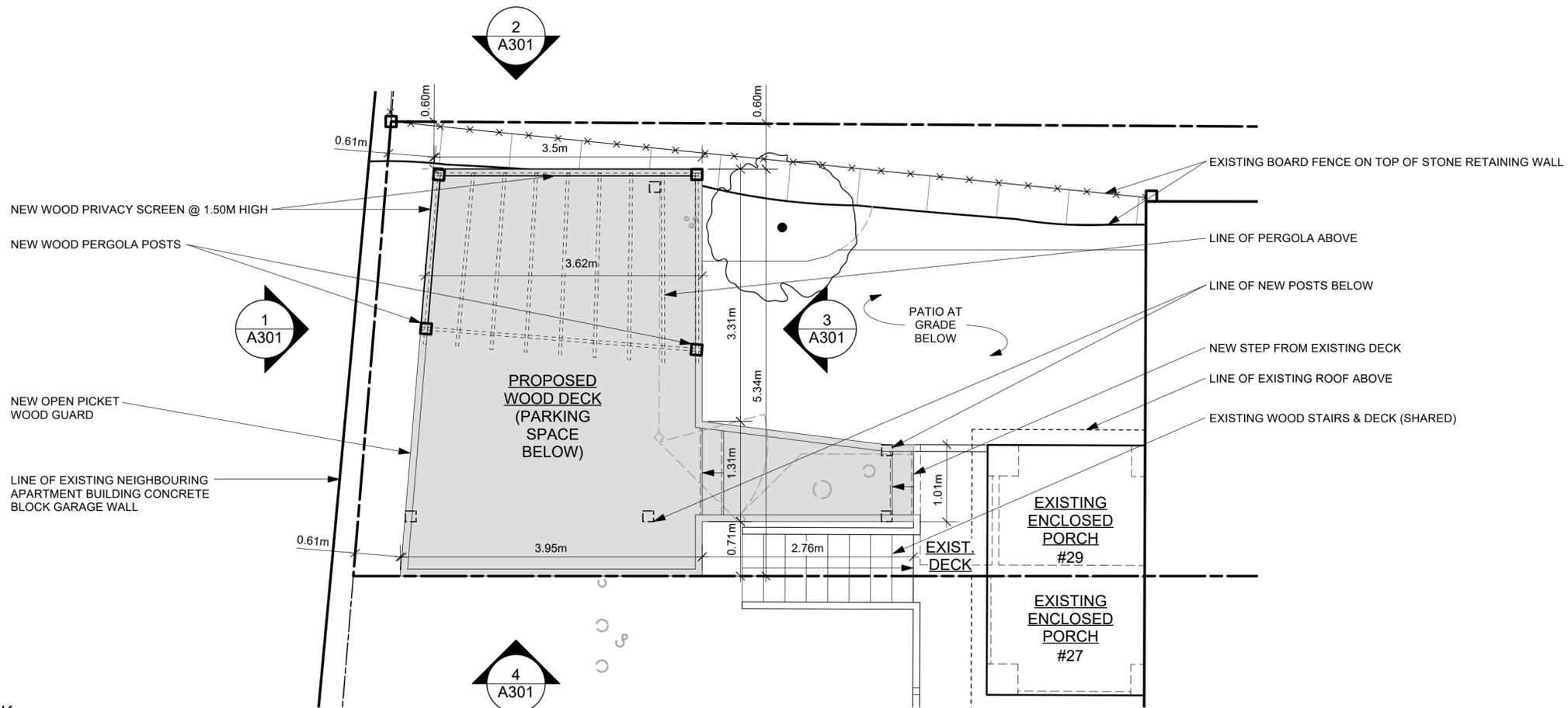


1 PLAN @ GRADE  
A201



2 PLAN @ DECK  
A201

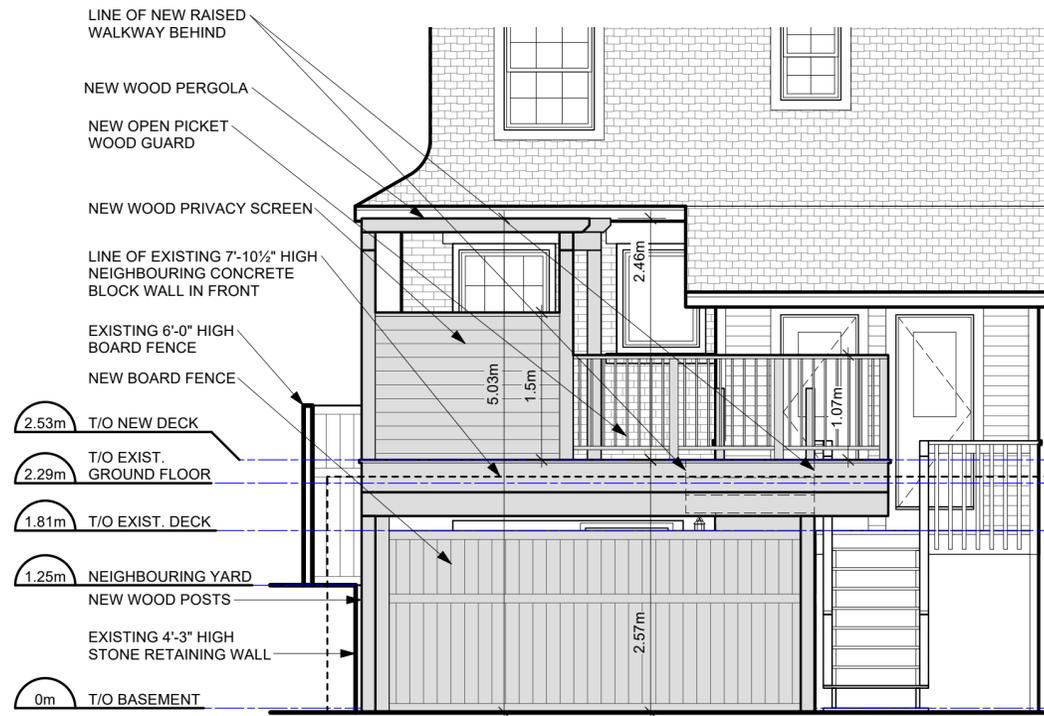
no.	date	revision
1	2025-05-08	Issued for minor variance

- GENERAL NOTES**
- Contractor must verify dimensions and conditions on site before proceeding with any portion of this work.
  - Do not scale from drawings.
  - All work to comply with the Ontario Building Code and municipal regulations.
  - This drawing to be read in conjunction with all material relevant to this project.

