

TOPOGRAPHIC PLAN OF SURVEY OF
PART OF LOT 17
REGISTERED PLAN 303
CITY OF OTTAWA
MONUMENT-URSO SURVEYING LTD.

SCALE 1:150
METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE
SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS MADE
UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 18TH DAY OF NOVEMBER, 2024.

DATE: Dec. 6, 2024
STEFAN BAZAR
ONTARIO LAND SURVEYOR

LEGEND	DENOTES	FOUND SURVEY MONUMENT
■	CL	PLANTED SURVEY MONUMENT
□	IB	IRON BAR
○	SIB	STANDARD IRON BAR
○	SSIB	SHORT STANDARD IRON BAR
○	(WIT)	WITNESS
○	MEAS.	MEASURED
○	(1476)	MONUMENT-URSO SURVEYING LTD.
○	(P2)	PLAN 5R-12510
○	(P2)	PLAN 4R-25551
○	(D1)	INST. N386998
○	CB	CATCH BASIN
○	MH-S	MAINTENANCE HOLE - SANITARY
○	MH-ST	MAINTENANCE HOLE - STORMWATER
○	FDH	FIRE HYDRANT
○	AS	SIGN
○	BF	BOARD FENCE
○	PF	PLASTIC RESIN PANEL FENCE
○	CLF	CHAIN LINK FENCE
○	EOL	EDGE OF INTERLOCK
○	T/G	TOP OF GRATE
○	C/L	CENTRELINE
○	QUP	UTILITY POLE
○	Ø	DIAMETER
○	OH	OVERHEAD WIRES
○	GM	GAS METER
○	○	DECIDUOUS TREE
○	○	CONIFEROUS TREE
○	○	EXISTING ELEVATIONS
○	○	TOP OF WALL/CURB ELEVATIONS



UTILITY NOTE
THIS DRAWING DOES NOT SERVE AS A COMPREHENSIVE CONFIRMATION OF
ALL UTILITIES PRESENT. IT IS THE USER'S RESPONSIBILITY TO CONTACT THE
RELEVANT UTILITY AUTHORITIES FOR VERIFICATION.

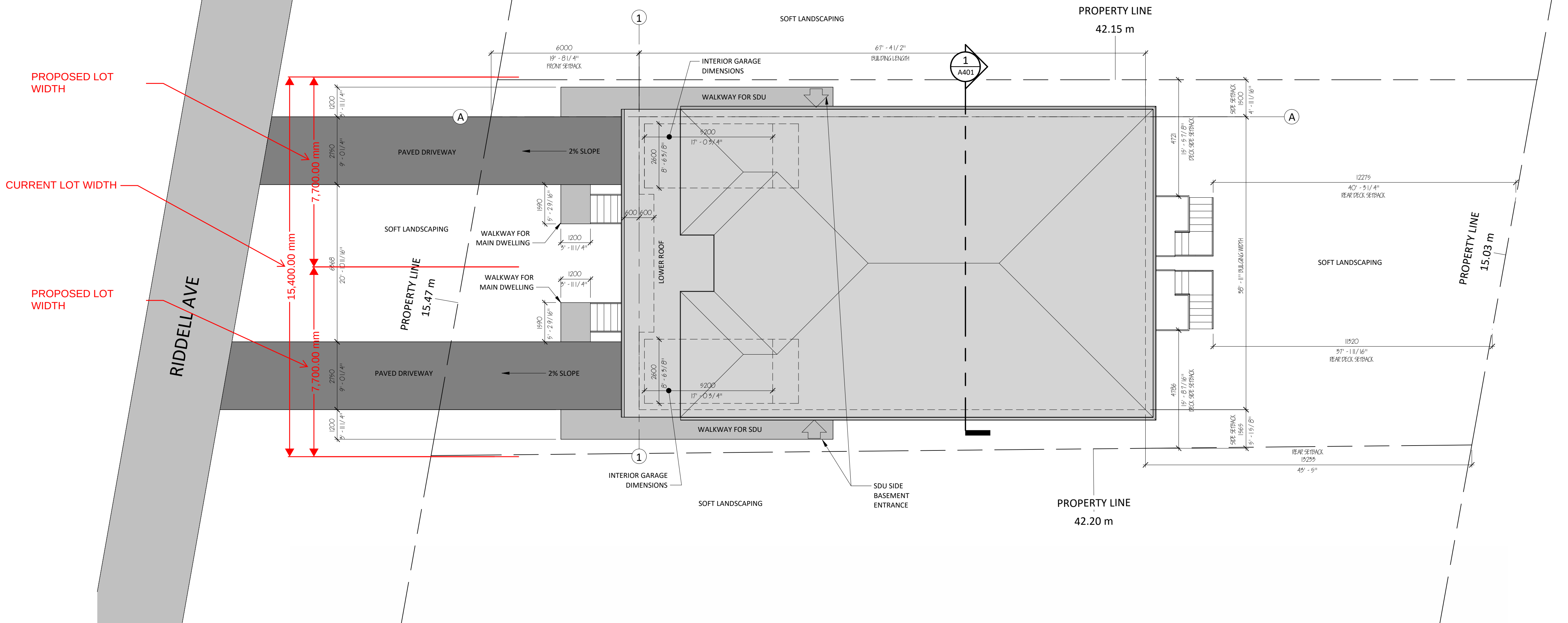
ONLY UTILITIES VISIBLE ON THE SURFACE HAVE BEEN IDENTIFIED.
PRIOR TO ANY ACTIVITIES SUCH AS DIGGING, IT IS MANDATORY TO OBTAIN A
FIELD LOCATION OF UNDERGROUND UTILITIES FROM THE APPROPRIATE
AUTHORITY.

