



PROJECT INFORMATION

ZONING	R5B(2459) (H)18	55,880.0 sq. m.
LOT AREA	13,808 acres	601,490 sq. ft.
DEVELOPMENT TYPE	PLANNED UNIT DEVELOPMENT	
BUILDING HEIGHT		18.5 M
FRONT YARD SETBACK		3.0 M
CORNER SIDE YARD SETBACK		3.0 M

BUILDING STATISTICS - EXISTING

LOT COVERAGE		
PAVED SURFACE	=	23,990.0 sq. m. 42.93%
BUILDING FOOTPRINT	=	14,250.0 sq. m. 25.50%
LANDSCAPE OPEN SPACE	=	17,640.0 sq. m. 31.57%
TOTAL	=	55,880.0 sq. m. 100.0%

BUILDING HEIGHTS

740 SPRINGLAND	18.0 M - 6 STOREYS
790 SPRINGLAND	18.0 M - 6 STOREYS
840 SPRINGLAND	18.0 M - 6 STOREYS
2660 NORBERRY	30.0 M - 10 STOREYS

UNIT COUNT - PER BUILDING

740 SPRINGLAND	168 UNITS
790 SPRINGLAND	171 UNITS
840 SPRINGLAND	171 UNITS
2660 NORBERRY	251 UNITS
TOTAL	761 UNITS

CAR PARKING - OVERALL SITE EXISTING

COVERED	145 SPACES
ABOVE GRADE SURFACE	528 SPACES
TOTAL	759 SPACES
RESIDENTIAL	741 SPACES (0.97/UNIT)
VISITOR	18 SPACES (0.02/UNIT)

BUILDING STATISTICS - PROPOSED

FRONT YARD SETBACK	REQUIRED: 3.0 M MIN. PROPOSED: VARIES - 6.0 M MIN.
CORNER SIDE YARDS SETBACK	REQUIRED: 3.0 M MIN. PROPOSED: VARIES - 6.0 M MIN.

BUILDING HEIGHTS

BUILDING 'A'	18.5 M - 6 STOREYS
BUILDING 'B'	18.6 M - 6 STOREYS
BUILDING 'C'	17.2 M - 5 STOREYS

BUILDING FOOTPRINT

BUILDING 'A'	1,225.0 m ² (13,186 sq. ft.)
BUILDING 'B'	1,096.2 m ² (11,799 sq. ft.)
BUILDING 'C'	3,936.5 m ² (42,370 sq. ft.)
TOTAL NEW	6,257.7 m² (67,357 sq. ft.)

UNIT COUNT - PER BUILDING

BUILDING 'A'	103 UNITS
BUILDING 'B'	94 UNITS
BUILDING 'C'	90 UNITS
TOTAL NEW	287 UNITS

AMENITY SPACE - PER BUILDING

BUILDING 'A' - REQUIRED (AM2/UNIT, 3M2 COMMON MINIMUM)	618 M ²
BUILDING 'A' - PROVIDED, PRIVATE:	0 M ²
BUILDING 'A' - PROVIDED, COMMON:	742 M ²
BUILDING 'A' - PROVIDED, TOTAL:	742 M ²
BUILDING 'B' - REQUIRED (AM2/UNIT, 3M2 COMMON MINIMUM)	564 M ²
BUILDING 'B' - PROVIDED, PRIVATE:	0 M ²
BUILDING 'B' - PROVIDED, COMMON:	564 M ²
BUILDING 'B' - PROVIDED, TOTAL:	564 M ²
BUILDING 'C' - REQUIRED (AM2/UNIT, 3M2 COMMON MINIMUM)	540 M ²
BUILDING 'C' - PROVIDED, PRIVATE:	0 M ²
BUILDING 'C' - PROVIDED, COMMON:	715 M ²
BUILDING 'C' - PROVIDED, TOTAL:	715 M ²

BUILDING STATISTICS - TOTAL SITE

LOT COVERAGE		
PAVED SURFACE	=	14,220.0 sq. m. 25.45%
BUILDING FOOTPRINT	=	20,507.7 sq. m. 36.70%
LANDSCAPE OPEN SPACE	=	21,152.3 sq. m. 37.85%
TOTAL	=	55,880.0 sq. m. 100%

UNIT COUNT - OVERALL

EXISTING	761 UNITS
PROPOSED	287 UNITS
TOTAL	1048 UNITS

CAR PARKING - OVERALL PROVIDED

COVERED	248 SPACES
ABOVE GRADE SURFACE	115 SPACES
TOTAL (INCLUDES 104 VISITOR SPACES)	363 SPACES

REDUCED SIZE PARKING SPACES: 2.4 x 4.6m MIN. 369 SPACES (MAX 50% SPACES (425))

REQUIRED PARKING:	692 SPACES (0.66/UNIT)
RESIDENTIAL:	104 SPACES (0.11/UNIT AFTER 12)
VISITOR:	796 SPACES

BIKE STORAGE - NEW CONSTRUCTION ONLY

BUILDING 'A':	
ENCLOSED:	28 SPACES
EXTERIOR:	32 SPACES
TOTAL:	60 SPACES
REQUIRED:	52 SPACES
BUILDING 'B':	
ENCLOSED:	14 SPACES
EXTERIOR:	34 SPACES
TOTAL:	48 SPACES
REQUIRED:	47 SPACES
BUILDING 'C':	
ENCLOSED:	20 SPACES
EXTERIOR:	16 SPACES
TOTAL:	36 SPACES
REQUIRED:	45 SPACES
SITE TOTAL:	144 SPACES
REQUIRED:	144 SPACES

LEGAL DESCRIPTION

TOPOGRAPHICAL PLAN OF

BLOCK A REGISTERED PLAN 749 and BLOCK D REGISTERED PLAN 775 CITY OF OTTAWA
 Prepared by Annis, O'Sullivan, Vollebek Ltd.

