



JOB BENCHMARK No. 1
TOP OF SPINDLE
Elev.=74.53

JOB BENCHMARK No. 2
FIRE HYDRANT
in front of 212 Woodroffe Avenue
TOP OF SPINDLE
Elev.=74.22

ELEVATION NOTES

1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES

1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.
4. Underground inverts are derived from City of Ottawa, Engineering Dept. - Sewer Branch, Drawing No.K-12-c.

SURVEYOR'S REAL PROPERTY REPORT

PART 1 Plan of
LOT 544
REGISTERED PLAN 352
CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebek Ltd.



Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate

- I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
 2. The survey was completed on the 28th day of June, 2024.

July 18, 2024
Date

V. Andrew Shelp
V. Andrew Shelp
Ontario Land Surveyor

PART 2
THIS PLAN MUST BE READ IN CONJUNCTION WITH
SURVEY REPORT DATED: JULY 18, 2024

ANNIS, O'SULLIVAN, VOLLEBEK LTD. grants to
Landris Homes (The Client), their solicitors,
mortgagees, and other related parties, permission to use original, signed, sealed
copies of the Surveyor's Real Property Report in transactions involving The Client.

Notes & Legend

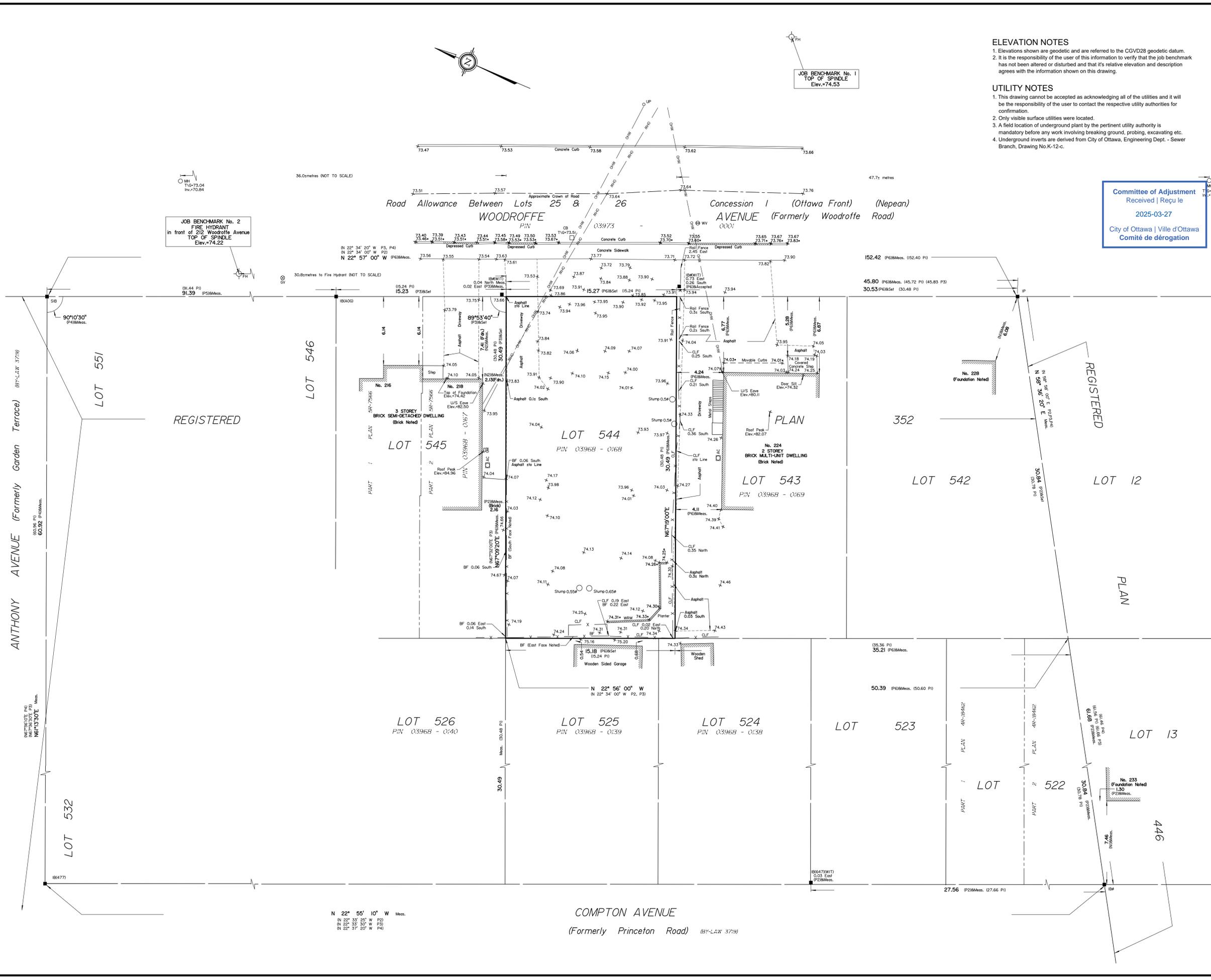
Denotes	
—○—	Survey Monument Planted
—■—	Survey Monument Found
SIB	Standard Iron Bar
SSIB	Short Standard Iron Bar
IB	Iron Bar
IB#	Round Iron Bar
IP	Iron Pipe
(WIT)	Witness
Meas.	Measured
(AOG)	Annis, O'Sullivan, Vollebek Ltd.
(P1)	Registered Plan 352
(P2)	Plan 4R-18482
(P3)	Plan 5R-7566
(P4)	Plan 5R-11881
(P5)	(AOG) Plan April 26, 1985
(P6)	(AOG) Plan July 15, 2021
(N1)	(632) Field Notes August 24, 1955
(N2)	(AOG) Field Notes December 13, 1982 (Ref. 352-4)
○ FH	Fire Hydrant
○ MH	Maintenance Hole (Unidentified)
○ GV	Gas Valve
— OHW —	Overhead Wires
□ CB	Catch Basin
□ GM	Gas Meter
— CLF —	Chain Link Fence
— BF —	Board Fence
Fdn.	Foundation
U/S	Underside
□ AC	Air Conditioner
+ 65.00	Location of Elevations
+ 65.00'	Top of Concrete Curb / Wall Elevations
C/L	Centreline
— PL —	Property Line
T/G	Top of Grate
Inv.	Invert
○	Deciduous Tree
○ W	Water Valve
WRW	Wooden Retaining Wall

