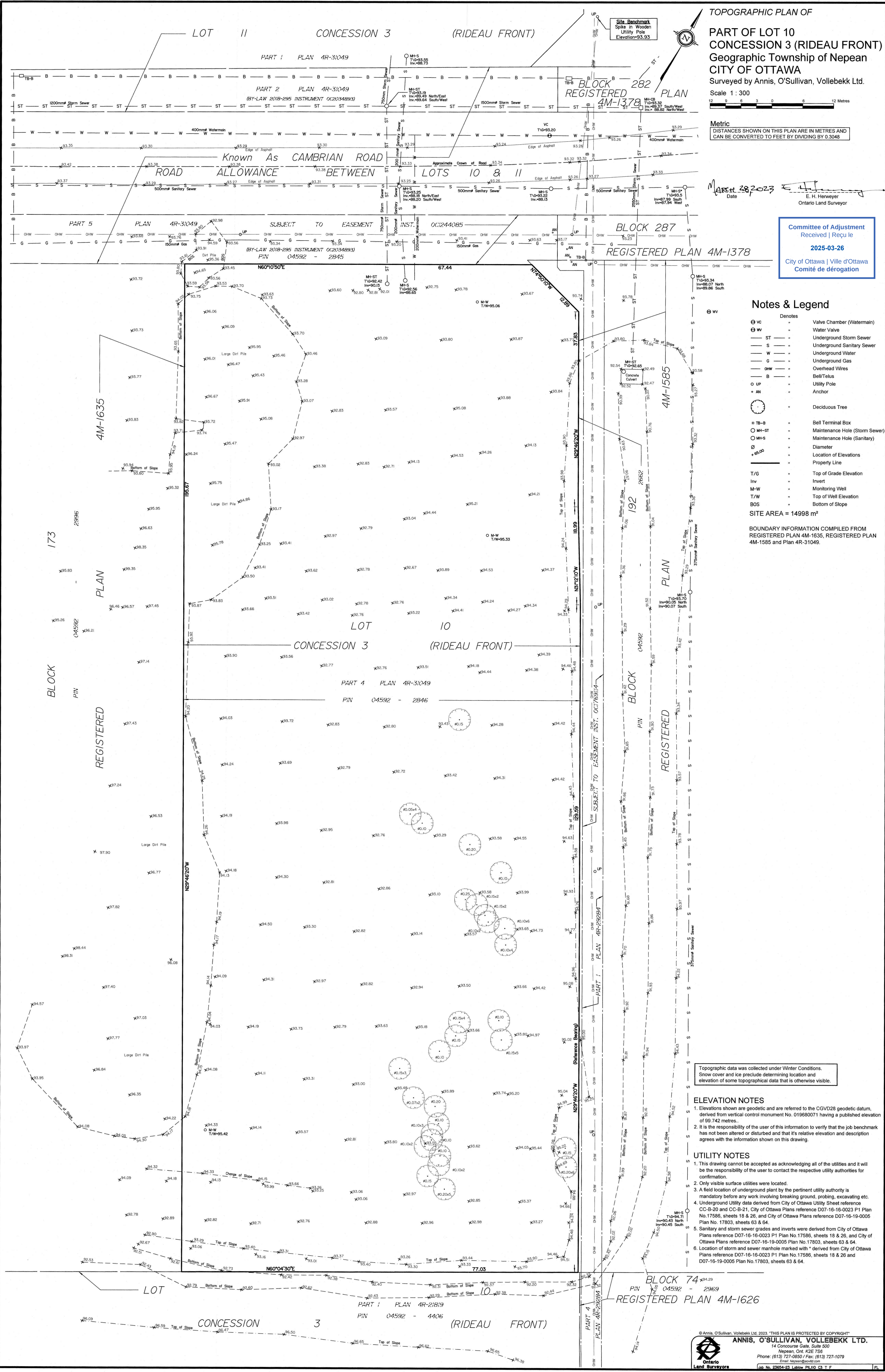




TOPOGRAPHIC PLAN OF
PART OF LOT 10
CONCESSION 3 (RIDEAU FRONT)
Geographic Township of Nepean
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.
Scale 1 : 300
Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