DRAWING NOTES:

- PROPERTY LINE
- 3.0m FRONT YARD SETBACK LINE
- NEW VISITOR PARKING IN EXISTING ENTRANCE DRIVEWAY
- PROPOSED PAD-MOUNT TRANSFORMER
- EXISTING VEHICLE RAMP (TO BE REPLACED)
- SEE LANDSCAPE PLAN FOR NEW LANDSCAPING
- FIRE HYDRANT - EXISTING
- 6.0 METRE WIDE FIRE ACCESS ROUTE
- SIAMESE CONNECTION
- EXTERIOR BIKE STORAGE ON CONCRETE PAD - SEE LANDSCAPE PLAN
- 1:12 SLOPE MAX. B/F RAMP C/W 620mm HIGH HANDRAIL
- EXISTING GAS METERS
- LINE OF EXISTING GARAGE TO BE REMOVED
- NEW ENTRANCE TO COVERED PARKING GARAGE - SEE FLOOR PLANS
- NEW RETAINING WALL - SEE CIVIL
- EXISTING SIDEWALK TO BE REMOVED
- EXTEND EXISTING ASPHALT SIDEWALK
- LINE OF EXISTING ENTRANCE CANOPY ABOVE
- EXISTING LOADING/GARAGE STORAGE BAY
- LINE OF 3x3M SITE TRIANGLE
- LINE OF 3x3M SITE TRIANGLE
- 2.0M WIDE CONCRETE SIDEWALK AS PER CITY STANDARDS, DEPRESSED CURBS & TWS AT ALL INTERSECTIONS AS PER SEC 7.
- LINE OF LIMITING DISTANCE FROM EXISTING BUILDING, UNLIMITED PERMITTED OPENINGS (7.5M)
- ENCLOSED BIKE STORAGE C/W 1.8M H. CHAIN-LINK FENCE ON CONCRETE PAD, HORIZONTAL SPACES AS PER CITY BYLAWS (1.8M X 3M). SEE LANDSCAPE
- HATCH INDICATES LOCATION OF TEMPORARY SNOW STORAGE
- PATCH/REPAIR EXISTING ASPHALT SURFACES AS REQUIRED. SEE CIVIL FOR GRADING
- B/F PARKING SPACES, TYPE A & B AS PER CITY STANDARDS.
- SEE LANDSCAPE DRAWINGS FOR SIDEWALK DETAIL
- LINE OF NEW BELOW-GRADE GARAGE
- STEPS UP TO NEW DECK. SEE GRADING PLAN
- EXIT STAIRS, C/W PRE-FINISHED METAL HANDRAIL
- 1.83 x 3.05m PATIO, TYP.

SITE PLAN SYMBOLS:

- SIDEWALKS / WALKING SURFACE
- NOT USED
- CONCRETE PAVERS, SEE LANDSCAPE AND CIVIL
- NEW/REPAIRED ASPHALT PARKING SURFACE AND CURBS, SEE CIVIL
- TEMPORARY SNOW STORAGE LOCATION
- OPEN LANDSCAPE AREA FOR AMENITY SPACE CALCULATIONS
- PROPERTY LINE
- 3.0 M FRONT & CORNER SETBACK LINE
- 6.0 M PROP. MIN. B/LG. SETBACK LINE
- LINE OF SIGHT TRIANGLE
- EXISTING GAS LINE
- EXISTING U/G HYDRO LINE
- EXISTING U/G BELL LINE
- EXISTING WATER LINE
- 1.8M H. CHAINLINK FENCE
- BIKE RACK
- ENTRANCE / EXIT DOOR
- FIRE HYDRANT
- SIAMESE CONNECTION
- VEHICULAR DIRECTION
- EXISTING TREE TO BE REMOVED - SEE LANDSCAPE PLANS
- EXISTING TREE TO REMAIN
- STREET LIGHT
- EXISTING PARKING SPACE TO BE REMOVED
- EXISTING 2.8M x 5.2M PARKING SPACE
- NEW 2.8M x 5.2M PARKING SPACE
- NEW 2.4M x 5.2M PARKING SPACE, COMPLETE WITH IDENTIFICATION SIGNAGE FOR COMPACT CARS
- NEW 2.4M x 4.6M PARKING SPACE, COMPLETE WITH IDENTIFICATION SIGNAGE FOR COMPACT CARS
- NEW PAD-MOUNT TRANSFORMER

NOTE: SEE LANDSCAPE FOR ALL SURFACE MATERIAL AND PATTERN

PROJECT DEVELOPER

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 Toronto, ON M5H 1T2
 Tel: (416) 630 6767
 E-Mail: natan@gsregalgroup.com

URBAN PLANNER

JD Planning
 43 Eccles Street, Unit C
 Ottawa, ON Canada, K1R 6S3
 Tel: (613) 812-1726
 E-Mail: jessica@jdpin.ca

CIVIL ENGINEER

Stantec Consulting Ltd.
 400 - 1331 Clyde Avenue
 Ottawa, ON Canada, K2C 3G4
 Tel: (613) 722-4420
 www.stantec.com

LANDSCAPE ARCHITECT

Larocque Levstek
 5871 Hugh Crescent
 Osgoode, ON Canada, K0A 2W0
 Tel: (613) 826-0518
 E-Mail: levstek@larocquelevstek.com

SURVEYOR

Annis O'Sullivan Vollebek Ltd.
 Ontario Land Surveyors
 14 Concourse Gate, Suite 500,
 Nepean, Ontario K2E 7S6
 Tel: (613) 727-0850
 Fax: (613) 727-1079
 E-Mail: EDH@aovltd.com

DO NOT SCALE DRAWINGS

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK.

DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS STAMPED AND SIGNED BY THE CONSULTANT.

THESE DRAWINGS HAVE BEEN DESIGNED IN CONFORMANCE WITH THE ONTARIO BUILDING CODE.

Revisions

Revision Number	Revision Date	Revision Description
1	2021-10-07	REVISED SITE PLAN CONTROL
2	2022-05-16	REVISED SITE PLAN CONTROL
3	2022-08-17	ISSUED FOR BUILDING PERMIT
4	2022-08-19	REVISED SITE PLAN CONTROL
6	2022-11-15	SPC. CLARIFIED PARKING
7	2025-04-15	REVISED SITE PLAN CONTROL

Committee of Adjustment
 Received | Reçu le

2025-04-30

City of Ottawa / Ville d'Ottawa
 Comité de dérogation

Alexander Wilson Architect Inc
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 103-20 Gore Street
 Kingston Ontario, K7L 2L1
 t: 613.545.3744 ext 213
 f: 613.545.1411



NORBERRY RESIDENCES

2640, 2710, 2730 NORBERRY CRESCENT,
 OTTAWA, ONTARIO

SITE PLAN

Drawn By: _____ Checked By: _____

Scale: _____ Date: 2025-04-15 1:32:34 PM

Project No.: 2061 Revision: 7

Drawing No.: **A011**

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4	2022-08-19	REVISED SITE PLAN CONTROL
7	2025-04-11	REVISED SITE PLAN CONTROL



2 WEST ELEVATION
 1 : 100



1 EAST ELEVATION
 1 : 100

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Project
NORBERRY RESIDENCES - BUILDING A