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations and are referenced to MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

For comparison purposes, bearings shown on Plans P2, P3, P4 are astronomic bearings.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-84230

THIS PLAN IS NOT VALID UNLESS
IT IS AN ENCLOSED ORIGINAL
COPY ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29 (3).



Committee of Adjustment
Received | Reçu le
2025-03-27
City of Ottawa | Ville d'Ottawa
Comité de dérogation

N 22° 55' 10" W Meas.
N 22° 22' 33" 25" W P2
N 22° 23' 25" W P3
N 22° 37' 25" W P4

COMPTON AVENUE
(Formerly Princeton Road) (BY-LAW 37/9)

zoningmechanism	required	proposed	notes
Minimum lot width	22.00 m	15.25 m	variance required
Minimum lot area	660.00 m ²	464.13 m ²	variance required
Maximum building height	11.00 m	10.96 m	
Minimum front yard setback	6.00 m	4.89 m	variance required
Minimum rear yard setback	8.54 m	8.54 m	(30.49 m x 0.28)
28% of lot depth			
Minimum interior side yard setback 1.5m within 2.1m from front prop. Line, & otherwise	1.50 / 6.00 m	1.50 / 1.50 m	variance required for the last 0.95m
Minimum no. of bike parking spaces	4.00	8.00	
Mn. habitable floor area (main floor)	40.00 m ²	36.40 m ²	variance required
Mn. habitable floor area (second floor)	40.00 m ²	41.90 m ²	
Mn. % front yard soft landscaping	40.00	57.64	
Mn. % rear yard soft landscaping	15.00	57.16	
Mn. rear yard area	116.03 m ²	129.98 m ²	

Committee of Adjustment
Received | Reçu le
Revised | Modifié le : 2025-04-04
City of Ottawa | Ville d'Ottawa
Comité de dérogation

Client :
Landric Homes
63 Chemin de Montreal E.,
Gatineau, QC J8M 1K3
613-216-3413

Mechanical + Electrical Engineer :
QM&E Engineering Ltd.
9 Gurdwara Road, suite 200,
Ottawa, ON K2E 7X6
613-366-4763

Structural Engineer :
Goodeve Structural Inc.
77 Auriga Drive,
Nepean, ON K2E 7Z7
613-226-4558

Planner :
P H Robinson Consulting
100 Palomino Drive,
Ottawa, ON K2M 1N3
613-599-9216

rev. / issue	description	date
08	Issued for minor variance application revision	03 April 2025
07	Issued for minor variance application	23 Jan. 2025
06	Issued for building permit	29 Dec. 2024
05	Issued for final review	17 Dec. 2024
04	Issued for planning consultant review	03 Sep. 2024
03	Issued for team coordination	22 July 2024

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

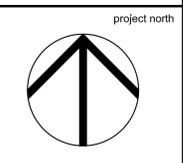
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND PROMPTLY REPORT ALL ERRORS AND/OR OMISSIONS TO THE CONSULTANT BEFORE WORK COMMENCES.