ELEVATION NOTE
ELEVATIONS ARE GEODETIC AND REFERRED TO THE CANADIAN
GEODETIC VERTICAL DATUM (CGVD28/78) BY DIRECT MEASUREMENT
TO A REAL TIME NETWORK.

THE USER OF THIS INFORMATION BEARS THE RESPONSIBILITY TO CONFIRM
THAT THE JOB BENCHMARK REMAINS UNALTERED AND UNDISTURBED, AND
THAT ITS RELATIVE HEIGHT AND DESCRIPTION ALIGN WITH THE DETAILS
PRESENTED IN THIS PLAN.

BEARING NOTES
BEARINGS ARE MTM GRID, DERIVED FROM CAN-NET GPS OBSERVATIONS AND
ARE REFERRED TO THE CENTRAL MERIDIAN 76° 30' WEST LONGITUDE OF
MTM ZONE 9 NAD83 (CSRS) (2010.0).

FOR BEARING COMPARISONS A ROTATION OF 00°27'35" COUNTER-CLOCKWISE
WAS APPLIED TO PLAN (P1) AND A ROTATION OF 00°01'12" COUNTER-CLOCKWISE
WAS APPLIED TO PLAN (P2) TO CONVERT TO GRID BEARINGS.



1 SITE PLAN
A002 1:100

Project	24-006 - 827 Riddell Ave - NC
Phase	Permit Drawings
Date Updated	March 19, 2025

Line No.	Ontario Building Code of Canada 2024 Assessment	OBC 2024 Reference
1	Summary	Application of Part 9 A - 1.3.3.3
2	Project Type:	New Construction
3	Primary Occupancy Classification:	Group C Residential
4	Primary Occupancy:	House
5	Other Major Occupancy Classification:	
6	Other Major Occupancy:	
7	Number of Storeys:	2 Above Grade 1 Below Grade 2.1.1.3
8	Building Height (m):	7.97 N/A
9	High Building:	No N/A
10	Building Area (m ²):	221 1.4.1.2
11	Gross Area (m ²):	601
12	Number of Streets Facing:	1 9.10.20.3
13	Construction Type Proposed:	Non-Combustible
14	Sprinkler System Proposed:	No Sprinkler System Proposed
15	Occupant Load Based On:	Occupancy: C Load: 12 9.9.1.3
16	Occupant Load Below Grade:	Occupancy: C Load: 8 9.9.1.3
17	Building Classification:	Group C Residential 9.10.2
18	Permitted Construction:	Combustible or Non-Combustible Construction (Singly or Combination) 9.10.6
19	Maximum Area (m ²):	600 A - 1.3.3.3
20	Sprinklers:	Not Required 9.10.8
21	Fire Resistance Ratings	
22	Floors:	45 min 9.10.8
23	Loadbearing Walls/Columns:	45 min
24	Mezzanines:	45 min
25	Roof:	-
26	Mezzanines	
27	Area (m ²):	N/A 9.10.4.1
28	Spatial Separation	9.10.14 / 3.2.3
29	Max. Area of EBF (m ²)	Limiting Distance (m) L/H or H/L Permitted Max. % of Openings Proposed % of Openings FRR Ext. Wall (hrs) Combustible Construction Permitted (Y/N) Non-Combustible Cladding Required (Y/N) Listed Design or Description
30	North	41 6.1 Less than 3:1 69% 27% 45 min Comb. or Non-Comb. Comb. or Non-Comb. Comb. & Non-Comb.
31	South	35 15.65 Less than 3:1 100% 27% 45 min Comb. or Non-Comb. Comb. or Non-Comb. Comb. & Non-Comb.
32	East	110 1.5 3:1 to 10:1 7% 6.80% 1 hr Non-Comb. Non-Comb. Non-Comb.
33	West	110 1.5 3:1 to 10:1 7% 7% 1 hr Non-Comb. Non-Comb. Non-Comb.
34	Component Fire Separations	
35	Exits:	45min Closures: 45min 3.4.4.1, 3.1.8.4, 3.1.8.12
36	Service Rooms (fuel fired):	1HR Closures: 45min 3.6.2.1, 3.1.8.4, 3.1.8.12
37	Service Rooms (non-fuel fired):	N/A Closures: N/A 3.6.2.1, 3.1.8.4, 3.1.8.12
38	Electrical Rooms:	1HR Closures: 45min 3.6.2.1, 3.1.8.4, 3.1.8.12
39	Janitor Rooms:	N/A Closures: N/A 3.3.1.21, 3.1.8.4, 3.1.8.12
40	Common Laundry Rooms:	N/A Closures: N/A 3.3.1.22, 3.1.8.4, 3.1.8.12
41	Combustible Refuse Storage:	N/A Closures: N/A 3.6.2.5, 3.1.8.4, 3.1.8.12
42	Generator Rooms:	N/A Closures: N/A 3.6.2.6, 3.1.8.4, 3.1.8.12
43	Protection Zones for Disabled Persons:	N/A Closures: N/A 3.3.1.7, 3.1.8.4, 3.1.8.12
44	Vertical Service Spaces:	N/A 3.6.3
45	Horizontal Service Spaces:	N/A 3.6.4