2640 NORBERRY CRESCENT,
 OTTAWA, ONTARIO

Drawing
ELEVATIONS - EAST & WEST

Drawn By: _____ Checked By: _____
 Scale: 1 : 100 Date: 2025-04-11 10:57:32 AM
 Project No. 2061 Revision 7

Drawing No. **A300**

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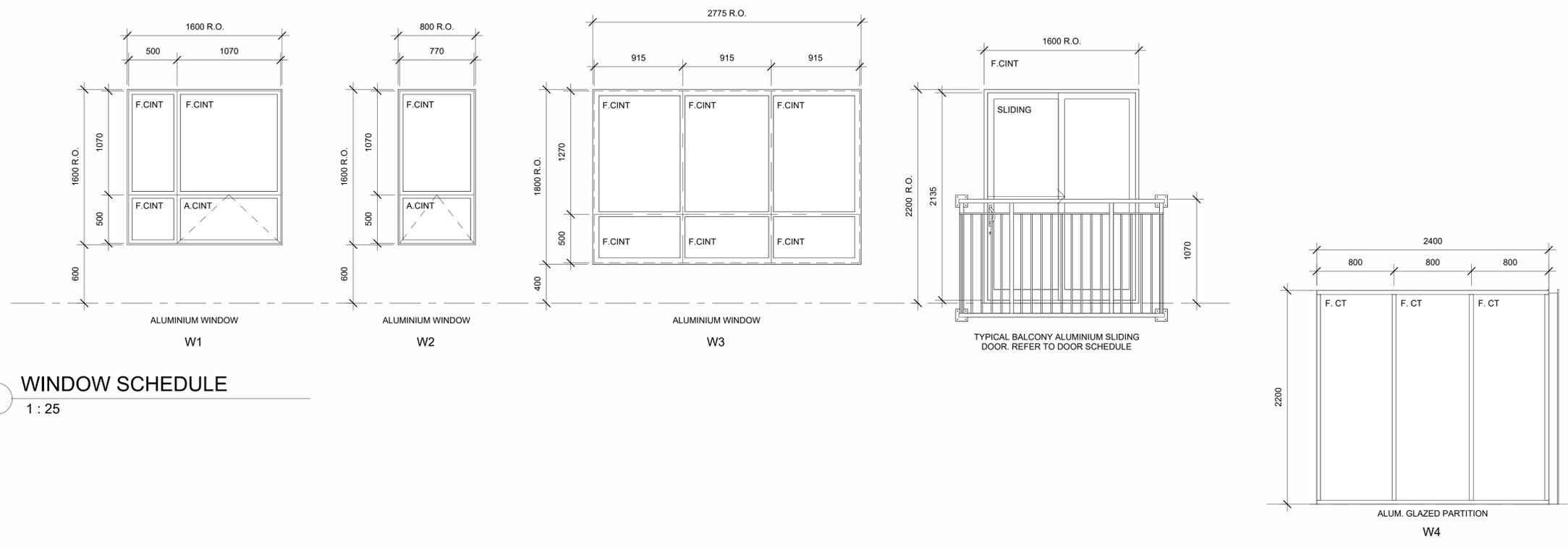
Revisions

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- A ALUM
- ALUM ALUMINIUM
- ANOD ANODIZED
- CINT CLEAR INSULATED TEMPERED GLASS
- EQ EQUAL
- EX EXISTING
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- FR FROSTED
- G CLEAR GLASS
- GALV GALVANIZED STEEL
- GW GEORGIAN WIRE GLASS
- HC HOLLOW CORE
- HM HOLLOW METAL
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- ST STEEL
- STA STAIN
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- TBD TO BE DETERMINED (SITE MEASURED)
- WD WOOD

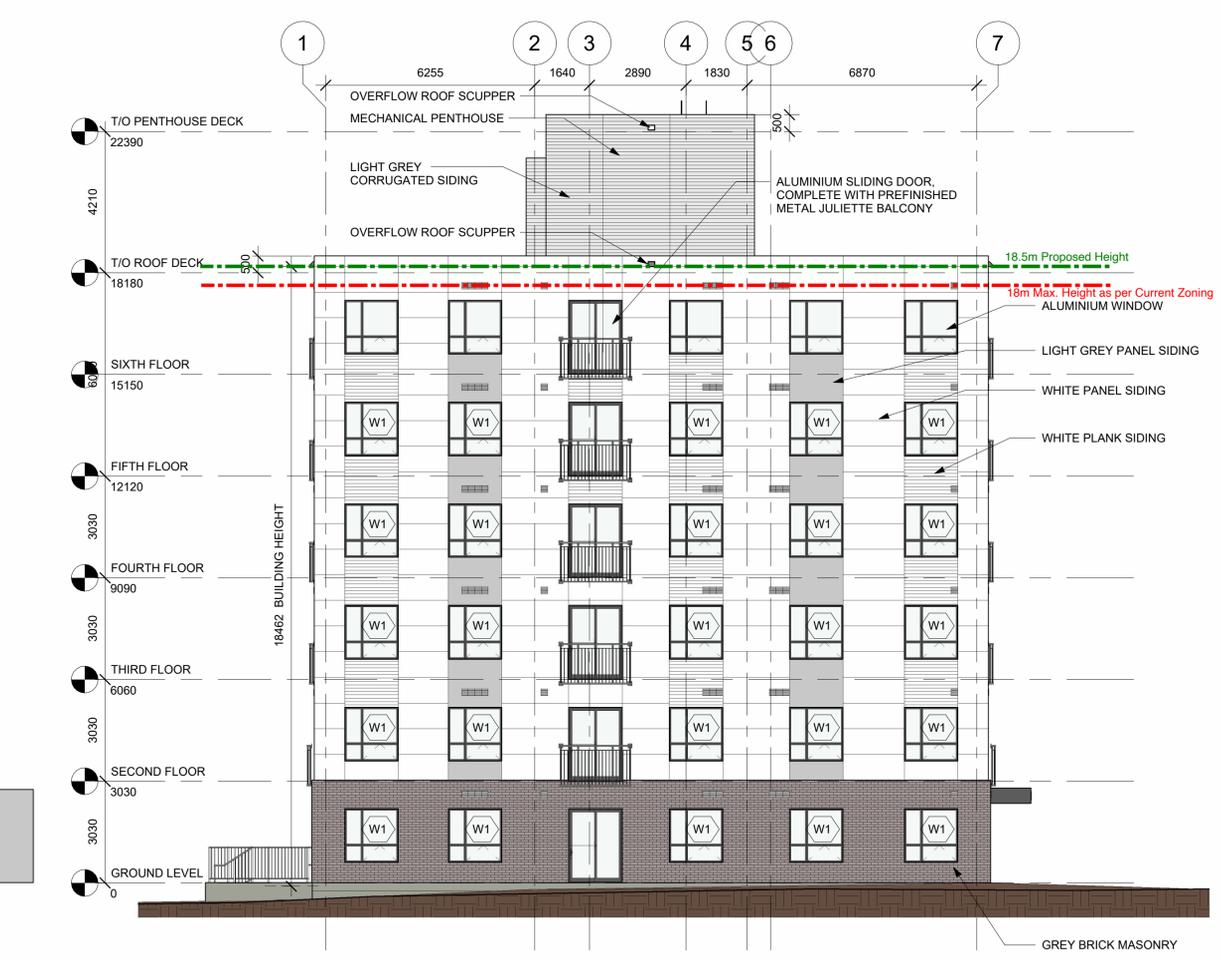
WINDOW NOTES:

- CONTRACTOR SHALL PROVIDE SIGNED AND SEALED DRAWINGS FOR THE SUPPORT OF GLAZING IN INTERIOR PARTITIONS.
- JULIETTE BALCONY GUARDRAILS TO EXTEND TO MIN. 1070 AFF. AND SECURED TO ADJACENT WALL STRUCTURE. EXACT ATTACHMENT AS RECOMMENDED AND STAMPED BY MANUFACTURER ENGINEER. POSTS, PICKETS, AND RAILS TO BE PREFINISHED ALUMINIUM. GUARDRAIL TO BE ENGINEERED TO MEET LOAD REQUIREMENTS AS PER OBC 4.15.5.15.



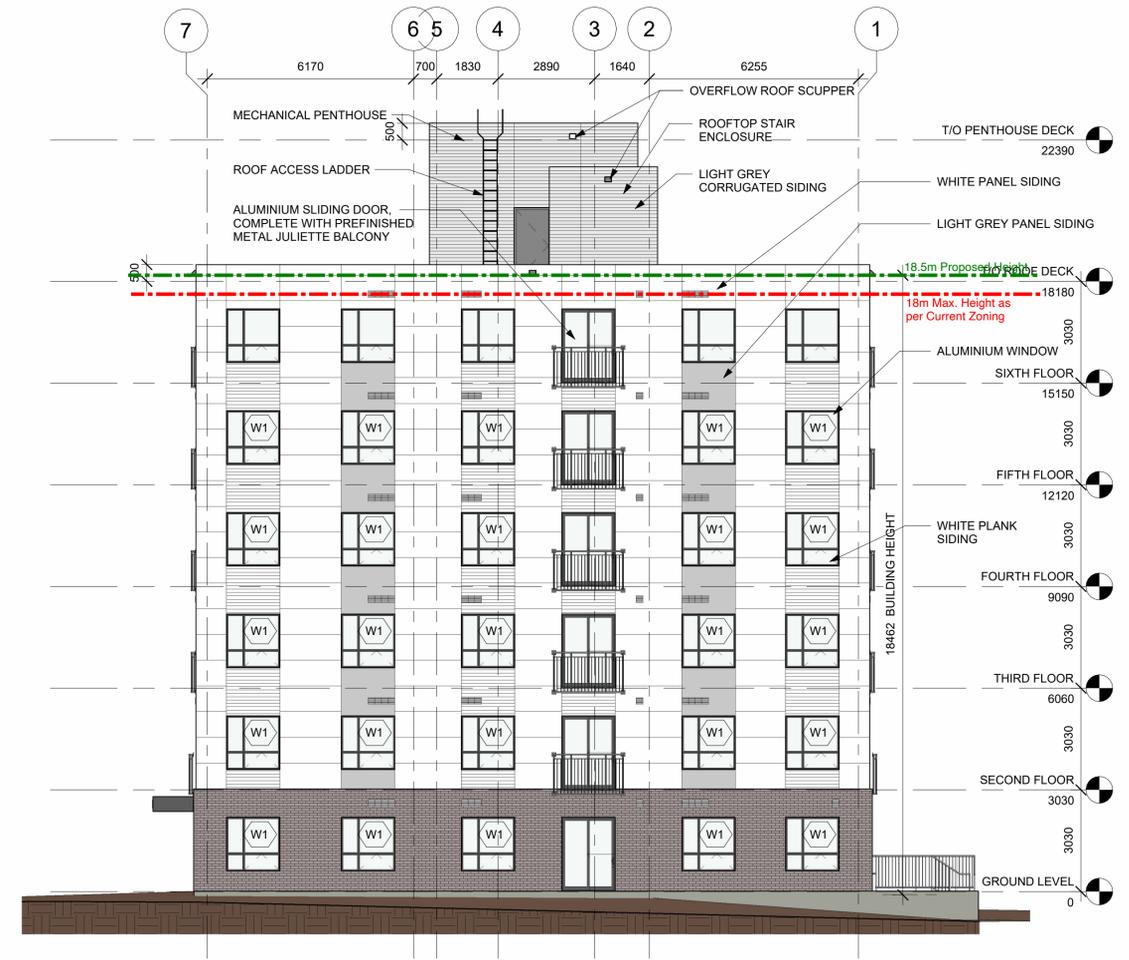
WINDOW SCHEDULE

1 : 25



SOUTH ELEVATION

1 : 100



NORTH ELEVATION

1 : 100

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Stamp:

NORBERRY RESIDENCES - BUILDING A

2640 NORBERRY CRESCENT, OTTAWA, ONTARIO

ELEVATIONS - NORTH & SOUTH & WINDOW SCHEDULE

Drawn By: _____ Checked By: _____

Scale: As indicated Date: 2025-04-11 10:57:48 AM

Project No.: 2061 Revision: 7

Drawing No.: **A301**



2 SOUTH ELEVATION
1 : 100

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Revisions		
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2	2022-05-16	REVISED SITE PLAN CONTROL
3	2022-08-19	REVISED SITE PLAN CONTROL
5	2025-04-11	REVISED SITE PLAN CONTROL



1 NORTH ELEVATION
1 : 100

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Project
NORBERRY RESIDENCES - BUILDING B

2730 NORBERRY CRESCENT,
OTTAWA, ONTARIO

Drawing
ELEVATIONS - NORTH & SOUTH

Drawn By	Checked By
Scale 1 : 100	Date 2025-04-11 10:50:25 AM
Project No. 2062	Revision 5

