

SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of

LOT 48
REGISTERED PLAN 587
CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1 : 150
6 4.5 3.0 1.5 0 3 6 Metres

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

PART 2
THIS PLAN MUST BE READ IN CONJUNCTION WITH SURVEY REPORT DATED: April 14, 2025

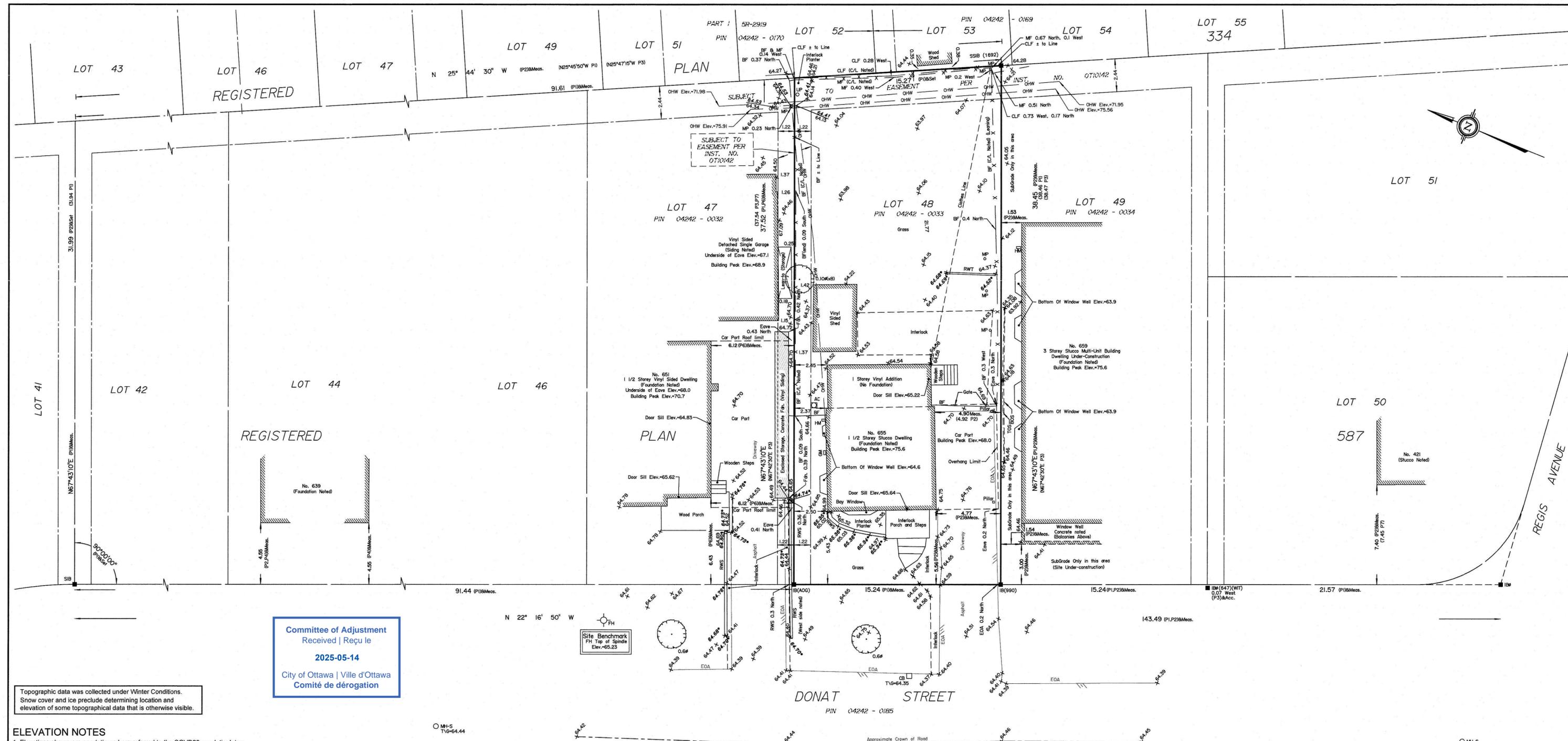
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Notes & Legend