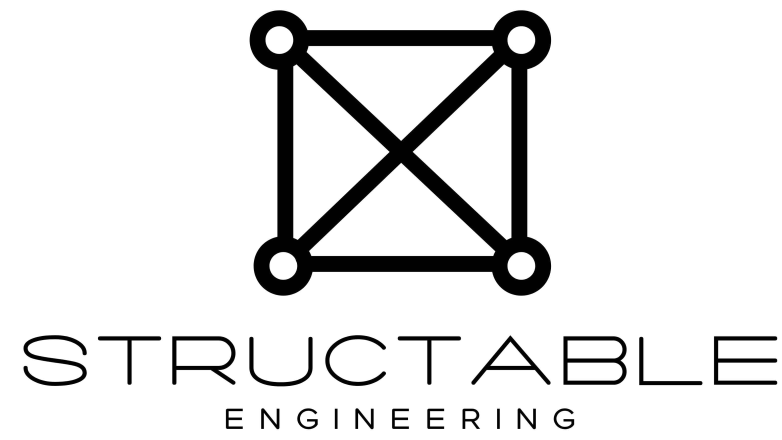
Line No.	Ontario Building Code of Canada 2024 Assessment	OBC 2024 Reference
46	Firefighting	
47	Fire Alarm:	N 9.10.18.2
48	Standpipe:	N N/A
49	Water Service/Supply is Adequate	Y N/A
50	Portable Extinguishers:	N (not req'd for dwelling units) 9.10.20.4
51	Windows or Access Panels Provided (2nd & 3rd Storeys) (Per code req'ts)	N 9.10.20.1
52	Access to Basements (Y/N):	Y 9.10.20.2
53	Access Route Provided (Y/N):	Y 9.10.20.3
54	Freeze Protection of Fire Prot. Sys.:	N/A 9.10.20.5
55	Exit Requirements	
56	Number of Required Exits:	2 9.9.8.2 / 9.9.9.2 & 3
57	Adequate Spacing Between Exits:	<25m 9.9.7.4
58	Travel Distance (Not Dwelling Unit):	N/A 9.9.8.2.1
59	Travel Limit (Dwelling Unit):	<41 storey Y 9.9.9.1
60	Egress from Bedrooms Provided:	Y 9.9.10
61	Means of Egress Dimensions	
62	Exit Width (except doors/corrs):	900mm 9.9.3
63	Public/Exit Corridor Width:	1100mm 9.9.3.2
64	Clear Height:	2.1m 9.9.3.3
65	Clear Height - Garages:	2m 9.9.3.5
66	Plumbing Facilities	
67	Required Facilities Provided (Y/N)	Y (kitchen sink, lavatory, bathtub or shower, water closet) 9.9.1
68	Barrier-Free Access	
69	BF Design Per Code Req'ts (Y/N):	N 9.5.2 / 3.8
70	Entrances:	N/A 3.8.2.2
71	Floor Areas with BF Path of Travel:	N/A 3.8.2.3.4
72	BF Access from Exterior:	N/A 3.8.2.5
73	Power Door Operator:	N/A 3.8.2.7
74	Signage:	N/A 3.8.2.10
75	Hazardous Substances	
76	Hazardous Substances (Y/N)	N/A 9.10.1.3(4)

DRAWING NOTES	
1.	THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO THE DESIGNER.
2.	THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ANY BUILDING PERMIT REQUIREMENTS.
3.	DO NOT SCALE DRAWINGS.
4.	ELECTRICALLY INTERCONNECTED SMOKE DETECTORS BETWEEN SDUs AND MAIN DWELLING UNITS
5.	BED AND LIVING AREAS TO CONTAIN SMOKE DETECTORS/ALARMS AND CARBON MONOXIDE DETECTORS/ALARMS

Committee of Adjustment
Received | Reçu le
Revised | Modifié le : 2025-05-05
City of Ottawa | Ville d'Ottawa
Comité de dérogation

6	Addenda#2	2025-04-29
5	Addenda #1	2025-04-16
4	Issued for Building Permit	2025-03-21
3	Issued for Progress	2025-02-28
2	Issued for Coordination	2024-12-21
1	Issued for Client	2024-12-06

