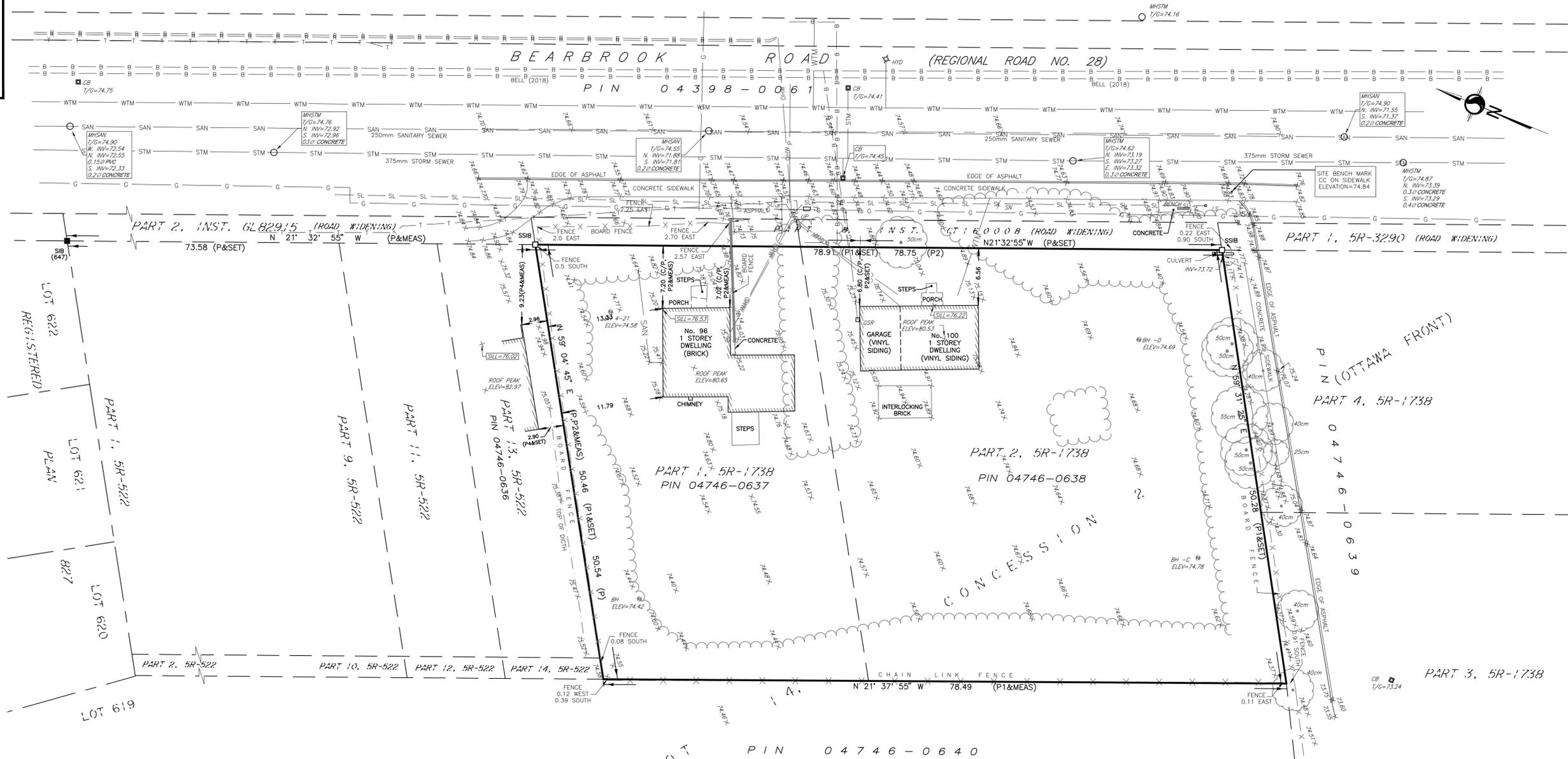


30 July 2021 10:44 AM

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
2169193



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ISSUED BY THE SURVEYOR  
In accordance with  
Regulation 1026, Section 29(3)