March 28, 2023
Date
E. H. Henveyer
Ontario Land Surveyor

Committee of Adjustment
Received | Reçu le
2025-03-26
City of Ottawa | Ville d'Ottawa
Comité de dérogation

- Notes & Legend
- | Denotes | |
|---------|--------------------------------|
| VC | Valve Chamber (Watermain) |
| WV | Water Valve |
| ST | Underground Storm Sewer |
| S | Underground Sanitary Sewer |
| W | Underground Water |
| G | Underground Gas |
| OW | Overhead Wires |
| B | Bell/Telus |
| UP | Utility Pole |
| AN | Anchor |
| | Deciduous Tree |
| TB-B | Bell Terminal Box |
| MH-ST | Maintenance Hole (Storm Sewer) |
| MH-S | Maintenance Hole (Sanitary) |
| Ø | Diameter |
| + 65.00 | Location of Elevations |
| | Property Line |
| T/G | Top of Grade Elevation |
| Inv | Invert |
| M-W | Monitoring Well |
| T/W | Top of Well Elevation |
| BOS | Bottom of Slope |
- SITE AREA = 14998 m²
- BOUNDARY INFORMATION COMPILED FROM
REGISTERED PLAN 4M-1635, REGISTERED PLAN
4M-1585 and Plan 4R-31049.

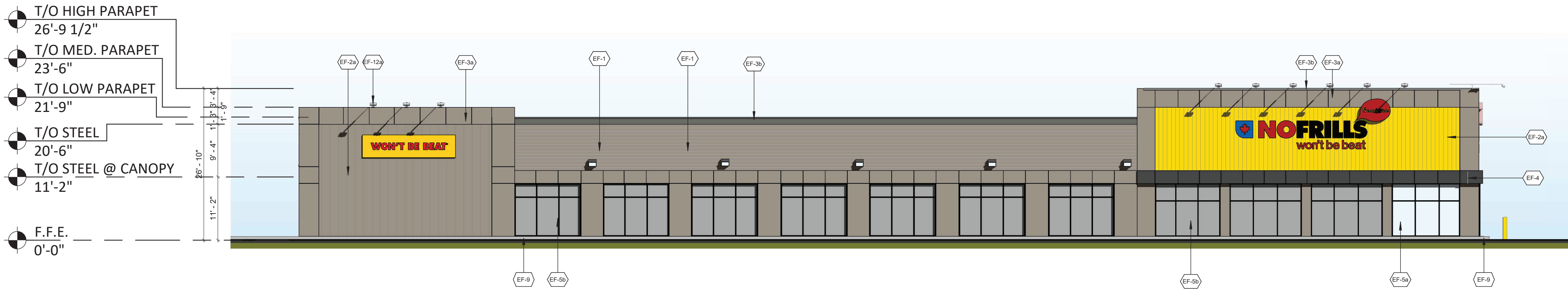
Topographic data was collected under Winter Conditions.
Snow cover and ice preclude determining location and
elevation of some topographical data that is otherwise visible.

- ELEVATION NOTES
- Elevations shown are geodetic and are referred to the CGVD28 geodetic datum, derived from vertical control monument No. 019680071 having a published elevation of 99.742 metres.
 - It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that it's relative elevation and description agrees with the information shown on this drawing.