- Denotes
- Survey Monument Planted
 - Survey Monument Found
 - SIB Standard Iron Bar
 - SSIB Short Standard Iron Bar
 - IB Iron Bar
 - IB# Round Iron Bar
 - (WIT) Witness
 - Mess. Measured
 - (AOG) Annis, O'Sullivan, Vollebek Ltd.
 - Acc. Accepted
 - U/S Underside
 - (P1) Registered Plan 587
 - (P2) (1692) Plan dated February 10, 2025
 - (P3) (990) Plan dated October 8, 1999
 - (P4) (1692) Plan dated July 30, 2007
 - (P6) (AOG) Plan dated August 15, 1990
 - (P7) (990) Plan dated September 14, 1999
 - MH-ST Maintenance Hole (Storm Sewer)
 - MH-S Maintenance Hole (Sanitary)
 - CB Catch Basin
 - UP Utility Pole
 - Fth. Foundation
 - Overhead Wires
 - FH Fire Hydrant
 - Inv. Invert
 - T/G Top of Grate
 - GM Gas Meter
 - HM Hydro Meter
 - CLF Chain Link Fence
 - BF Board Fence
 - MF Metal Fence
 - EOA Edge of Asphalt
 - TOS Top of Slope
 - BOS Bottom of Slope
 - MP Metal Pole
 - + 65.00' Location of Elevations
 - + 65.00' Top of Retaining Wall Elevation
 - CL Centreline
 - Property Line
 - Deciduous Tree
 - ★ Coniferous Tree
 - AC Air Conditioner
 - RWS Stone Retaining Wall
 - RWT Timber Retaining Wall

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-103831

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29 (3).



Topographic data was collected under Winter Conditions. Snow cover and ice preclude determining location and elevation of some topographical data that is otherwise visible.

- ELEVATION NOTES**
- Elevations shown are geodetic and are referred to the CGVD28 geodetic datum, referencing Monument No. G-143, Index No. 311, having a published elevation of 60.640m.
 - It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.
- UTILITY NOTES**
- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
 - Only visible surface utilities were located.
 - A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Committee of Adjustment
Received | Reçu le
2025-05-14
City of Ottawa | Ville d'Ottawa
Comité de dérogation

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act and the Regulations made under them.
2. The survey was completed on the 9th day of April, 2025.

April 14, 2025
Date

V. Andrew Shelp
V. Andrew Shelp
Ontario Land Surveyor

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations and are referenced to Specified Control Points 01919760735 and 01919871649, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Plans (P1), (P3) AND (P7) are astronomic.

For bearing comparisons, a rotation of 01°09'50" counter-clockwise was applied to bearings on plan (P1), (P3) & (P7).

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Ontario Land Surveyors Job No. 25709-25 16322263 Condo. Inc. L1489P-987 D.F. NS

SITE PLAN

655 DONAT ST

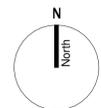
*THIS PLAN MUST BE READ IN CONJUNCTION WITH THE GRADING PLAN AND LEGAL SURVEY

ZONING ANALYSIS

R4UA ZONING REQUIREMENTS

ZONING MECHANISM	REQUIRED (M)	PROPOSED (M)	COMPLIANCE (YES/NO)
LOT WIDTH:	12	15.24	YES
LOT AREA:	360 m ²	580 m ²	YES
HEIGHT LIMIT:	11	11	YES
SETBACKS			
FRONT YARD:	4.5	4.5	YES
REAR YARD:	11.28 (30%)	12.08	YES
SIDE YARDS:	1.5	1.68	YES
SOFT LANDSCAPING:			
(FRONT YARD):	40%	41.3%	YES
(REAR YARD):	50%	99.2%	YES
TOTAL LOT AREA:	30%	39.8%	YES
WALKWAYS:			
PRIMARY:	1.8 m MAX	1.2 - 1.45 max.	YES
WASTE COLLECTION:	2.2 MAX	1.2 - 1.45 max.	YES
Maximum number of permitted dwelling units per apartment building, low-rise is eight (8).	(8).	10	NO (RELIEF REQUIRED)