# SURVEYOR'S REAL PROPERTY REPORT

## PART 1 - PLAN OF SURVEY

### PART OF LOT 14 CONCESSION 2 (OTTAWA FRONT)

(GEOGRAPHIC TOWNSHIP OF GLOUCESTER)

#### CITY OF OTTAWA

Scale 1:100  
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| LEGEND (IF APPLICABLE) |                                |
|------------------------|--------------------------------|
| ■                      | DENOTES                        |
| □                      | FOUND MONUMENTS                |
| IB                     | IRON BAR                       |
| IBO                    | ROUND IRON BAR                 |
| SIB                    | STANDARD IRON BAR              |
| SSIB                   | SHORT STANDARD IRON BAR        |
| CC                     | CUT CROSS                      |
| CP                     | CONCRETE PIN                   |
| WIT                    | WITNESS                        |
| PIN                    | PROPERTY IDENTIFICATION NUMBER |
| MEAS                   | MEASURED                       |
| PROP                   | PROPORTIONED                   |
| OUI                    | ORIGIN UNKNOWN                 |
| SG                     | STANTEC GEOMATICS LTD.         |
| P                      | PLAN SR-522                    |
| P1                     | PLAN SR-1738                   |
| P2                     | PLAN BY 647 DATED MAY 18, 1971 |
| ACU                    | CALCULATED PER                 |
| AN                     | AIR CONDITIONING UNIT          |
| ANCH                   | ANCHOR                         |
| BH                     | BOREHOLE                       |
| BENCH                  | BENCH                          |
| CB                     | CATCH BASIN                    |
| DCB                    | DOUBLE CB                      |
| CBMH                   | CB MANHOLE                     |
| DCBMH                  | DOUBLE CB MANHOLE              |
| GP                     | POLE GUYWIRE                   |
| GSR                    | GAS SERVICE REGULATOR          |
| GV                     | GAS VALVE                      |
| HLS                    | HYDRO LIGHT STANDARD           |
| HM                     | HYDRO METER                    |
| HTN                    | HYDRO TRANSFORMER              |
| HW                     | HAND WELL                      |
| HYD                    | FIRE HYDRANT                   |
| JBX                    | JUNCTION BOX                   |
| LS                     | LIGHT STANDARD                 |
| MB                     | MAILBOX                        |
| MP                     | MONITORING PIN                 |
| MH                     | MAINTENANCE HOLE UNIDENTIFIED  |
| MHSAN                  | MAINTENANCE HOLE SANITARY      |
| MHSTM                  | MAINTENANCE HOLE STORM         |
| MHT                    | MAINTENANCE HOLE TRAFFIC       |
| MW                     | MONITORING WELL                |
| SN                     | SIGN                           |
| TB BELL                | TERMINAL BOX - BELL            |
| TB CATV                | TERMINAL BOX - CABLE           |
| TCC                    | TRAFFIC CONTROL BOX            |
| TPIT                   | TEST PIT                       |
| TSL                    | TRAFFIC SIGNAL LIGHT           |
| UP                     | UTILITY POLE                   |
| VB                     | VALVE BOX                      |
| VC                     | VALVE CHAMBER                  |
| WV                     | WATER VALVE                    |
| TS                     | TREE STUMP                     |
| TC                     | TREE CONIFEROUS                |
| TD                     | TREE DECIDUOUS                 |
| T                      | TRAFFIC                        |
| P                      | UNDERGROUND TELEPHONE          |
| WTM                    | WATERMAIN                      |
| G                      | GASMAIN                        |
| STM                    | STORM SEWER                    |
| SAN                    | SANITARY SEWER                 |
| R                      | ROGERS CABLE                   |
| B                      | BELL CANADA                    |

**NOTE**  
THIS PLAN OF SURVEY IS TO BE READ IN CONJUNCTION WITH THE REPORT SUMMARY NOTED AS PART 2 HEREON.  
THIS REPORT CAN ONLY BE UPDATED BY THIS OFFICE. NO ADDITIONAL PRINTS OF THIS ORIGINAL REPORT WILL BE ISSUED SUBSEQUENT TO THE DATE OF CERTIFICATION.  
ALL TIES ARE MINIMUM UNLESS OTHERWISE NOTED.  
ALL TIES TO CURVED BOUNDARY ARE RADIAL TO ARC.  
RISK OF UNDERGROUND SERVICES, MONUMENTATION PLANTED ACCORDINGLY.