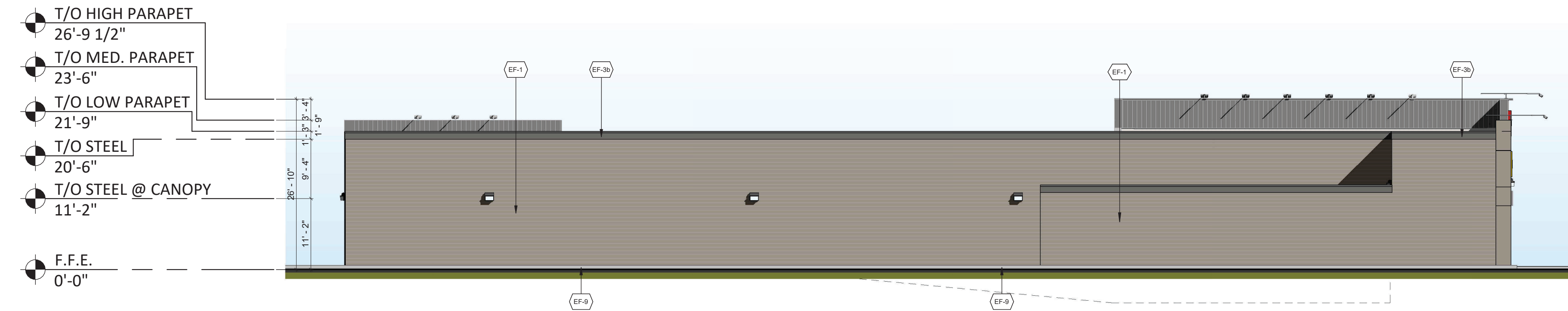
- UTILITY NOTES
- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
 - Only visible surface utilities were located.
 - A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.
 - Underground Utility data derived from City of Ottawa Utility Sheet reference CC-B-20 and CC-B-21, City of Ottawa Plans reference D07-16-16-0023 P1 Plan No. 17586, sheets 18 & 26, and City of Ottawa Plans reference D07-16-19-0005 Plan No. 17803, sheets 63 & 64.
 - Sanitary and storm sewer grades and inverts were derived from City of Ottawa Plans reference D07-16-16-0023 P1 Plan No. 17586, sheets 18 & 26, and City of Ottawa Plans reference D07-16-19-0005 Plan No. 17803, sheets 63 & 64.
 - Location of storm and sewer manhole marked with * derived from City of Ottawa Plans reference D07-16-16-0023 P1 Plan No. 17586, sheets 18 & 26 and D07-16-19-0005 Plan No. 17803, sheets 63 & 64.