No. Revision / Issue Date
Check and verify all dimensions before proceeding with the work DO NOT SCALE DRAWINGS



618 Rye Grass Way
Ottawa, ON, K2J 6Z8
343.342.3800 | www.structable.ca | info@structable.ca

	Stamp:

Client:
Structable

Project:
827 Riddell Ave Nottawa, ON K2A 2S3
NEW SEMI-DETACHED WITH SDUs

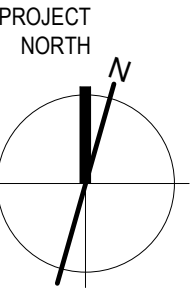
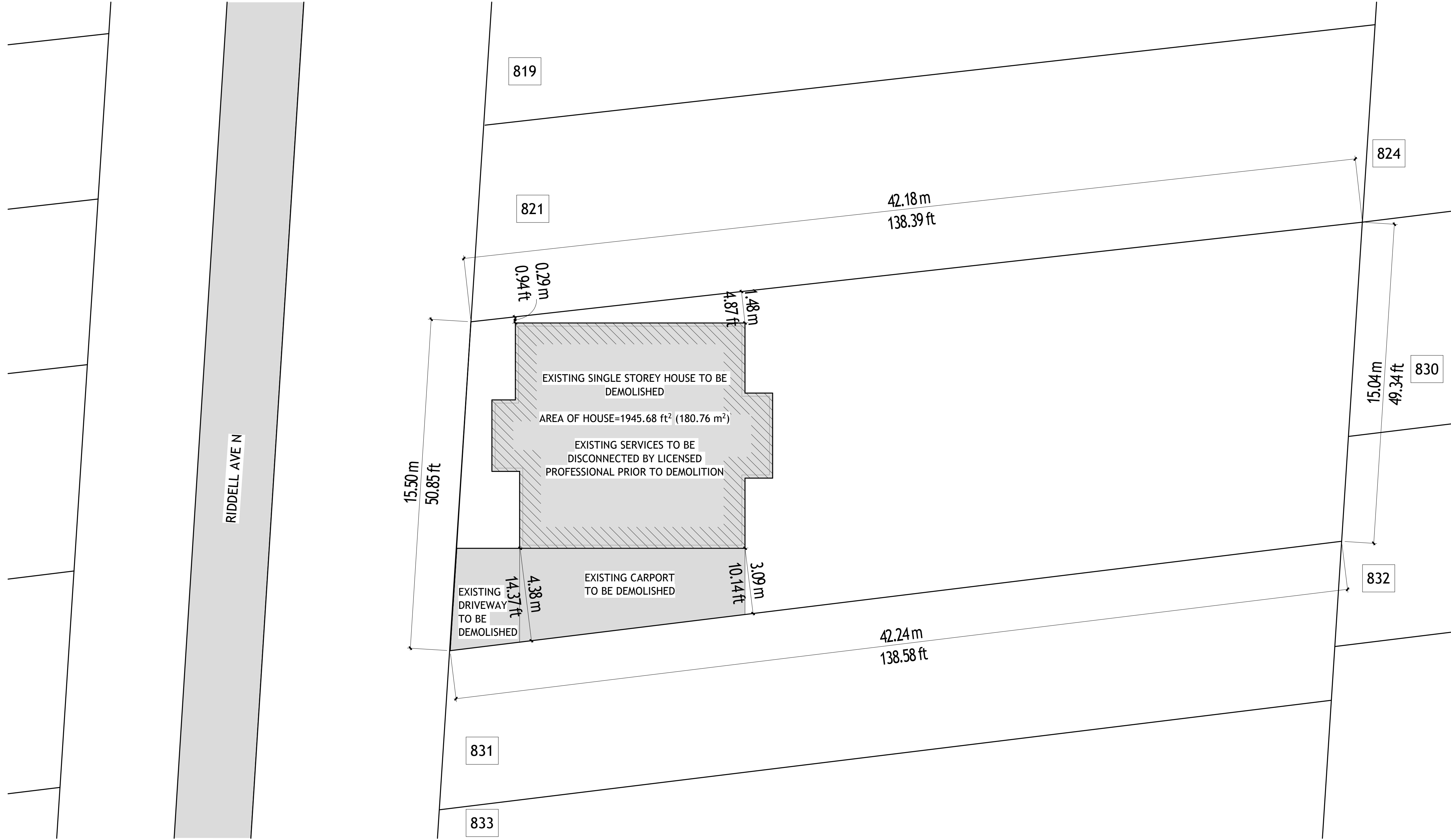
Drawing Title:
Site Plan & Code Matrix

Scale:	AS NOTED	Project Number:	24-060
Drawn By:	S.A BDOUR	Checked By:	AJK
Designed By:	AJK	Drawing Number:	A002
Date:	2024-08-05	SHEET	of