**PART 2**  
This Report was prepared for Landric Homes and the undersigned accepts no responsibility for the use by other parties.  
1. REGISTERED RIGHTS-OF-WAY/EASEMENTS  
No rights-of-way or easements were found to be registered against the subject property.  
2. PROPERTY IMPROVEMENTS  
There are two 1 storey dwellings situate wholly within the subject lands. See Part 1 (Plan) of this Report for further property improvements.  
3. COMPLIANCE WITH MUNICIPAL ZONING BYLAWS  
Compliance is not certified by this report.  
4. ADDITIONAL REMARKS  
Invert information shown hereon obtained in the field from clients contractor

**METRIC CONVERSION**  
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**BEARING NOTE**  
BEARINGS ARE GRID, DERIVED FROM CAN-NET VRS NETWORK GPS OBSERVATIONS ON NCC HORIZONTAL CONTROL MONUMENTS 19773035 AND 19680191, CENTRAL MERIDIAN, 76° 30' WEST LONGITUDE MTM ZONE 9, NAD83 (ORIGINAL).

19773035 N:5006060.42 E:324888.04  
19680191 N:5033564.26 E:388064.94

FOR BEARING COMPARISONS, A ROTATION OF 0°41'05" COUNTER-CLOCKWISE HAS BEEN APPLIED TO BEARINGS ON (P) AND A ROTATION OF 0°41'25" COUNTER-CLOCKWISE HAS BEEN APPLIED TO BEARINGS ON (P1).

#### SURVEYOR'S CERTIFICATE

I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 28th DAY OF JULY, 2021.

July 30, 2021  
DATE

*Francis Lau*  
FRANCIS LAU  
ONTARIO LAND SURVEYOR

SRO MAP COORD.= 377912.34, 5032958.26

**Stantec Geomatics Ltd.**  
CANADA LANDS SURVEYORS  
ONTARIO LAND SURVEYORS  
1331 CLOYE AVENUE, SUITE 400  
OTTAWA, ONTARIO, K2C 3G4  
TEL. 613.722.4420  
stantec.com

TOPOGRAPHIC PLAN OF SURVEY OF PART OF LOT 14, CONCESSION 2 (OTTAWA FRONT) GEOGRAPHIC TOWNSHIP OF GLOUCESTER, CITY OF OTTAWA  
 Stantec Geomatics Ltd.  
**SURVEY INFO**  
 SCALE: NTS

**SITE PLAN SYMBOLS LEGEND**

|  |                            |  |                                   |
|--|----------------------------|--|-----------------------------------|
|  | BUILDING ENTRANCE          |  | FIRE DEPARTMENT CONNECTION        |
|  | BUILDING EXIT              |  | FIRE HYDRANT                      |
|  | BICYCLE PARKING            |  | NEW LIGHT STANDARD                |
|  | INTERLOCKING STONE PAVERS  |  | LIGHT STANDARD TO BE REMOVED      |
|  | UTILITY POLE               |  | EXISTING LIGHT STANDARD TO REMAIN |
|  | UTILITY POLE TO BE REMOVED |  | EXISTING TRAFFIC SIGNAL POST      |
|  | PROPERTY LINE              |  | OVERHEAD WIRE                     |
|  | SETBACK LINE               |  | EXISTING FENCE TO BE REMOVED      |

**SITE PLAN NOTES**

- S1 ASPHALT DRIVEWAY
- S2 OUTLINE OF UNDERGROUND PARKING LEVEL
- S4 PROPOSED CONCRETE SIDEWALK
- S5 CONCRETE RAMP WITH HERRINGBONE & SNOW MELT
- S6 RETAINING WALL WITH PAINTED STEEL GUARDS AT 600mm GRADE DIFFERENCE AND HIGHER
- S7 CURB TRANSITION
- S8 SOFT LANDSCAPING
- S10 APPROXIMATE LOCATION OF TRANSFORMER AND SWITCH GEAR. REFER TO ELEC.
- S11 LIGHT STANDARD ON 450mm DIA CONCRETE BASE. REFER TO ELEC.
- S12 BOLLARDS FOR EV CHARGER PROTECTION REFER TO ELECTRICAL COORDINATE BOLLARD PLACEMENT WITH EV CHARGER REQUIREMENTS
- S13 RAISED PLANTER. REFER TO LANDSCAPE
- S14 PROPERTY LINE
- S15 PRIVATE PATIO
- S16 PATIO RAILING. REFER TO LANDSCAPE
- S17 VISITOR BIKE PARKING