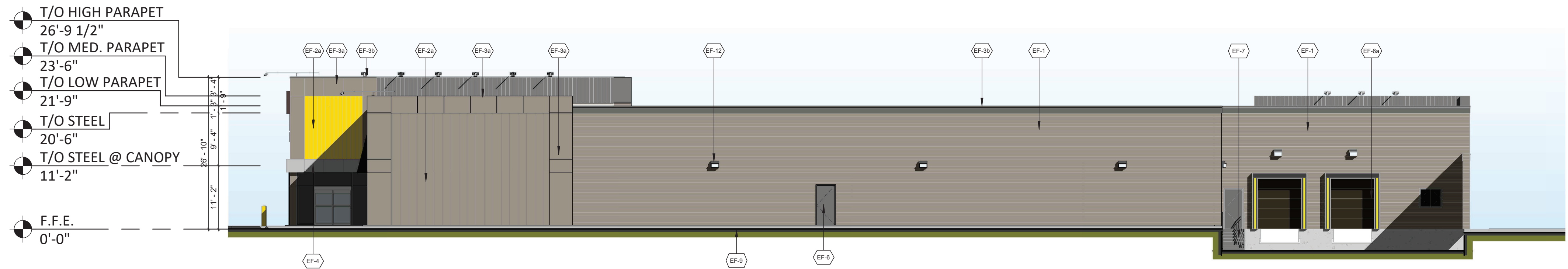
4 NORTH ELEVATION
A301 1 : 150



3 EAST ELEVATION
A301 1 : 150



2 SOUTH ELEVATION
A301 1 : 150



1 WEST ELEVATION
A301 1 : 150

Name of Practice:		Name of Project:				Building Code Reference
Turner Fleischer Architects Inc.		Cambrian BIDG A				
67 Lesmill Road, Toronto, ON M3B 2T8						
contact information here. (PM)						
Date:		Location:				
4/28/2023		Cambrian road, South parcel				
Ontario Building Code Data Matrix						
Part 3						
3.00	Building Code Version:	O_Reg. 332/12		Last Amendment O_Reg. 191/14		
3.01	Project Type:	☒ New ☐ Additional ☐ Renovation ☐ Change of use ☐ Addition and renovation Description: <u>New Retail Building</u>				[A] 1.1.2.
3.02	Major Occupancy Classification:	Occupancy Use E Mercantile				3.1.2.1(1)
3.03	Superimposed Major Occupancies:	☒ No ☐ Yes				3.2.2.7
3.04	Building Area (m²)	Description:		Existing	New	Total
		Food store		0	3205	3205
				Total	0	3205
3.05	Gross Area (m²)	Description:		Existing	New	Total
		first floor		0	3205	3205
				Total	0	3205
3.06	Mezzanine Area (m²)	Description:		Existing	New	Total
		first floor mezzanine		0	241	241
				Total	0	241
3.07	Building Height	1 Storeys above grade		7.5 (m) Above grade		[A] 1.4.1.2. & 3.2.1.1.
		0 Storeys below grade				3.2.1.1.
3.08	High Building	☒ No ☐ Yes				3.2.6
3.09	Number of Streets/ Firefighter access	3 street(s)				3.2.2.10. & 3.2.5.
3.10	Building Classification: (Size and Construction Relative to Occupancy)	3.2.2.60 Group /Div Group E, up to 3 Storeys, Sprinklered				3.2.2.60
3.11	Sprinkler System	☒ Required ☐ Not Required Proposed: ☒ Entire building ☐ Selected compartments ☐ Selected floor areas ☐ Basement ☐ In lieu of roof rating ☐ None				3.2.1.5. & 3.2.2.17.
3.12	Standpipe System	☐ Required ☒ Not Required				3.2.9.
3.13	Fire Alarm System	☒ Required ☐ Not Required Proposed: ☐ Single Stage ☐ Two Stage ☐ None				3.2.4.
3.14	Water Service/ Supply is Adequate	☐ No ☒ Yes				
3.15	Construction Type:	Restriction: ☒ Combustible permitted ☐ Non-combustible required Actual: ☒ Combustible ☐ Non-combustible ☐ Combination Heavy Timber Construction: ☒ No ☐ Yes				3.2.2.60 3.2.1.4.0