KEY PLAN



LOT: 48
REGISTERED PLAN: 587

*THIS PLAN MUST BE READ IN CONJUNCTION WITH THE GRADING PLAN AND LEGAL SURVEY

DEVELOPMENT REQUIREMENTS

TOTAL NUMBER OF UNITS:	10 UNITS	
	(5) 1 BED UNITS: 50%	
	(5) 2 BED UNITS: 50%	
DWELLING UNIT SIZES:		
UNIT TYPE A:	1 BED	45.9 m ² (494 ft ²)
UNIT TYPE B:	1 BED BARRIER FREE	62.6 m ² (674 ft ²)
UNIT TYPE C:	2 BED	85-94 m ² (915-1,015 ft ²)

BUILDING AREAS

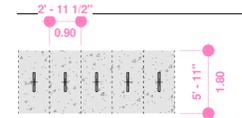
BUILDING GROSS FLOOR AREA:	653 m ² (7,037 ft ²)
*TOTAL AREA OF ALL FLOORS ABOVE GRADE, MEASURED WITHIN THE OUTSIDE FACE OF EXTERIOR WALLS. & 896 m ² (9,644 ft ²) INCLUDING THE BASEMENT LEVEL.	
BUILDING AREA:	222.8m ² (2,398 ft ²)
*GREATEST HORIZONTAL AREA OF THE BUILDING, MEASURED WITHIN THE OUTSIDE FACE OF EXTERIOR WALLS.	
BUILDING HEIGHT:	3 STOREYS (11 m)
BICYCLE PARKING:	5 BIKE RACKS MIN.
*0.50 per dwelling unit	
WASTE COLLECTION:	
GARBAGE *0.231 YD ³ per dwelling unit	1.85 YD ³ (QTY: 4) 360L CARTS
RECYCLING *QTY: 1 BLUE + 1 BLACK CART	2 BLUE + 2 BLACK CARTS
*1 - 360L per (6 dwelling units)	
ORGANICS *QTY: 1 Communal	1 GREEN CART
240L Green container per (50 units)	