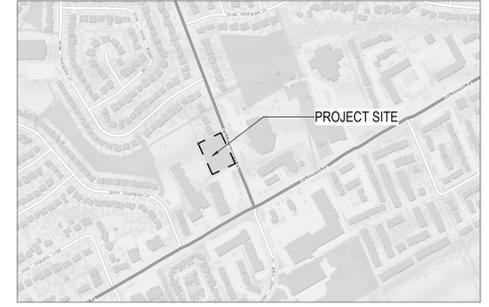
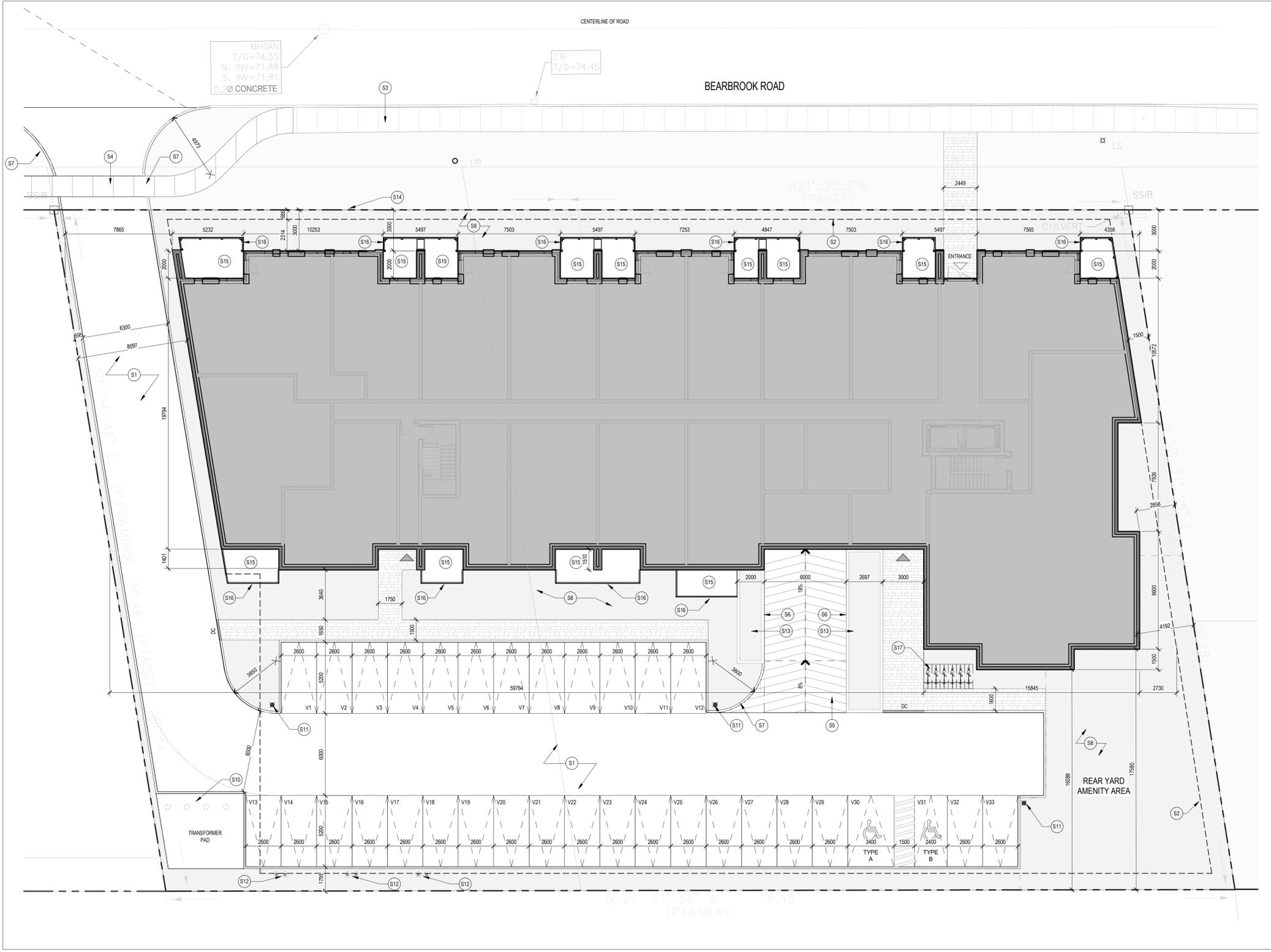
**SITE STATISTICS**