EXTERIOR FINISH SCHEDULE			
EF-1	HORIZONTAL METAL SIDING: - PREPAINTED GALVANIZED SHEET STEEL SIDING - VICWEST 24ga. CL602SSR - COLOUR: DURANAR SEAWOLF CAP FLASHING/ CORNICE - PAINT STONE GREY	EF-5a	CART STORAGE GLAZING & FRAMES - 6mm GLAZING IN BLACK ANODIZED (KAWNEER FINISH NO. 29) ALUMINUM FRAMES - ALUMINUM FRAMES: ARCHITECTURAL CLASS I (7 mils MINIMUM), ALUMINUM ASSOCIATION SPECIFICATION: AA-M10C22A44 - PROVIDE TEMPERED GLAZING ON LOWER PANELS
EF-2	VERTICAL METAL SIDING - PREPAINTED GALVANIZED SHEET STEEL SIDING - VICWEST 24ga. CL602SSR - COLOUR TO MATCH NO FRILLS YELLOW - ARM995 - SWOOSH YELLOW	EF-5b	SPANDREL PANEL & FRAMES - INKAN CUSTOM OPACICOATE FINISH OPACI-COAT-300 # 3-967 (BLACK GREY) ON INTERIOR FACE OF PANE WITH 22 GAUGE GALVANIZED METAL AND INSULATION BACKPAN - BLACK ANODIZED (KAWNEER FINISH NO. 29), THERMALLY BROKEN ALUMINUM FRAMES - ALUMINUM FRAMES: ARCHITECTURAL CLASS I (7 mils MINIMUM), ALUMINUM ASSOCIATION SPECIFICATION: AA-M10C22A44
EF-2a	VERTICAL METAL SIDING - PREPAINTED GALVANIZED SHEET STEEL SIDING - VICWEST 24ga. CL602SSR - COLOUR: STONE GREY	EF-6	MISCELLANEOUS DOORS & OPENINGS - PAINT BLACK (PT4-SICO 922.180)
EF-3a	CONTINUOUS CORNICE & HIGH PARAPET CORNICE CAP FLASHING - PREFINISHED METAL PANEL 1/8" THICK ALUMINUM - BENT TO PROFILE AS INDICATED WITH BUTT JOINT BETWEEN PANELS - PANELS TO BE FIXED TO HORIZONTAL METAL SIDING REFER TO DETAIL 3/A8.1 - PPG DURANAR FINISH UC109855 - COLOUR: STONE GREY CAP FLASHING: - 24 GAUGE PREPAINTED GALVANIZED STEEL SHEET BRAKE - FORMED AS REQUIRED TO SUIT PROFILE AS INDICATED ON DRAWINGS - COLOUR: STONE GREY	EF-6a	OVERHEAD DOORS - PREFINISHED STANDARD WHITE
EF-3b	CART STORAGE FASCIA - PPG DURANAR FINISH UC40577/ 5MB86928 - COLOUR: BLACK- CLASSIC	EF-6b	GLAZED ALUMINUM DOOR - 6mm GLAZING IN BLACK ANODIZED (KAWNEER FINISH NO. 29), ALUMINUM FRAMES (TO MATCH GLAZING SYSTEM) - ALUMINUM FRAMES: ARCHITECTURAL CLASS I (7 mils MINIMUM), ALUMINUM ASSOCIATION SPECIFICATION: AA-M10C22A44
EF-4	PREFINISHED ALUMINUM COMPOSITE PANEL - PREFINISHED PANEL 1/8" THICK ALUMINUM - BENT TO PROFILE AS INDICATED WITH BUTT JOINT BETWEEN PANELS - COLOUR: ALPOLIC TOB BLACK	EF-7	EXTERIOR STAIRS, HANDRAILS, PICKETS & STRINGER - PAINT BLACK (PT4-SICO 922.180)
EF-5	STOREFRONT GLAZING & FRAMES - 6mm INSULATED GLAZING IN BLACK ANODIZED (KAWNEER FINISH NO. 29), THERMALLY BROKEN ALUMINUM FRAMES - ALUMINUM FRAMES: ARCHITECTURAL CLASS I (7 mils MINIMUM), ALUMINUM ASSOCIATION SPECIFICATION: AA-M10C22A44 - PROVIDE SOLARBAN 60 ON CLEAR GLASS. PROVIDE TEMPERED GLAZING ON LOWER PANELS	EF-8	BUILDING PROTECTION BOLLARD - STEEL PIPE BOLLARD FILLED WITH CONCRETE - PAINTED SAFETY YELLOW - REFER TO DETAIL C-05 AND C-06
		EF-9	CONCRETE FOUNDATION CURB

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on the job and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be used. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

Committee of Adjustment
Received | Reçu le

2025-03-26

City of Ottawa | Ville d'Ottawa
Comité de dérogation

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be used for any other purpose without the written consent of Turner Fleischer Architects Inc. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "for Construction" must assume full responsibility and bear costs for any corrections or damage resulting from his work.