Drawing No. **A300**
1:1

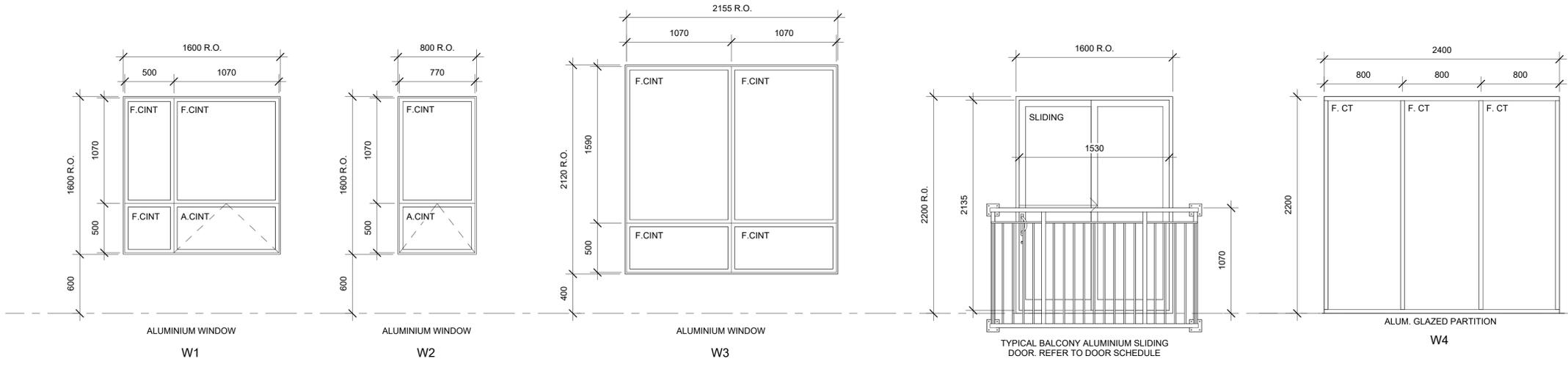
DO NOT SCALE DRAWINGS

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5	2025-04-11	REVISED SITE PLAN CONTROL