|                             |                      |
|-----------------------------|----------------------|
| Current Zoning Designation: | AM11                 |
| Lot Width:                  | 78.9m                |
| Total Lot Area:             | 3914.1m <sup>2</sup> |
| Average Existing Grade:     | 74.71m               |

**Proposed Development - 8 Storey Mid-Rise Apartment Building**

|  |   |
|--|---|
| No. of units   | 164 Units   |
| <b>Zoning Mechanism</b>  | <b>Required</b> / <b>Provided</b>   |
| Minimum Lot Width (S6(7))  | No Minimum / 78.9m  |
| Minimum Lot Area (S6(7))   | No Minimum / 3914.1m <sup>2</sup>   |
| Min. Front Yard Setback (S6(7))                                  | 3m / 3m up to 9.5m  |
| Corner Side Yard Setback (S6(7))                                 | 2m additional at or above 5th storey / 18m / 5m at 3rd storey / 9.5m and above  |
| Min. Interior Side Yard Setback (S6(7))                          | 3m abutting residential zone for 20m past the street / 7.5m past 20m from the street / 0m where abutting non-residential zone |
| Min. Rear Yard Setback (S6(7))                                   | 10m / 16.1m   |
| Maximum Building Height (S6(7))                                  | 30.0m / 25.09m  |
| Building Frontage (S6(7))  | 39.45m / 43.1m  |
| Parking Space Rates (Residents) (S10 (Sch. 1A - Area C))         | 177 Spaces / 180 Spaces   |
| Minimum Visitor Parking Rates (S10 (Sch. 1A - Area C))           | 33 Spaces / 33 Spaces   |
| Bicycle Parking Rates (Residents) (Table 111A (Sch. 1 - Area C)) | 82 Spaces / 82 Spaces   |
| Total Amenity Area (Table 137(4)(i))                             | 984m <sup>2</sup> / 1318.08m <sup>2</sup>   |
| Communal Amenity Area (Table 137(4)(ii))                         | 492m <sup>2</sup> / 492.5m <sup>2</sup>   |

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**UNIT COUNT**

| BEDS         | LVL. 1    | LVL. 2    | LVL. 3    | LVL. 4    | LVL. 5    | LVL. 6    | LVL. 7    | LVL. 8    | TOTAL      | %           |
|--------------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|------------|-------------|
| 1 BED        | 3         | 7         | 7         | 12        | 12        | 12        | 12        | 12        | 77         | 52%         |
| 2 BED        | 2         | 5         | 5         | 4         | 4         | 4         | 4         | 4         | 32         | 20%         |
| STUDIO       | 1         | 2         | 2         | 4         | 4         | 4         | 4         | 4         | 25         | 18%         |
| <b>TOTAL</b> | <b>15</b> | <b>22</b> | <b>22</b> | <b>21</b> | <b>21</b> | <b>21</b> | <b>21</b> | <b>21</b> | <b>164</b> | <b>100%</b> |