The site plan prepared by Turner Fleischer is based on a legal survey showing the boundaries of the lands together with the current location of any existing buildings, features or encroachment prepared by Annis, O'Halloran, Voloshin LTD., dated 2023-03-28 as provided by Urban Companies Limited.

LEGAL DESCRIPTION

TOPOGRAPHIC PLAN OF PART OF LOT 10
CONCESSION 3 (RIDEAU FRONT)
GEOGRAPHIC TOWNSHIP OF NEPEAN
CITY OF OTTAWA

STATISTICS

SITE AREA	±3.64 ACRES	±1.47 HA.
PROPOSED BUILDING A AREA	±28,000 S.F.	±2,601 S.M.
MEZZANINE AREA	±1,920 S.F.	±178 S.M.
TOTAL BUILDING A AREA	±29,920 S.F.	±2,779 S.M.
PROPOSED BUILDING B AREA	±5,430 S.F.	±505 S.M.
PROPOSED MIE ROOM	±150 S.F.	±14 S.M.
TOTAL BUILDING B AREA	±5,580 S.F.	±519 S.M.
TOTAL GROSS FLOOR AREA	±35,500 S.F.	±3,298 S.M.
TOTAL BUILDING AREA	±37,570 S.F.	±3,490 S.M.
TOTAL PARKING PROVIDED	177 CARS	5.36/1000 S.M.
COVERAGE	22.36 %	

LEGEND

- PROPOSED BUILDING
- PROPOSED ENTRANCE ARROW
- PROPOSED CONCRETE SIDEWALK
- PROPOSED FIRE & TRUCK ROUTE (HEAVY DUTY ASPHALT)
- PROPOSED PCX PARKING
- PROPOSED EV PARKING
- PROPOSED TRANSFORMER
- EXTENT OF RIGHT OF WAY (R.O.W.)