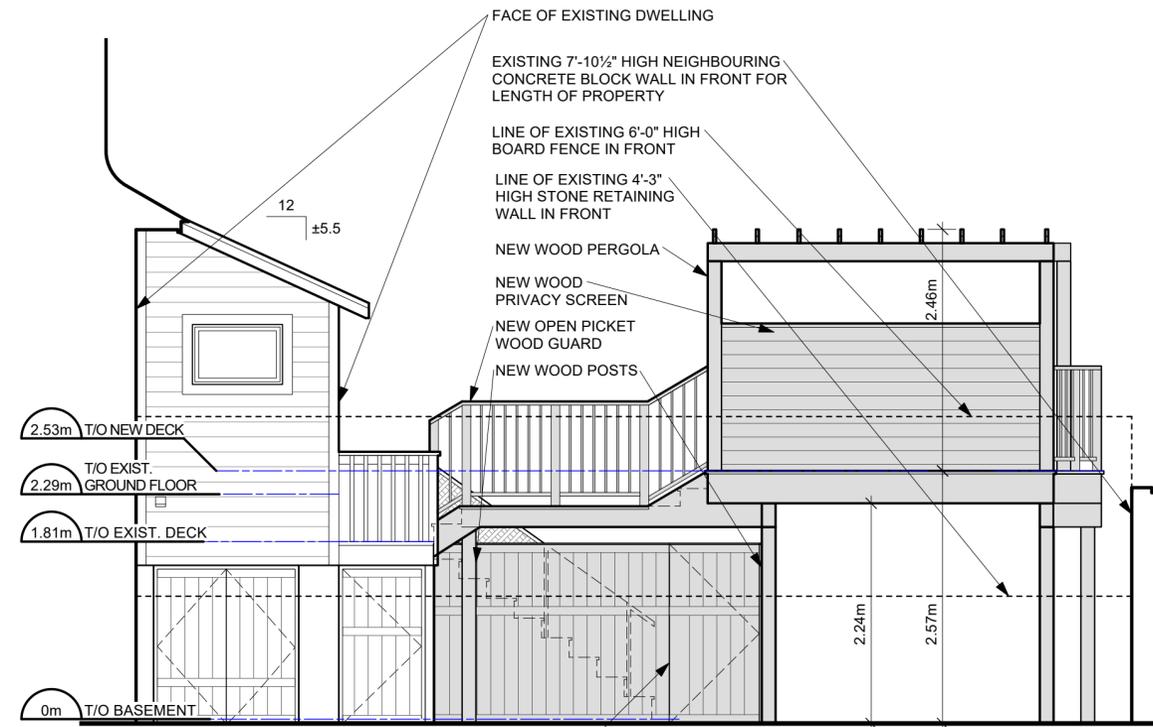


**jane thompson architect**  
 404 mackay street  
 ottawa, ontario, K1M 2C4  
 tel: (613)747-8104  
 jtarch@rogers.com

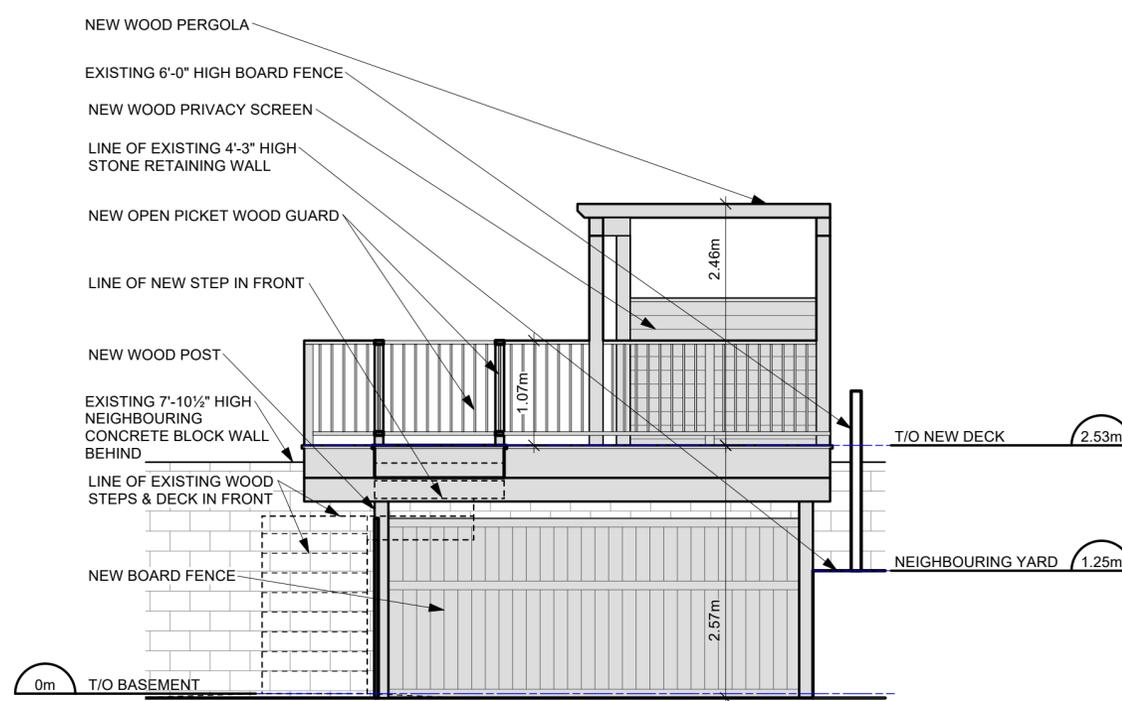
scale	1/4" = 1'-0"
job no.	2415
project	29 ACACIA AVENUE OTTAWA, ON
date	May 8, 2025
drawing	DECK PLANS @ GRADE+ @ DECK
designed	ED
drawn	IC
checked	ED
dwg no.	A201