**AMENITY AREAS (COMMUNAL)**

| LEVEL        | NAME                 | AREA (M)                    | AREA (SF)         |
|--------------|----------------------|-----------------------------|-------------------|
| LEVEL 01     | AMENITY ROOM         | 237.59 m <sup>2</sup>       | 2557.38 SF        |
| LEVEL 01     | OUTDOOR AMENITY AREA | 254.91 m <sup>2</sup>       | 2743.87 SF        |
| <b>TOTAL</b> |                      | <b>492.50 m<sup>2</sup></b> | <b>5301.25 SF</b> |

**LEASABLE FLOOR AREA**

| LEVEL        | AREA                          | AREA (SF)        |
|--------------|-------------------------------|------------------|
| LEVEL 01     | 1102.55 m <sup>2</sup>        | 11868 SF         |
| LEVEL 02     | 1462.76 m <sup>2</sup>        | 15745 SF         |
| LEVEL 03     | 1462.76 m <sup>2</sup>        | 15745 SF         |
| LEVEL 04     | 1277.97 m <sup>2</sup>        | 13756 SF         |
| LEVEL 05     | 1277.97 m <sup>2</sup>        | 13756 SF         |
| LEVEL 06     | 1277.97 m <sup>2</sup>        | 13756 SF         |
| LEVEL 07     | 1277.97 m <sup>2</sup>        | 13756 SF         |
| LEVEL 08     | 1277.97 m <sup>2</sup>        | 13756 SF         |
| <b>TOTAL</b> | <b>10417.90 m<sup>2</sup></b> | <b>112137 SF</b> |

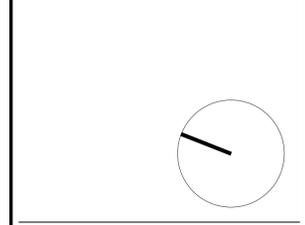
**PARKING SCH. (BICYCLE)**

| LEVEL        | COUNT     |
|--------------|-----------|
| Level P1     | 76        |
| LEVEL 01     | 6         |
| <b>TOTAL</b> | <b>82</b> |

**PARKING SCH. (VEHICLE)**

| LEVEL        | COUNT      |
|--------------|------------|
| Level P2     | 92         |
| Level P1     | 88         |
| LEVEL 01     | 33         |
| <b>TOTAL</b> | <b>213</b> |