19	2025-03-07	ISSUED FOR SPA	GEA
17	2024-04-03	ISSUED FOR SPA	FPI
12	2023-10-25	ISSUED FOR SPA	FPI
#	DATE	DESCRIPTION	BY

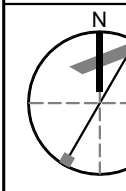
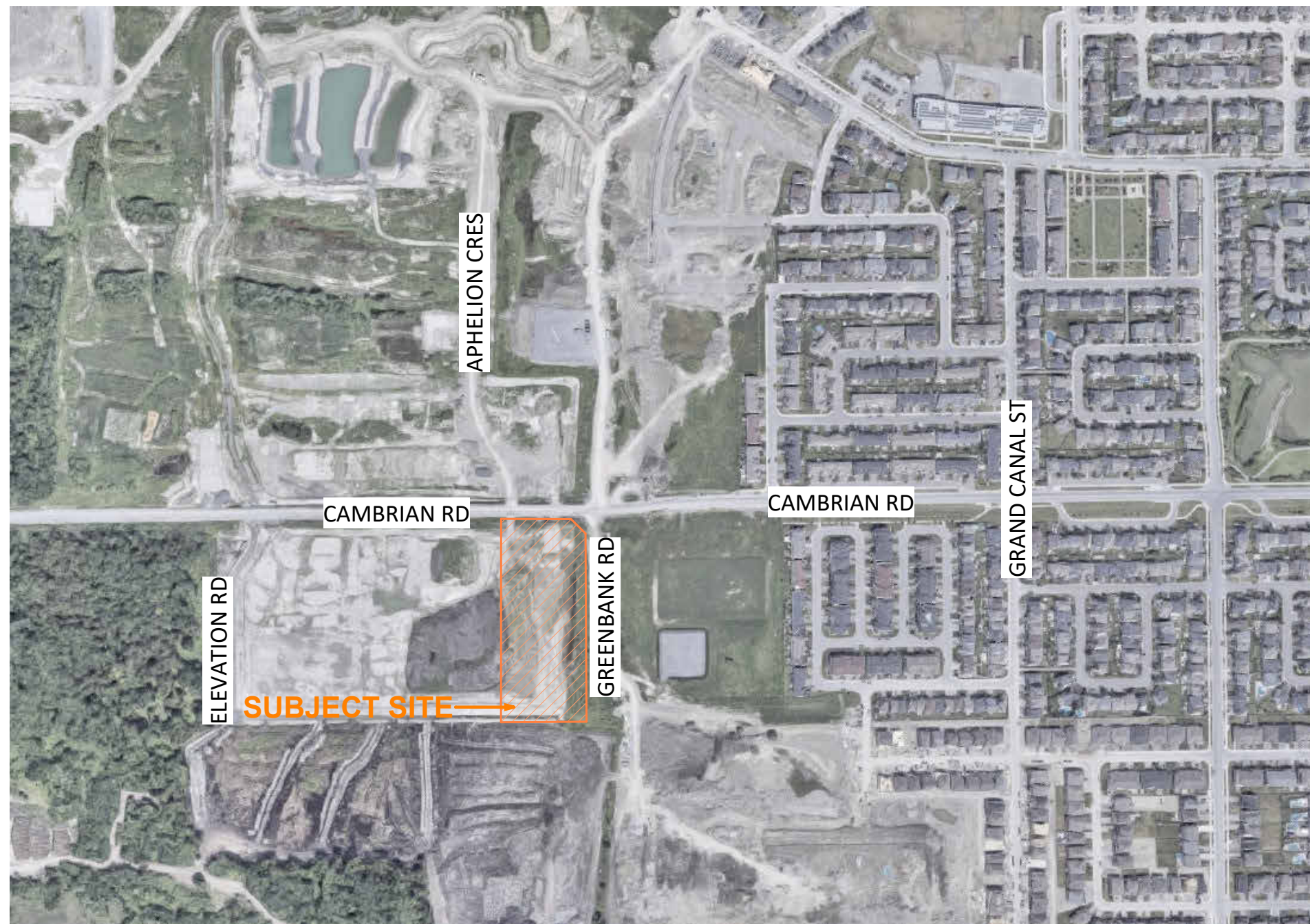
**Loblaw
Companies
Limited**PROJECT
PROPOSED NO FRILLS

CAMBRIAN RD (S. PARCEL)