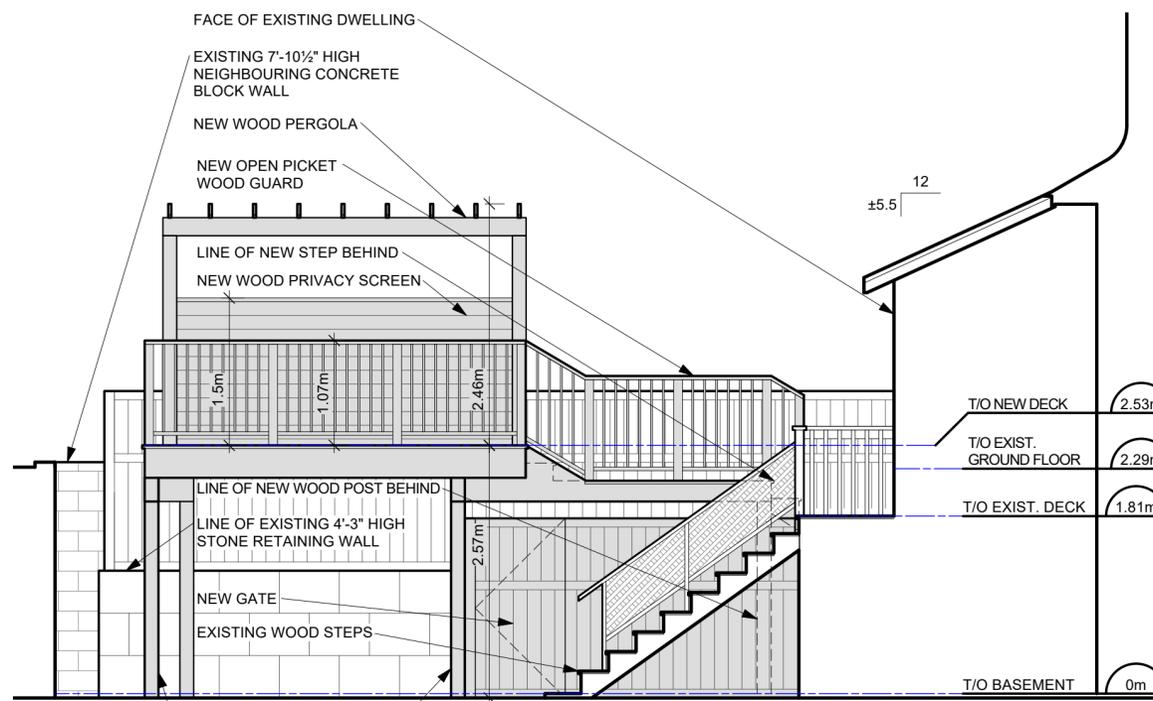
**1 WEST ELEVATION**  
A301



**2 NORTH ELEVATION**  
A301



**3 EAST ELEVATION**  
A301



**4 SOUTH ELEVATION**  
A301

no.	date	revision
1	2025-05-08	Issued for minor variance

- GENERAL NOTES**
- Contractor must verify dimensions and conditions on site before proceeding with any portion of this work.
  - Do not scale from drawings.
  - All work to comply with the Ontario Building Code and municipal regulations.
  - This drawing to be read in conjunction with all material relevant to this project.