ALL WORK IS TO FOLLOW THE OBC 2012 AND ANY OTHER APPLICABLE CODES AND REGULATIONS.

DO NOT SCALE DRAWINGS.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS A BUILDING PERMIT IN RESPECT OF THIS PROJECT HAS BEEN GRANTED BY AUTHORITIES AND THEY ARE ISSUED FOR CONSTRUCTION.

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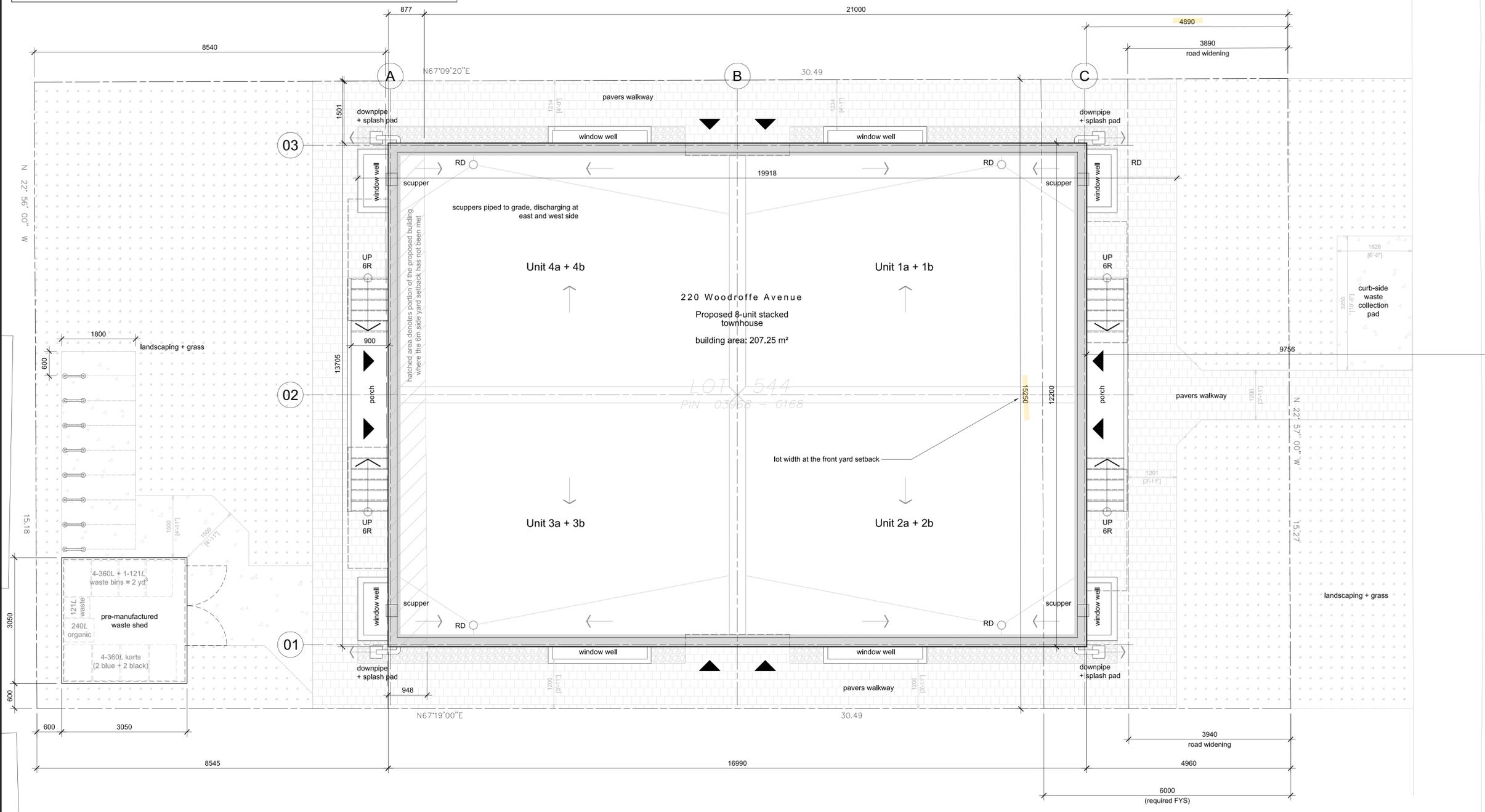
340 gladstone ave. | suite 301 | ottawa | on
613-234-8883 info@openplan.ca