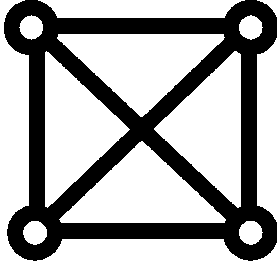
D:\Users\jmya\Desktop\DOCUMENT\WORK\Structable\work\827 Riddell Ave N\827 Riddell Ave N.rvt

1
1 : 100

DEMOLITION SITE PLAN



No.	Revision / Issue	Date
Check and verify all dimensions before proceeding with the work		DO NOT SCALE DRAWINGS



STRUCTABLE
ENGINEERING

618 Rye Grass Way
Ottawa, ON, K2J 6Z8
343.342.3800 | www.structable.ca | info@structable.ca

Client:

ABBAS MEZIANE

Project:

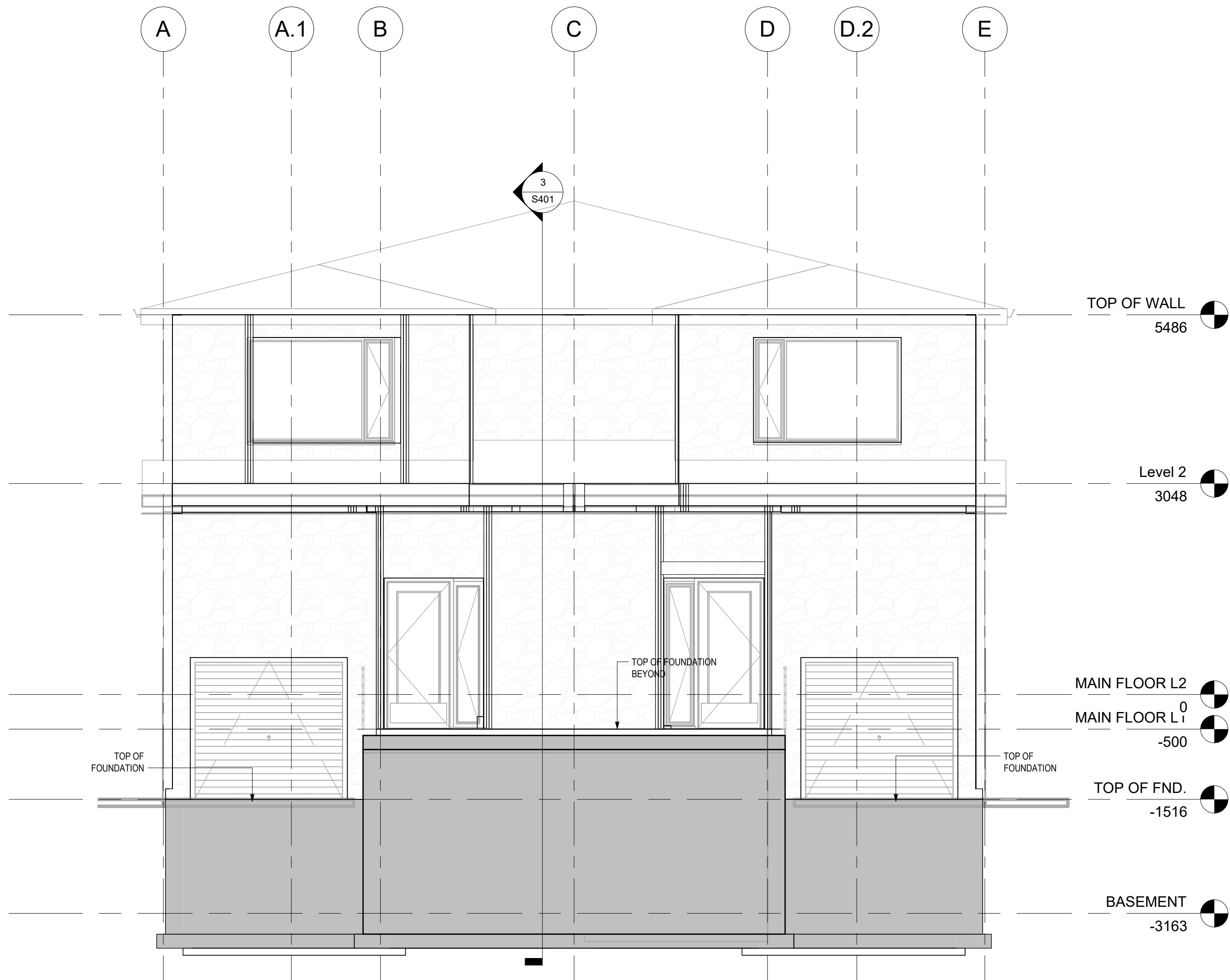
827 RIDDELL AVE N
NEW SEMI-DETACHED WITH SDUs

Drawing Title:

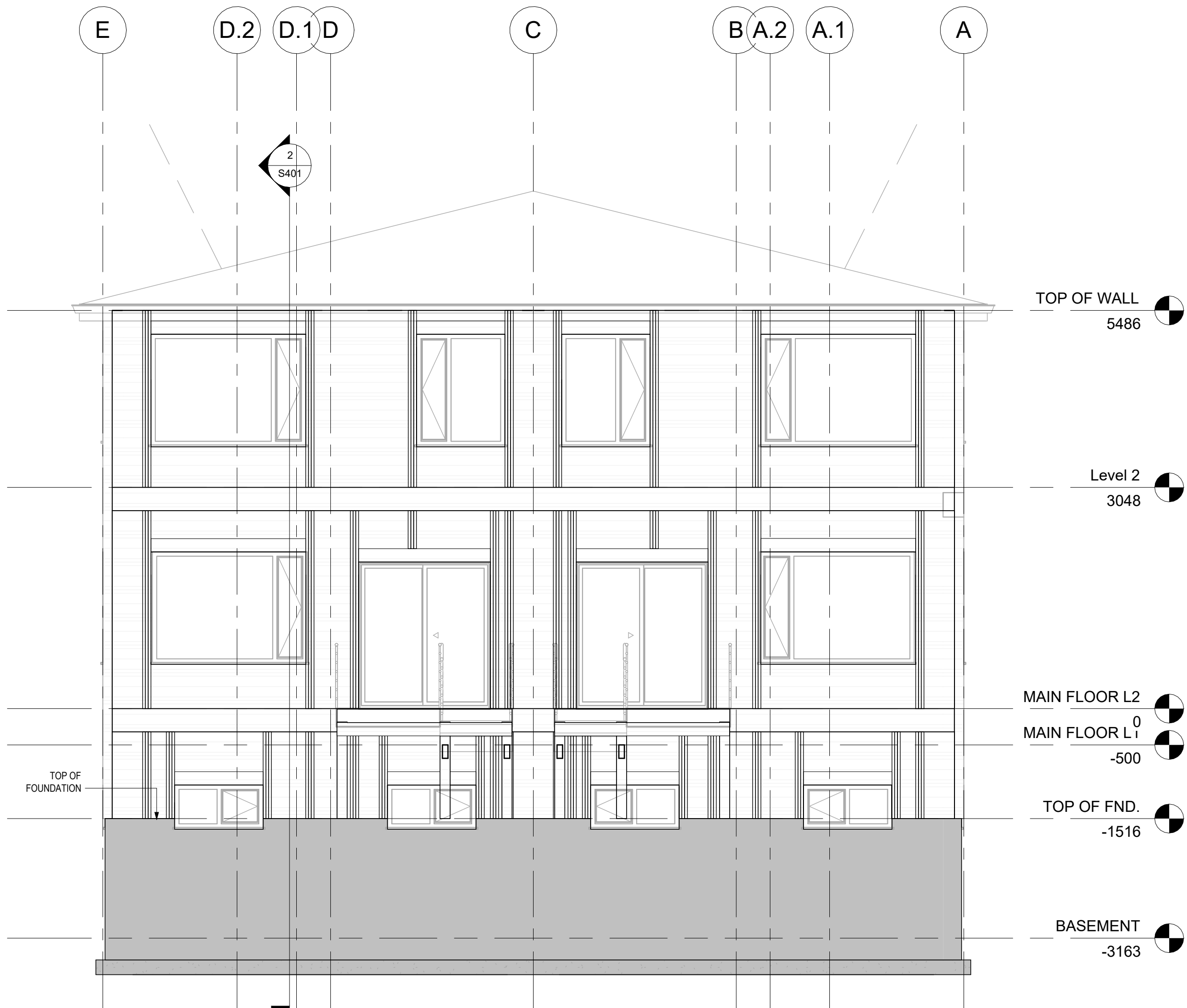
DEMOLITION SITE PLAN

Scale:	AS NOTED	Project Number:	24-060
Drawn By:	IV		
Checked By:	AKJ	Drawing Number:	S001
Designed By:	AKJ		
Date:	11/09/24	SHEET of	

C:\Users\drink\structable.ca\Abdul Jaber - 24-060 - 827 Riddell - New Semi Detached Building Permit\3. Subconsultants\3. Drafting\0. REVIT Models\24-060 - 827 Riddell - STR.rvt