BARRHAVEN, ONTARIO

DRAWING
SITE PLAN

PROJECT NO.	21.326SD
PROJECT DATE	2025-03-07
DRAWN BY	GEA
CHECKED BY	RCH
SCALE	1:400

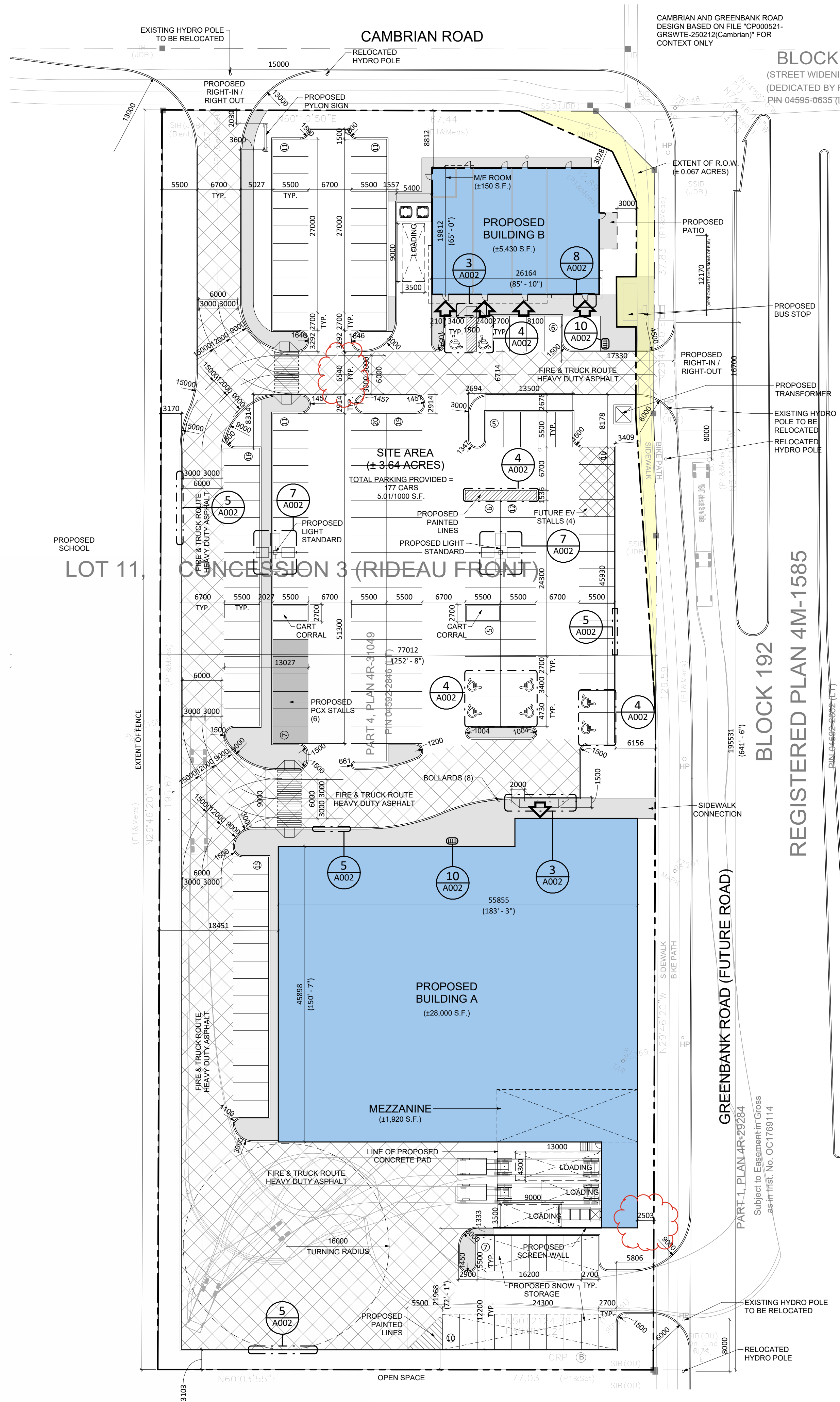
DRAWING NO.
A001

2
A001

CONTEXT PLAN
N.T.S.

ZONING COMPLIANCE CHART - ZONING: GM[1628]

	REQUIRED	PROPOSED
Minimum Lot Width (m)	N/A	77.02 m
Minimum Lot Area (acres)	N/A	3.66 acres
Minimum Front Yard Setback (Cambrian Rd) (m)	3 m	8.81 m
Minimum Rear Yard Setback (m)	7.5 m (from any portion of a rear lot line abutting a residential zone)	21.96 m
Minimum Interior Side Yard Setback (m)	5 m (for a non-residential or mixed-use building, from any portion of lot line abutting a residential zone)	18.45 m West 2.50 m East
Maximum Height (m)	18 m	7.48 m / 1 storey
Maximum Floor Space Index	N/A	0.30
Minimum Parking Dimensions (m)	2.6m x 5.2m	2.7m x 5.5m
Minimum Parking required (3.6 per 100 s.m. of total GFA)	163 spaces	177 spaces
Minimum Bicycle Parking required (1 per 500 s.m. of GFA)	9 spaces	10 spaces
Loading spaces (for up to 4999 s.m. of GFA)	1 standard space (3.5x9x4.2 m) 1 oversized space (4.3x13x4.2 m)	2 standard spaces 3 oversized space
Minimum Drive Aisle Width (parking angle at 90 degrees) (m)	6.7 m	6.7 m



1
A001

SITE PLAN
1:400