project
**220 Woodroffe Avenue
Stacked Towns
Ottawa**

drawing
Site plan

drawn	KDB	date	MARCH_2024
approved	KDB	revision	1
project no.	2404	scale	1 to 75

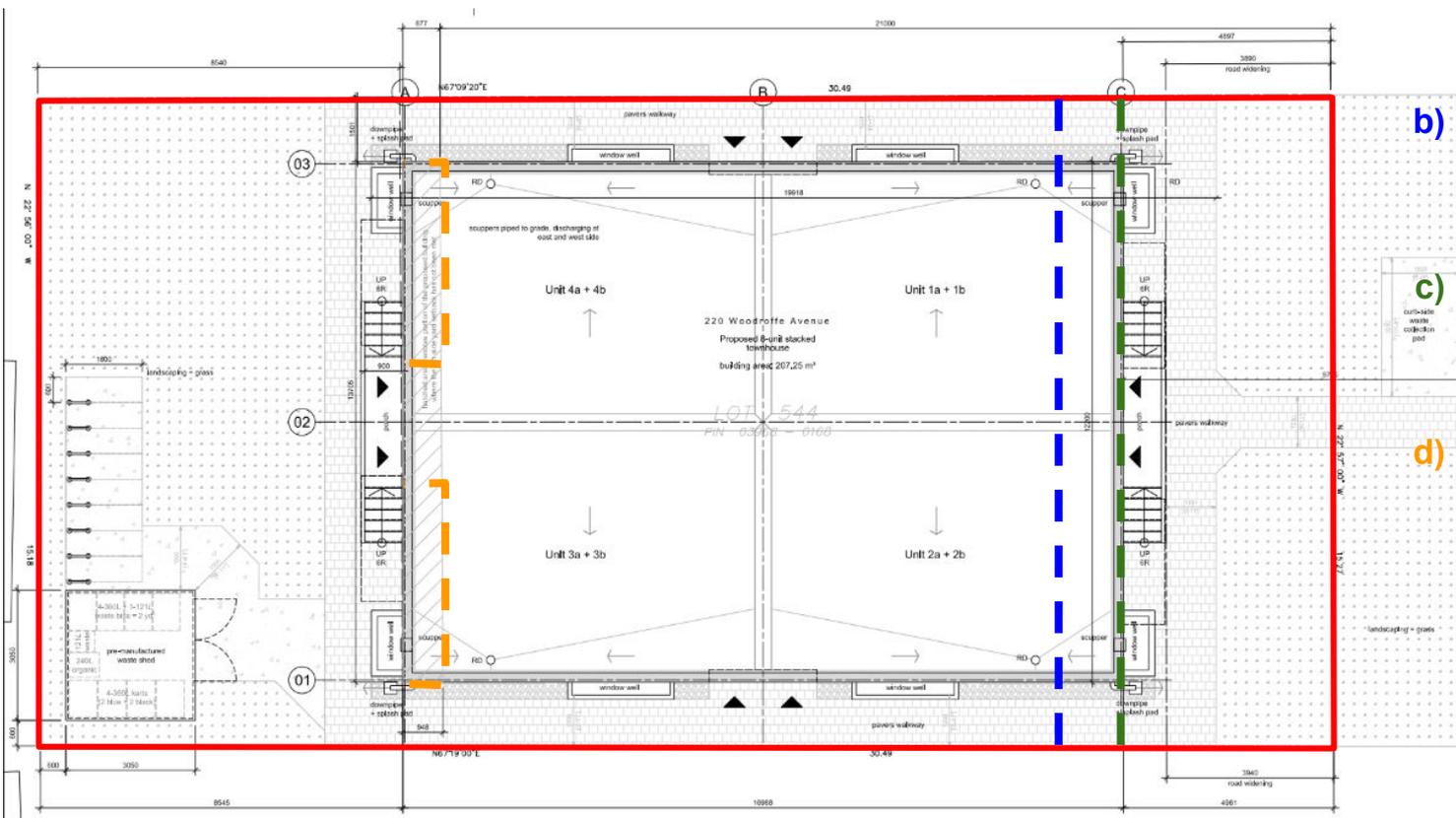
drawing no. **A001**



218 Woodroffe

224 Woodroffe

Woodroffe Ave

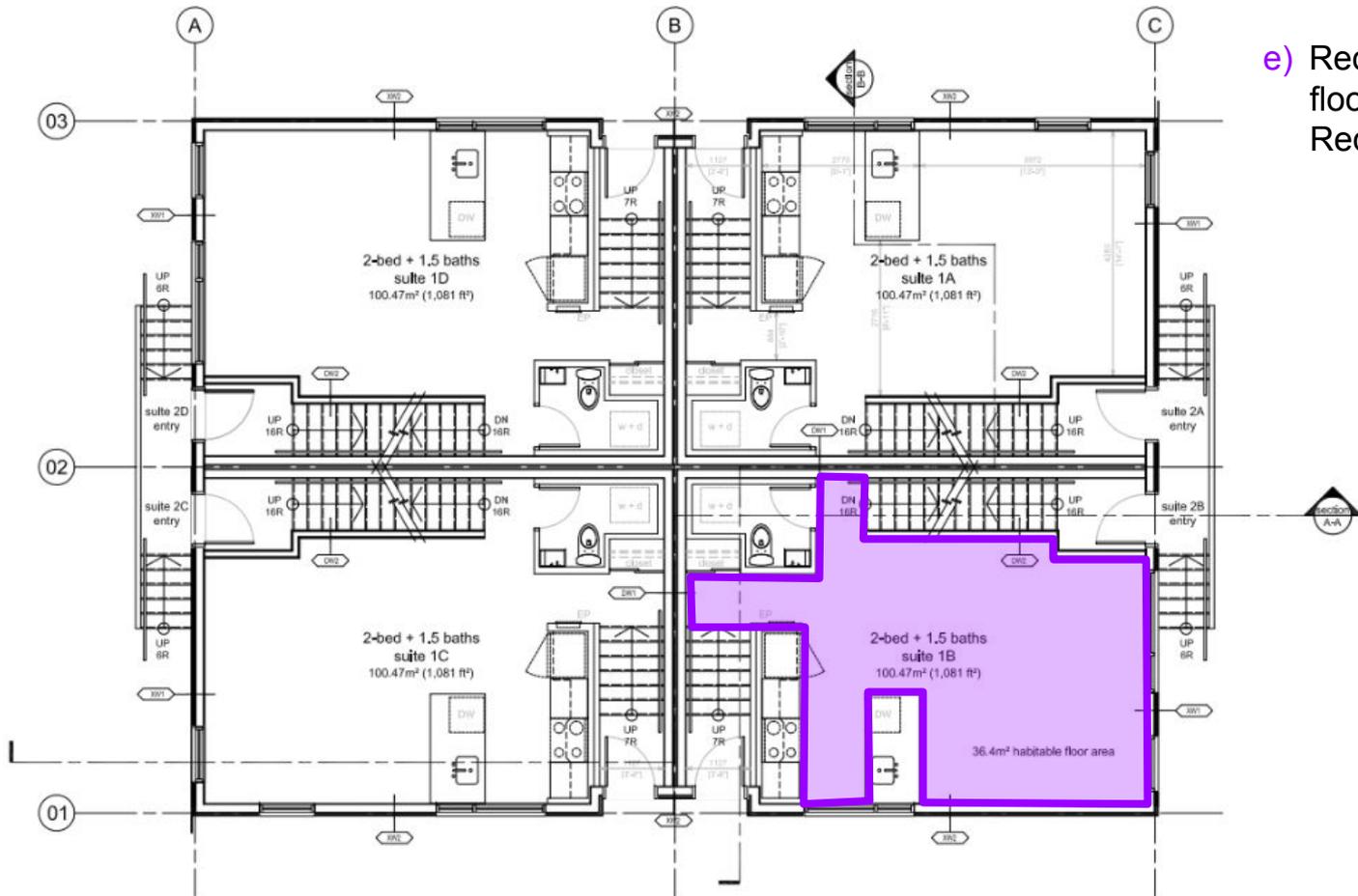


a) Reduced lot area of 464.13 m².
 Required: 660 m²

b) Reduced lot width of 15.25 m.
 Required: 22 m

c) Reduced front yard setback of 4.89 m.
 Required: 6 m

d) Reduced side yard setback beyond 21m from the front property line of 1.5 m.
 Required: 6m for any portion of a building located beyond 21m from the front property line



e) Reduced first floor habitable floor space of 36.4 m2.
 Required: 40 m2

ground floor (unit 1)
 4
 A100
 typical floor plan
 1 : 75



1 north + south elevation
A200 Building Elevations
1:50

2 east + west elevation
A200 Building Elevations
1:50

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professional stamp

project north

open plan architects inc.

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613-234-8883 info@openplan.ca

project

220 Woodroffe Avenue
Stacked Towns
Ottawa

drawing

Elevations

drawn	KDB	date	MARCH_2024
approved	KDB	revision	0
project no.	2404	scale	as shown

drawing no.

A200