1
S301 WEST ELEVATION
1 : 50

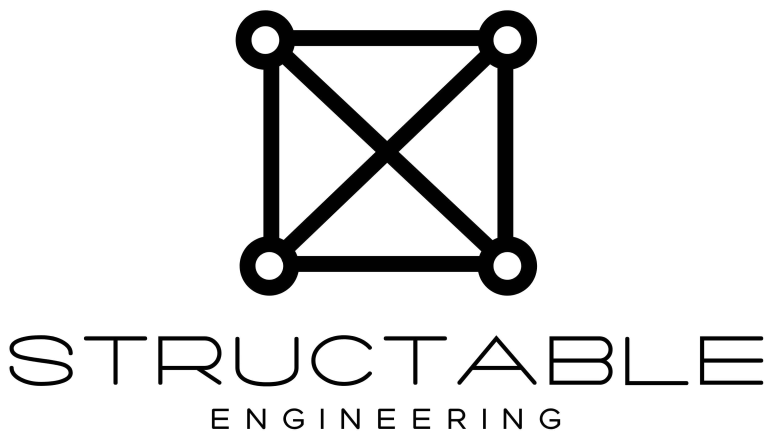


2
S301 EAST ELEVATION
1 : 50

3	ADDENDA#2	2025-04-29
2	ADDENDA #1	2025-04-16
1	ISSUED FOR BUILDING PERMIT	2025-03-28
No.	Revision / Issue	Date

Check and verify all dimensions before proceeding with the work

DO NOT SCALE DRAWINGS



618 Rye Grass Way
Ottawa, ON. K2J 6Z8
343.342.3800 | www.structable.ca | info@structable.ca



Client:
STRUCTABLE

Project:
**827 Riddell Ave N. Ottawa, ON K2A 2S3
NEW SEMI-DETACHED WITH SDUs**

Drawing Title:
EAST AND WEST ELEVATION

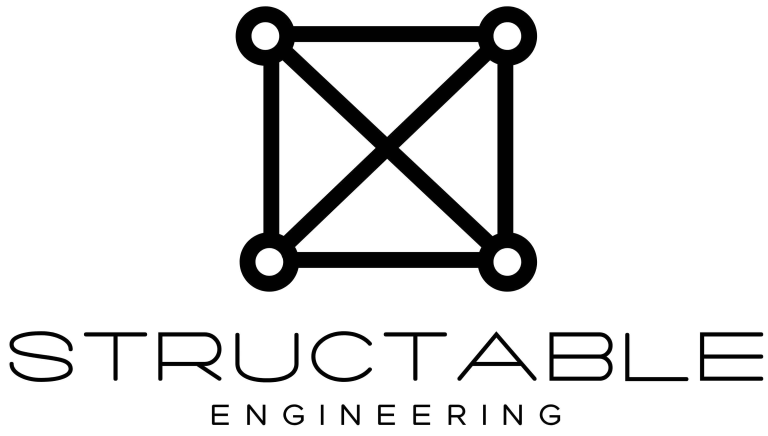
Scale:	AS NOTED	Project Number:	24-060
Drawn By:	TE		
Checked By:	AKJ	Drawing Number:	S301
Designed By:	AKJ		
Date:	04/22/24	SHEET of	

C:\Users\drink\structable.ca\Abdul Jaber - 24-060 - 827 Riddell - New Semi Detached Building Permit\3 - Subconsultants\3 - Drafting\0 - REVIT Models\24-060 - 827 Riddell - STR.rvt

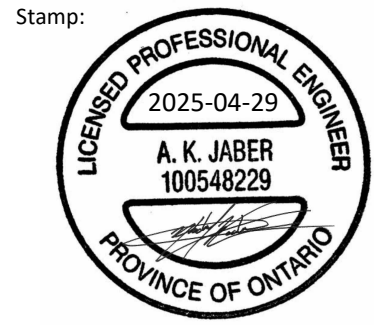


1 NORTH ELEVATION
S302 1 : 50

3	ADDENDA#2	2025-04-29
2	ADDENDA #1	2025-04-16
1	ISSUED FOR BUILDING PERMIT	2025-03-28
No.	Revision / Issue	Date
Check and verify all dimensions before proceeding with the work		DO NOT SCALE DRAWINGS