AVERAGE GRADE CALCULATION

POINT A - 0.00 m
POINT B - 0.00 m
POINT C - 0.00 m
POINT D - 0.00 m

AVERAGE GRADE: 0.00 m

BICYCLE PARKING DIMENSIONS



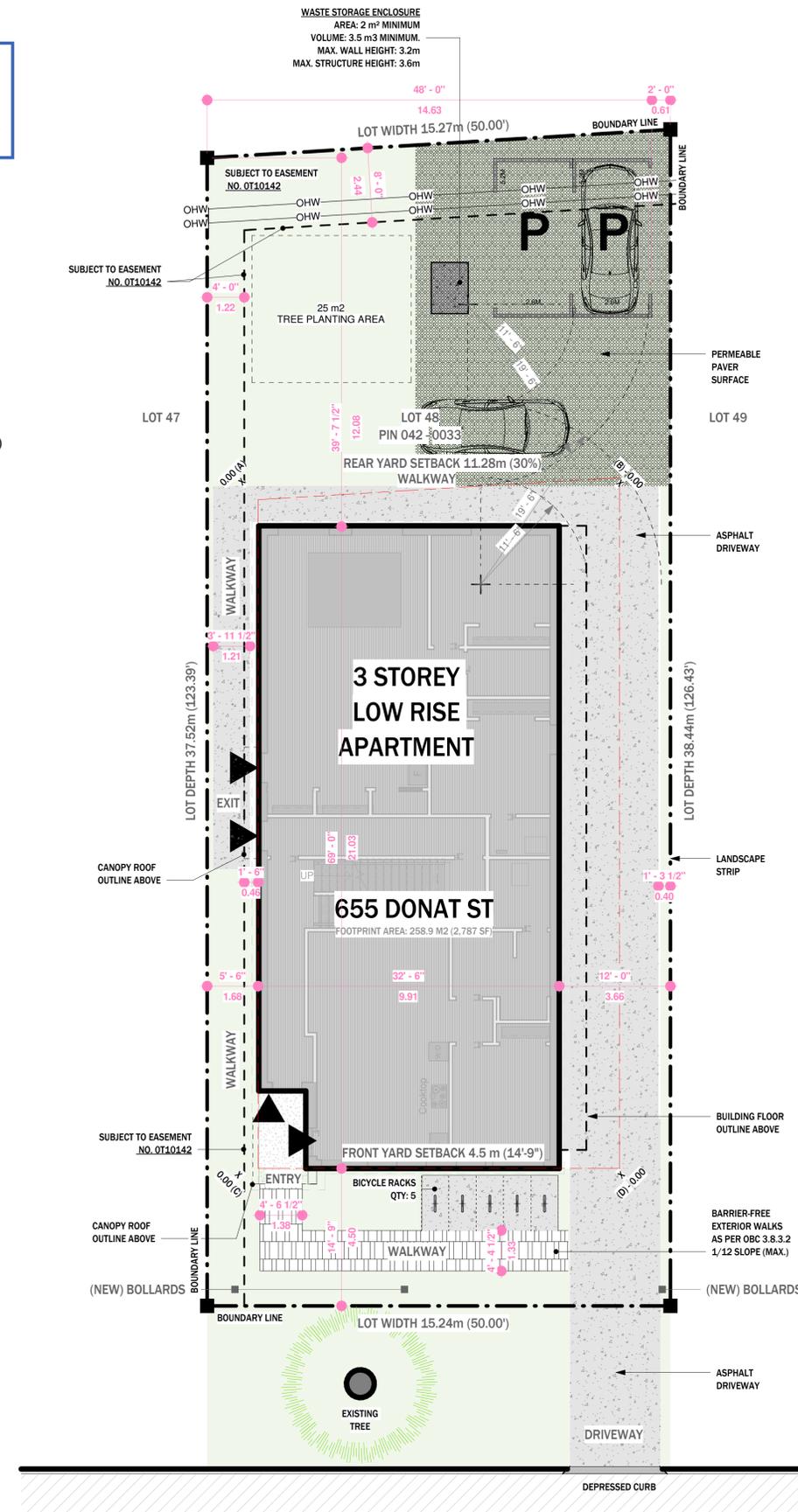
SOFT LANDSCAPING CALCULATIONS

TOTAL LOT
TOTAL LOT AREA: 580m² (6,243 ft²)
TOTAL SOFT LANDSCAPE: 230 m² (2,482 ft²)
TOTAL LOT SOFT LANDSCAPE PERCENTAGE: 39.8%

FRONT YARD
TOTAL LOT AREA: 68.56m² (738 ft²)
TOTAL SOFT LANDSCAPE: 28.3 m² (305 ft²)
SOFT LANDSCAPE PERCENTAGE: 41.3%

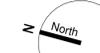
REAR YARD
TOTAL LOT AREA: 172m² (1,853 ft²)
TOTAL SOFT LANDSCAPE: 170.9 m² (1,840 ft²)
SOFT LANDSCAPE PERCENTAGE: 99.2%

Committee of Adjustment
Received | Reçu le
2025-05-14
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Comité de dérogation



655 DONAT ST.

APPROX C/L OF STREET



SITE PLAN LEGEND

- SOFT LANDSCAPING
- WALKWAYS

TREE PLANTING LEGEND

- NEW 50MM DIAMETER TREE APPROVED TREE SPECIES:
 - SERVICEBERRY
 - IVORY SILK LILAC
 - SERBIAN SPRUCE
- *THE PROPOSED PLANTING AREA APPEARS TO HAVE SUFFICIENT SOIL VOLUME FOR THE TREE(S) SPECIFIED.
- FOR GROWING MEDIUM USE GREELY TRIPLE SOIL MIX OR APPROVED ALTERNATIVE



DESIGNED BY: A Cesare

DONAT ST.

Project No. INDV. BCIN: Project Number FIRM BCIN:



- Revisions
- DRAFT SITE LAYOUT - MARCH 31, 2025
 - SITE LAYOUT (R1) - APRIL 28, 2025
 - SITE LAYOUT (R2) - MAY 2, 2025

- Notes
- These drawings are to be read in conjunction with all other project drawings and specifications.
 - The contractor shall check and verify all dimensions and report any errors and omissions to the designer.
 - All work and materials to be in compliance with all codes, regulations and bylaws.
 - Do not scale drawings.
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Scale 1/8" = 1'-0"

SITE PLAN

REVISION #

A0.3