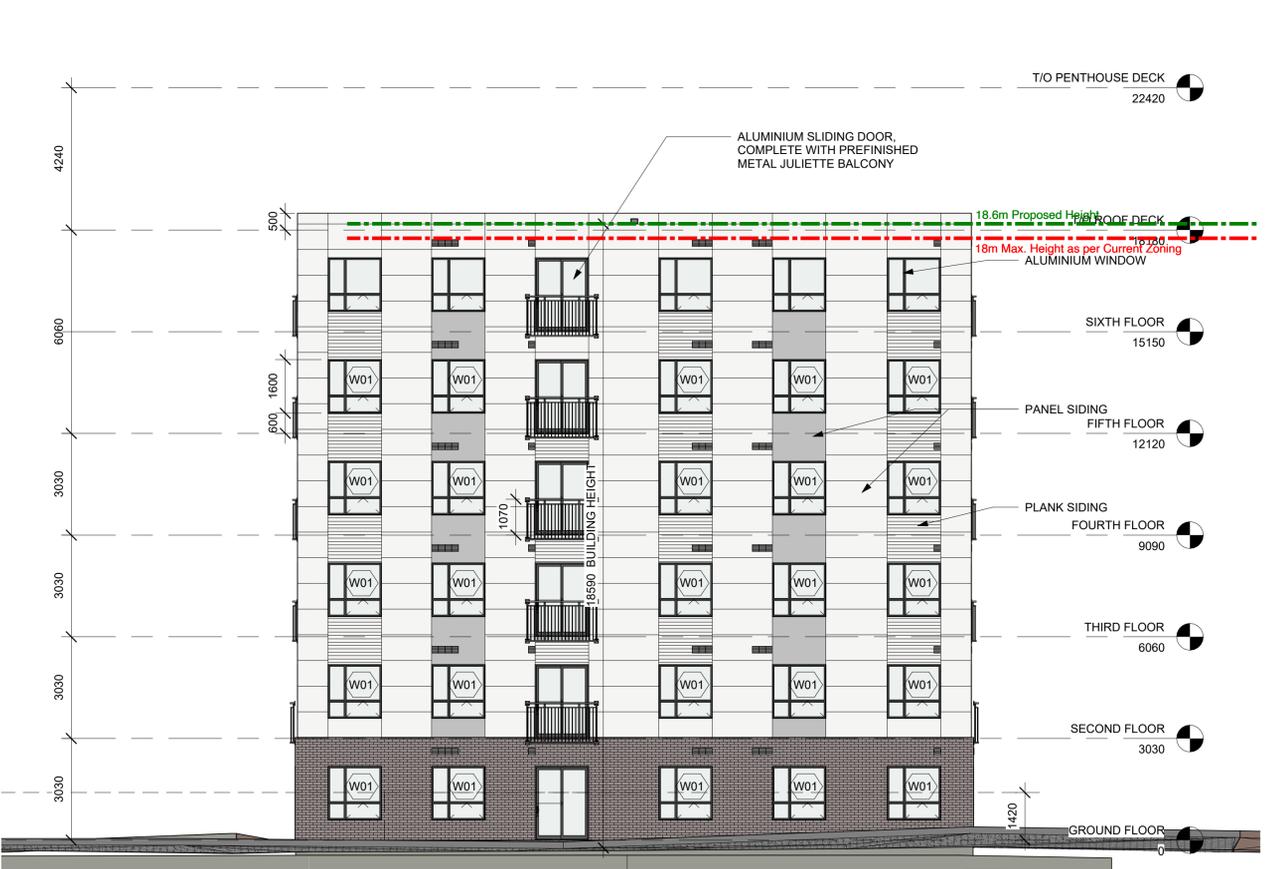


- A ALUM
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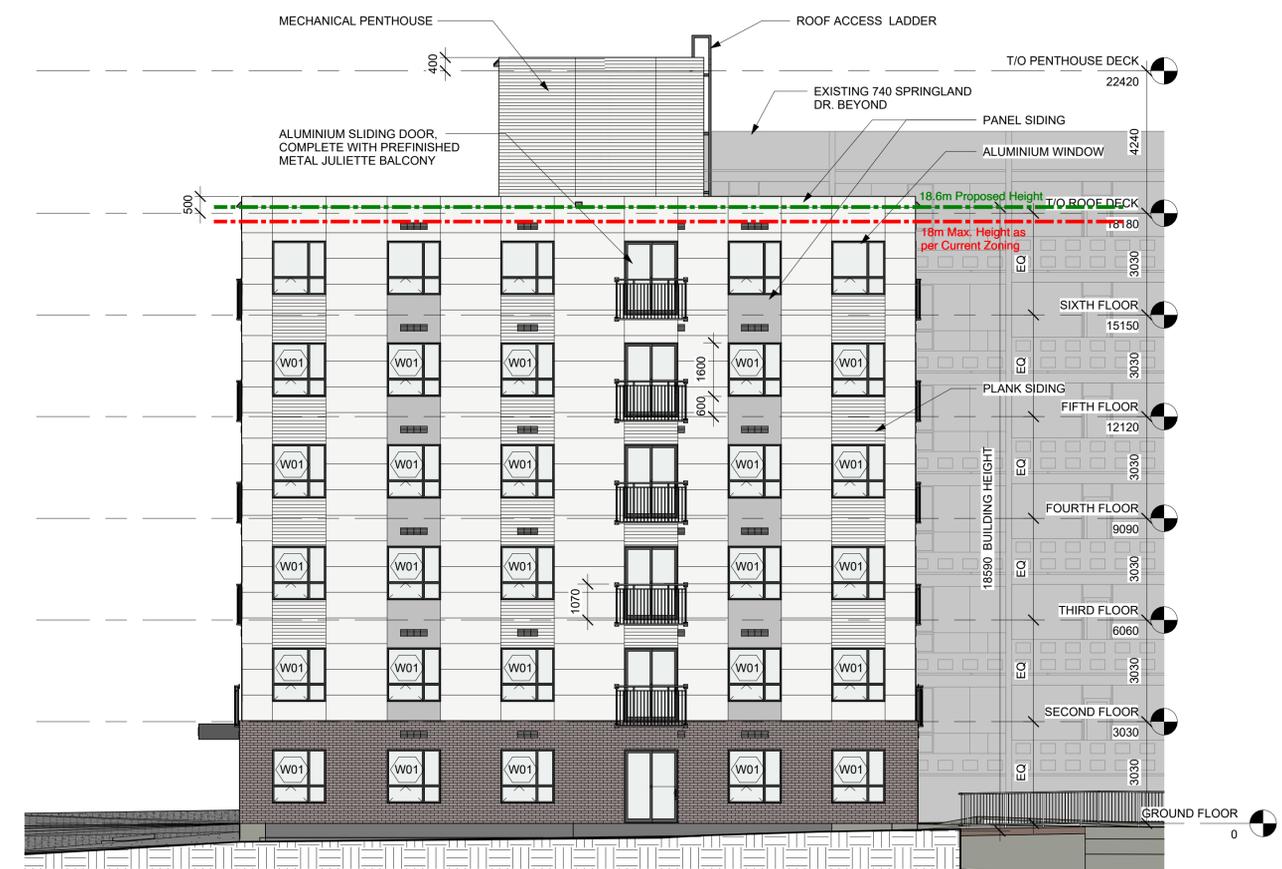
WINDOW NOTES:

- CONTRACTOR SHALL PROVIDE SIGNED AND SEALED DRAWINGS FOR THE SUPPORT OF GLAZING IN INTERIOR PARTITIONS.

WINDOW SCHEDULE
1 : 25



2 WEST ELEVATION
1 : 100



1 EAST ELEVATION
1 : 100

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Stamp: ONTARIO ASSOCIATION OF ARCHITECTS
ALEXANDER WILSON
LICENCE 14632

NORBERRY RESIDENCES - BUILDING B

2730 NORBERRY CRESCENT, OTTAWA, ONTARIO

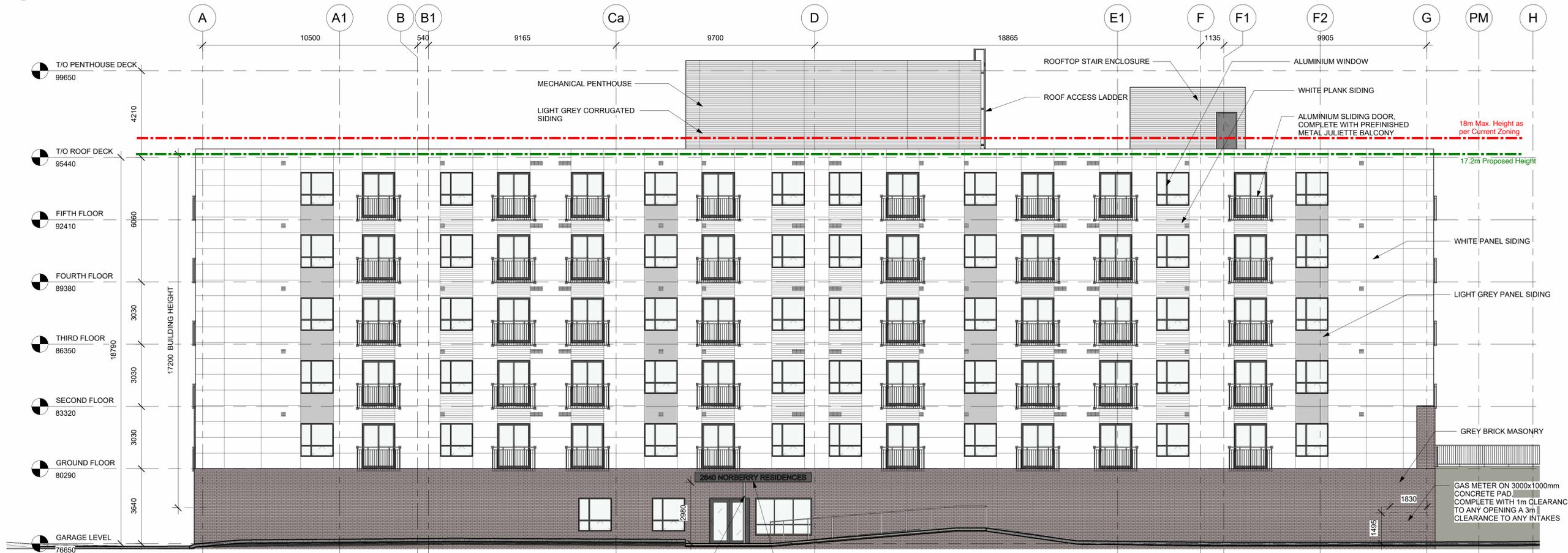
ELEVATIONS - EAST & WEST

Drawn By	Checked By
Scale	Date
Project No.	Revision
Drawing No.	A301



2 NORTH ELEVATION

1 : 100



1 SOUTH ELEVATION

1 : 100

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NORBERRY RESIDENCES - BUILDING C