618 Rye Grass Way
Ottawa, ON. K2J 6Z8
343.342.3800 | www.structable.ca | info@structable.ca



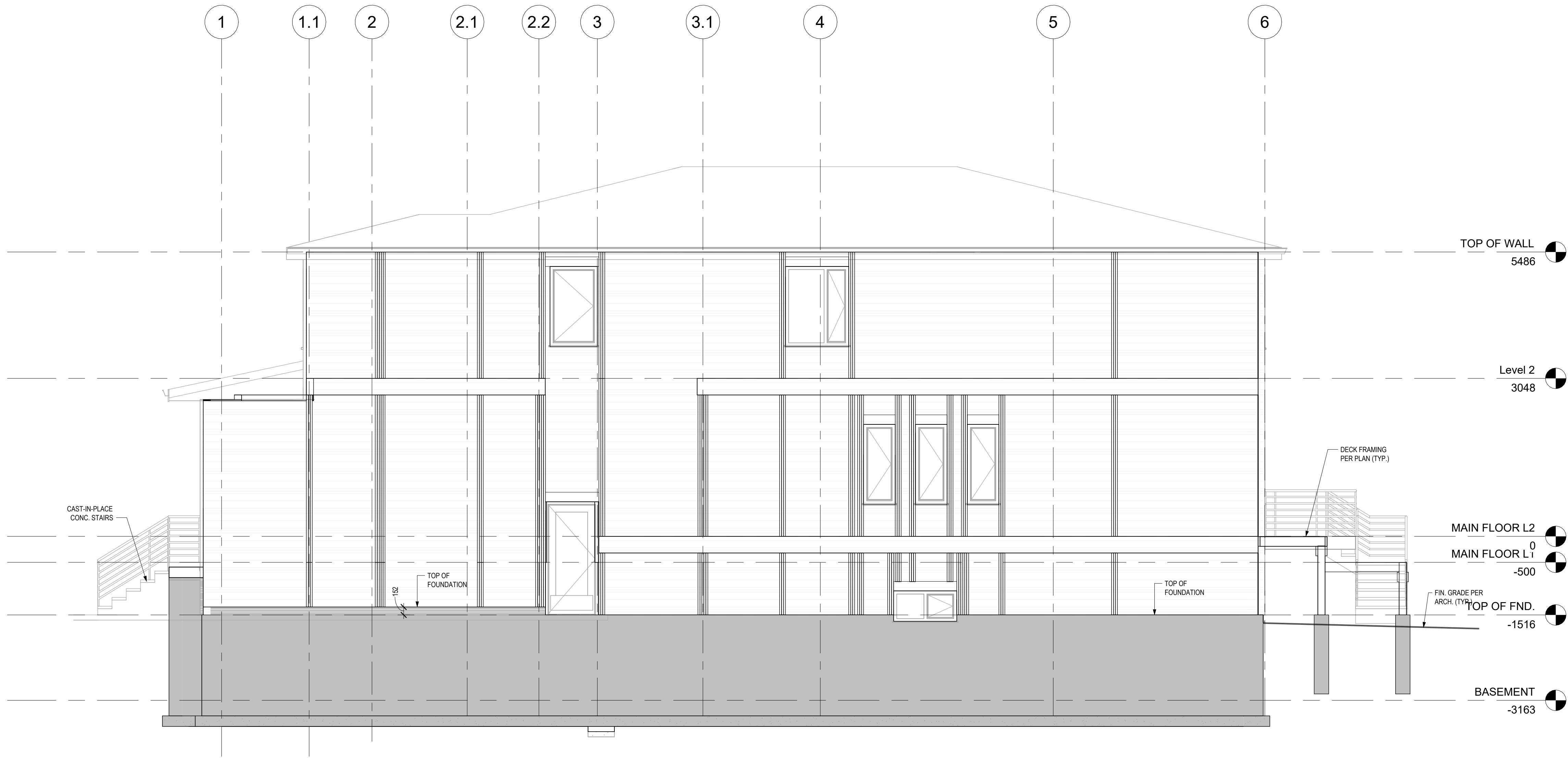
Client:
STRUCTABLE

Project:
827 Riddell Ave N. Ottawa, ON K2A 2S3
NEW SEMI-DETACHED WITH SDUs

Drawing Title:
NORTH ELEVATION

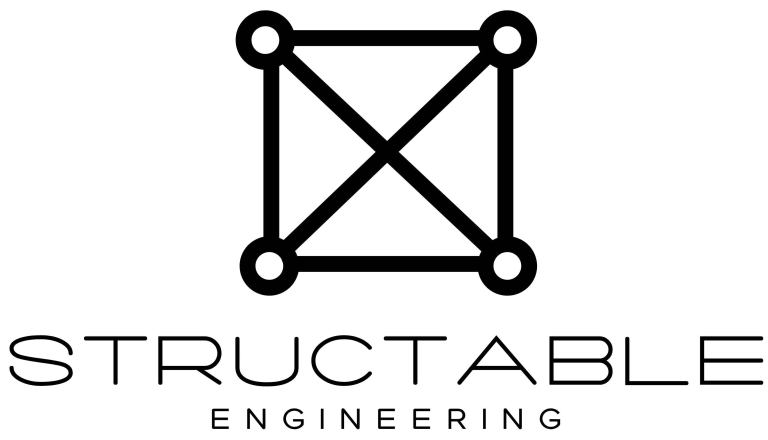
Scale:	AS NOTED	Project Number:	24-060
Drawn By:	TE	Drawing Number:	
Checked By:	AKJ		
Designed By:	AKJ		
Date:	02/25/25		
		SHEET of	S302

C:\Users\drink\structable.ca\Abdul Jaber - 24-060 - 827 Riddell - New Semi Detached Building Permit\3. Subconsultants\3. Drafting\0. REVIT Models\24-060 - 827 Riddell - STR.rvt



1 SOUTH ELEVATION
S303 1 : 50

3	ADDENDA#2	2025-04-29
2	ADDENDA #1	2025-04-16
1	ISSUED FOR BUILDING PERMIT	2025-03-28
No.	Revision / Issue	Date
Check and verify all dimensions before proceeding with the work		DO NOT SCALE DRAWINGS



618 Rye Grass Way
Ottawa, ON. K2J 6Z8
343.342.3800 | www.structable.ca | info@structable.ca



Client:
STRUCTABLE

Project:
**827 Riddell Ave N. Ottawa, ON K2A 2S3
NEW SEMI-DETACHED WITH SDUs**

Drawing Title:
SOUTH ELEVATION

Scale: AS NOTED	Project Number: 24-060
Drawn By: TE	Drawing Number: S303 SHEET of
Checked By: AKJ	
Designed By: AKJ	
Date: 02/25/25	