1 ISSUED FOR CLIENT REVIEW 2025-04-25  
**ISSUE RECORD**



**project1 studio**  
 Project1 Studio Incorporated  
 (613) 884-3939 | mail@project1studio.ca

**98 BEARBROOK**  
 98 BEARBROOK ROAD  
 OTTAWA, ON

PROJ SCALE DRAWN REVIEWED  
 2502 NOTED CG RMK

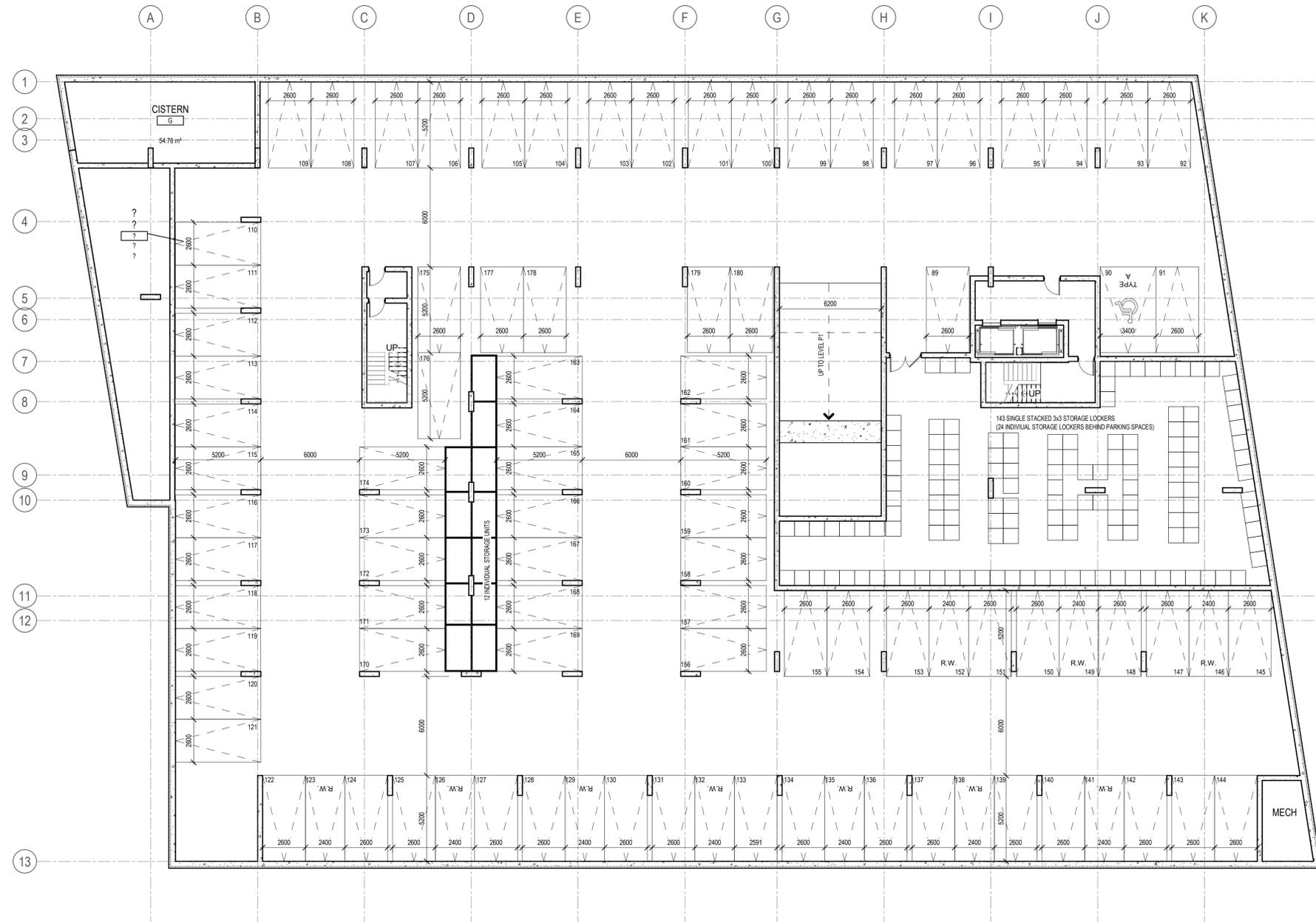
**SITE PLAN**

**SP-01**

4 SITE PLAN  
 SP-01 SCALE: 1 : 150

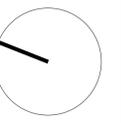
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KEY PLAN