2710 NORBERRY CRESCENT, OTTAWA, ONTARIO

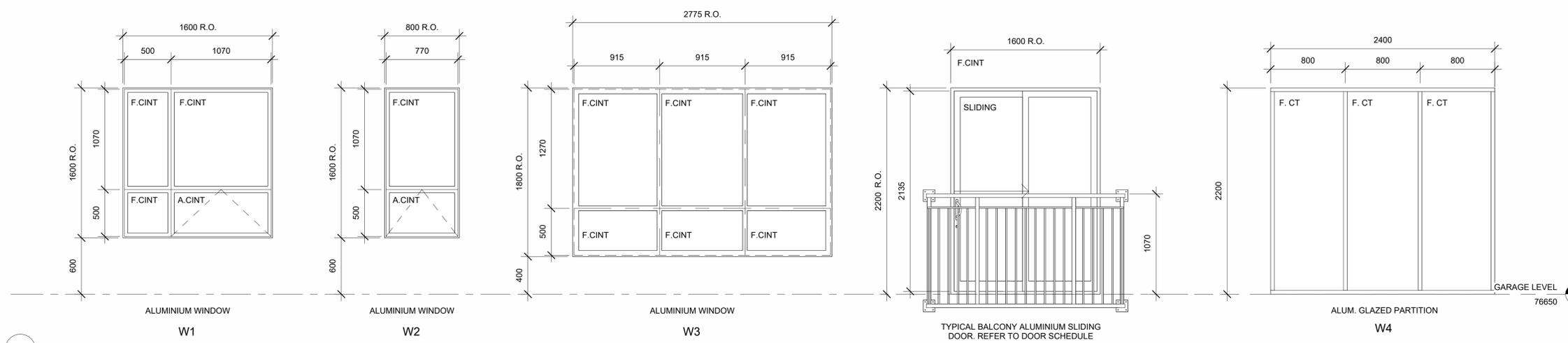
ELEVATIONS - EAST & WEST

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 Scale: 1 : 100 Date: 2025-04-11 11:37:04 AM
 Project No.: 2063 Revision: 3

Drawing No. **A300**

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3	2025-05-11	REVISED SITE PLAN CONTROL

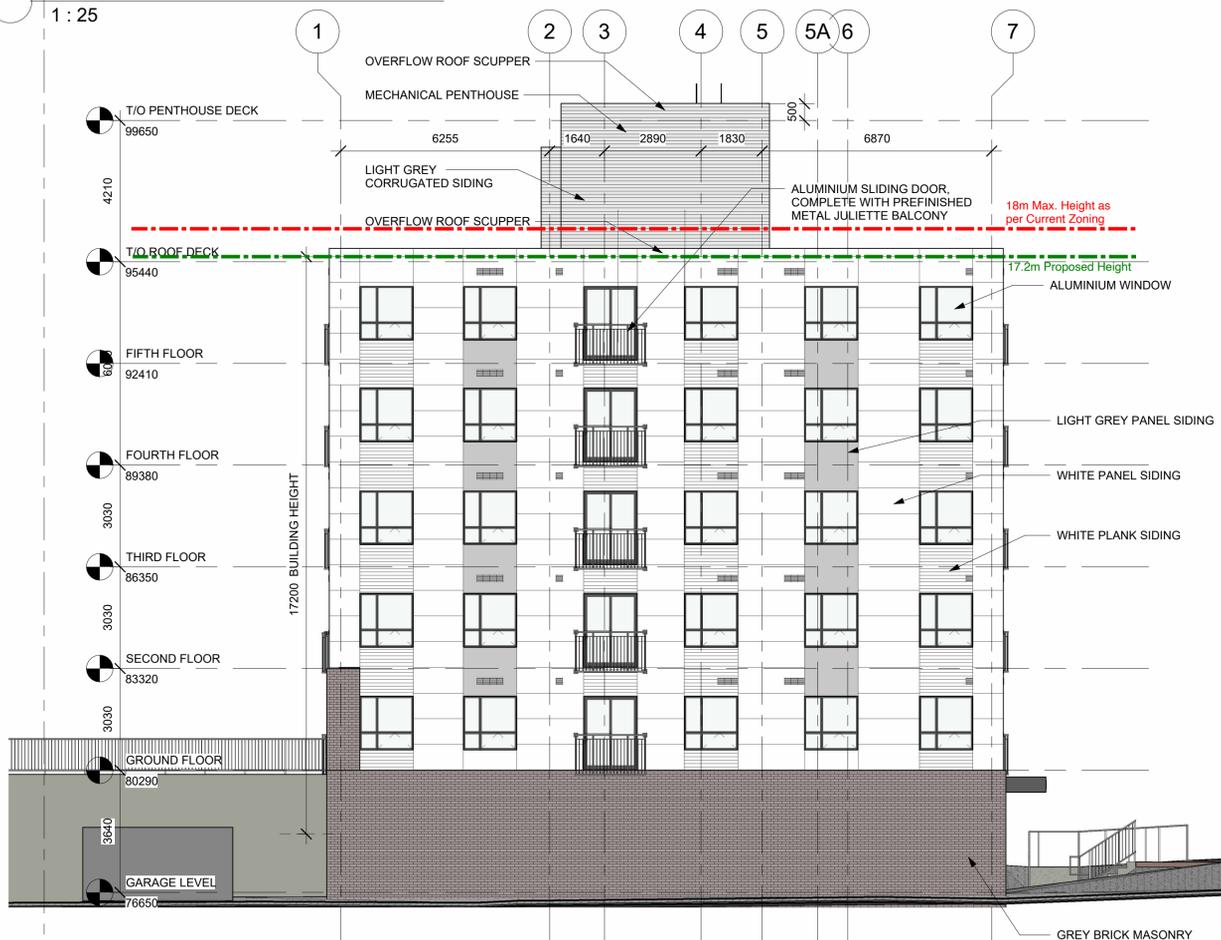


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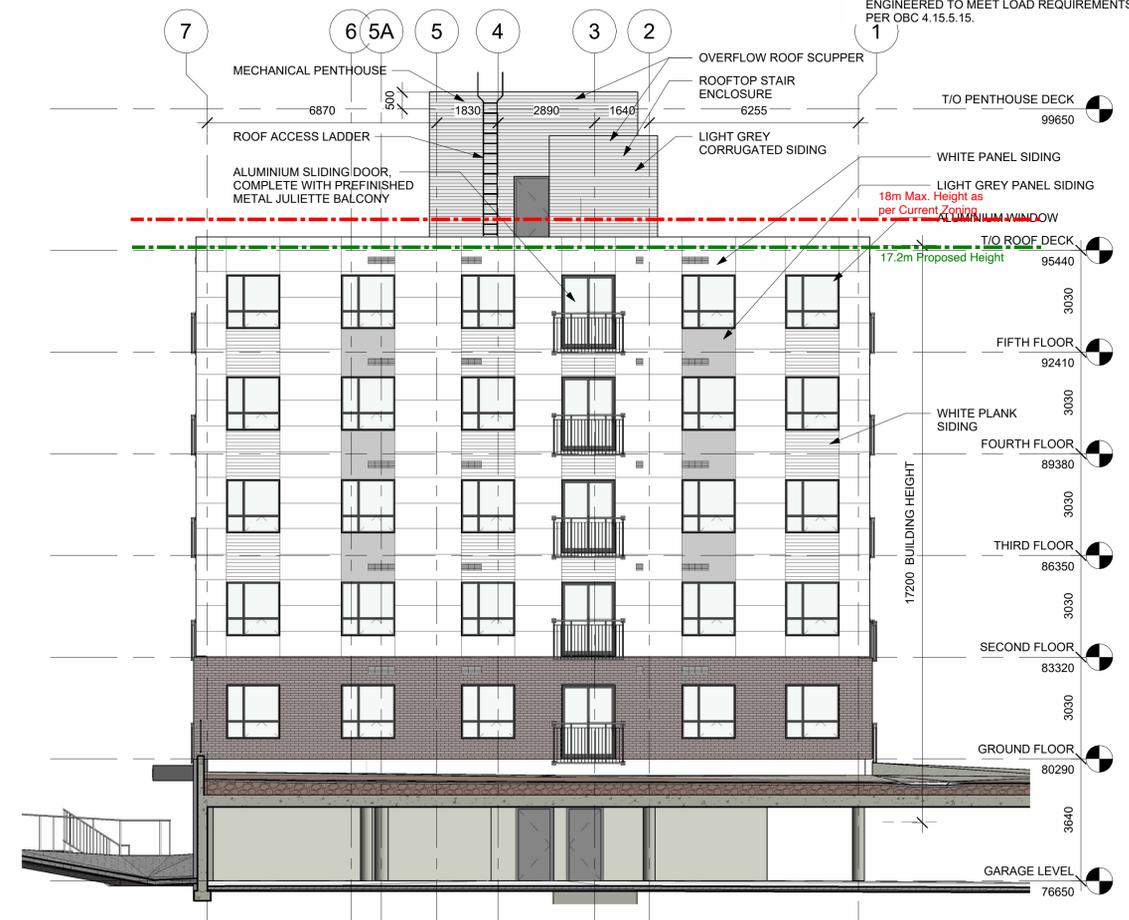
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P6 WINDOW SCHEDULE
 1 : 25



2 WEST ELEVATION
 1 : 100



1 EAST ELEVATION
 1 : 100

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NORBERRY RESIDENCES - BUILDING C

2710 NORBERRY CRESCENT,
 OTTAWA, ONTARIO

ELEVATIONS - NORTH & SOUTH & WINDOW SCHEDULE

Drawn By	Checked By
Scale As indicated	Date 2025-04-11 11:03:34 AM
Project No. 2063	Revision 3
Drawing No. A301	

TOPOGRAPHICAL PLAN OF SURVEY

**BLOCK A
REGISTERED PLAN 749 and
BLOCK D
REGISTERED PLAN 775
CITY OF OTTAWA**

Surveyed by Annis, O'Sullivan, Vollebek Ltd.
REVISION NOTE: Plan amended May 22, 2019

Scale 1 : 400
Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
2. The survey was completed on the 30th day of April, 2019.

Michael J. Annis
Date
V. Vollebek
Ontario Land Surveyor

Notes & Legend

Symbol	Denotes
—○—	Survey Monument Planted
—■—	Survey Monument Found
SIB	Standard Iron Bar
SSIB	Short Standard Iron Bar
IB	Iron Bar
CC	Cut Cross
CP	Concrete Pin
(WIT)	Witness
MOS	Measured
(AOS)	Annis, O'Sullivan, Vollebek Ltd.
(P)	Registered Plan 749
(P2)	Registered Plan 775
(P3)	Plan 4R-16358
(P4)	(1226) Plan November 11, 1990
○	Fire Hydrant
○	Water Valve
○	Water Stand Post
○	Maintenance Hole (Storm Sewer)
○	Maintenance Hole (Sanitary)
○	Maintenance Hole (Undersewer)
T/G	Top of Gate
○	Valve Chamber (Watermain)
—ST—	Underground Storm Sewer
—S—	Underground Sanitary Sewer
—W—	Underground Water
—P—	Underground Power
—G—	Underground Gas
—C—	Underground Cable
—R—	Underground Rogers
—	Underground Other
□	Catch Basin
CRW	Concrete Retaining Wall
WRW	Wooden Retaining Wall
BRW	Block Retaining Wall
SRW	Stone Retaining Wall
CBRW	Concrete Block Retaining Wall
IRW	Interlock Retaining Wall
○	Bell Terminal Box
○	Cable Terminal Box
○	Undersized Terminal Box
○	Bollard
○	Sign
○	Diameter
+ELEV.	Location of Elevations
+ELEV.	Top of Curb / Wall Elevation
○	Centreline
○	Deciduous Tree
○	Coniferous Tree
○	Light Standard
○	Mail Box
○	Electrical Outlet
○	Gas Meter
○	Shrub
TGS	Top of Slope
BOS	Bottom of Slope

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2086099
THIS PLAN IS NOT VALID UNLESS
IT IS SUBMITTED TO THE SURVEYOR
IN ACCORDANCE WITH
REGULATION 1026, SECTION 29.23.

Bearings are grid, derived from Can-Ned 2016 Real Time Network
GPS observations and are referred to Specific Control Points
01919680005 and 01919680105, MTM Zone 9 (70°30' West
Longitude) NAD-83 (original).
For bearing comparisons, a rotation of
0°32'10" counter-clockwise was applied to bearings on plans
P1, P2, P3 & P4.

SITE AREA = 5.5886 Hectares

ELEVATION NOTES
1. Elevations shown are geoidic and are referred to the CGVD28 geoidic datum.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.
4. Underground services on subject land are shown as marked on ground by MARK IT Locates Inc.