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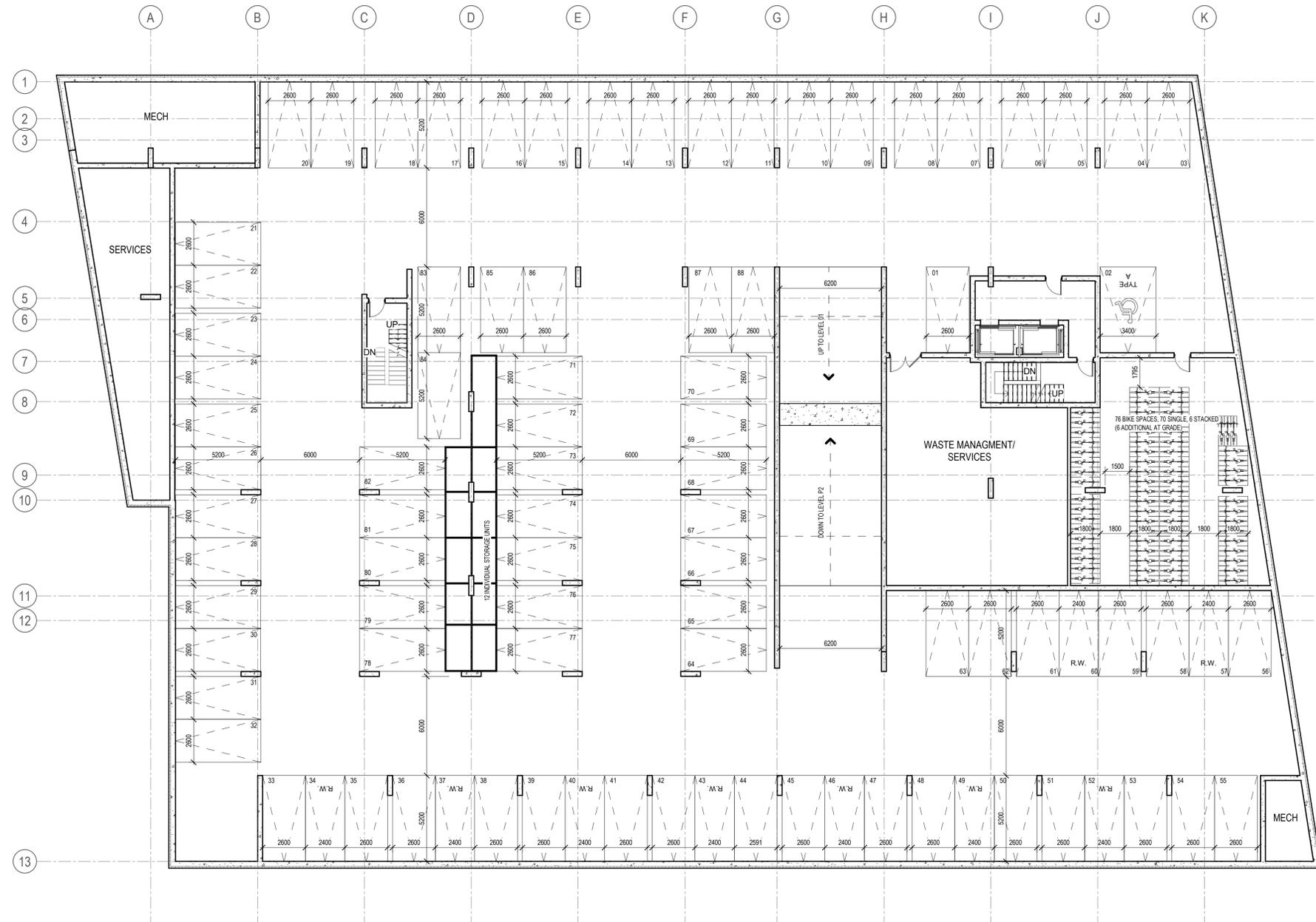
| PROJ | SCALE | DRAWN | REVIEWED |
|------|-------|-------|----------|
| 2502 | NOTED | CG    | RMK      |

**LEVEL P2 FLOOR PLAN**

**A100.1**

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KEY PLAN



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| PROJ | SCALE | DRAWN | REVIEWED |
|------|-------|-------|----------|
| 2502 | NOTED | CG    | RMK      |

LEVEL P1 FLOOR PLAN

**A100.2**



**ELEVATION NOTES**

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**CLADDING LEGEND**

- 1 ALUMINUM PANEL BRONZE FINISH
- 2 ALUMINUM PANEL DARK GREY
- 3 BRICK DARK BROWN
- 4 BRICK TAUPE
- 5 BRICK LIGHT TAUPE
- 6 PRE-CAST CONCRETE DARK GREY
- 7 ALUMINUM AND GLASS RAILING
- 8 PRIVACY SCREEN FROSTED GLASS

KEY PLAN

**2 SOUTH ELEVATION**  
A200 SCALE: 1 : 150



**1 EAST ELEVATION**  
A200 SCALE: 1 : 150

|   |                          |            |
|---|--------------------------|------------|
| 3 | ISSUED FOR COORDINATION  | 2025-05-08 |
| 1 | ISSUED FOR CLIENT REVIEW | 2025-04-25 |

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|      |       |       |          |
|------|-------|-------|----------|
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| 2502 | NOTED | BH    | RMK      |

**SOUTH & EAST ELEVATIONS**

**A200**



**ELEVATION NOTES**

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KEY PLAN

2 NORTH ELEVATION  
A201 SCALE: 1 : 150



1 WEST ELEVATION  
A201 SCALE: 1 : 150

3 ISSUED FOR COORDINATION 2025-05-08

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OTTAWA, ON

PROJ SCALE DRAWN REVIEWED  
2502 NOTED BH RMK

**NORTH & WEST ELEVATIONS**

**A201**