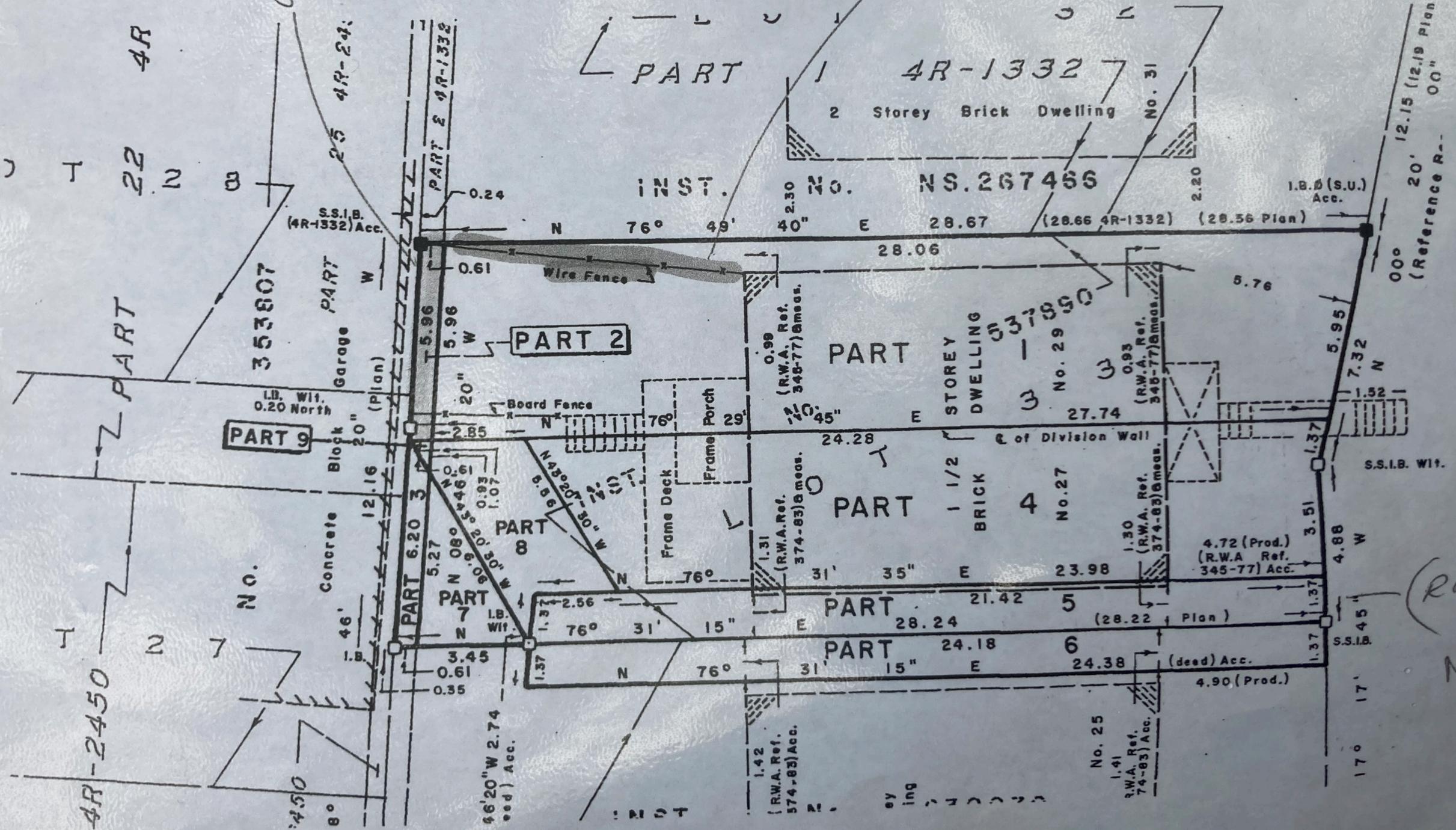


**jane thompson architect**  
404 mackay street  
ottawa, ontario, K1M 2C4  
tel: (613)747-8104  
jtarch@rogers.com

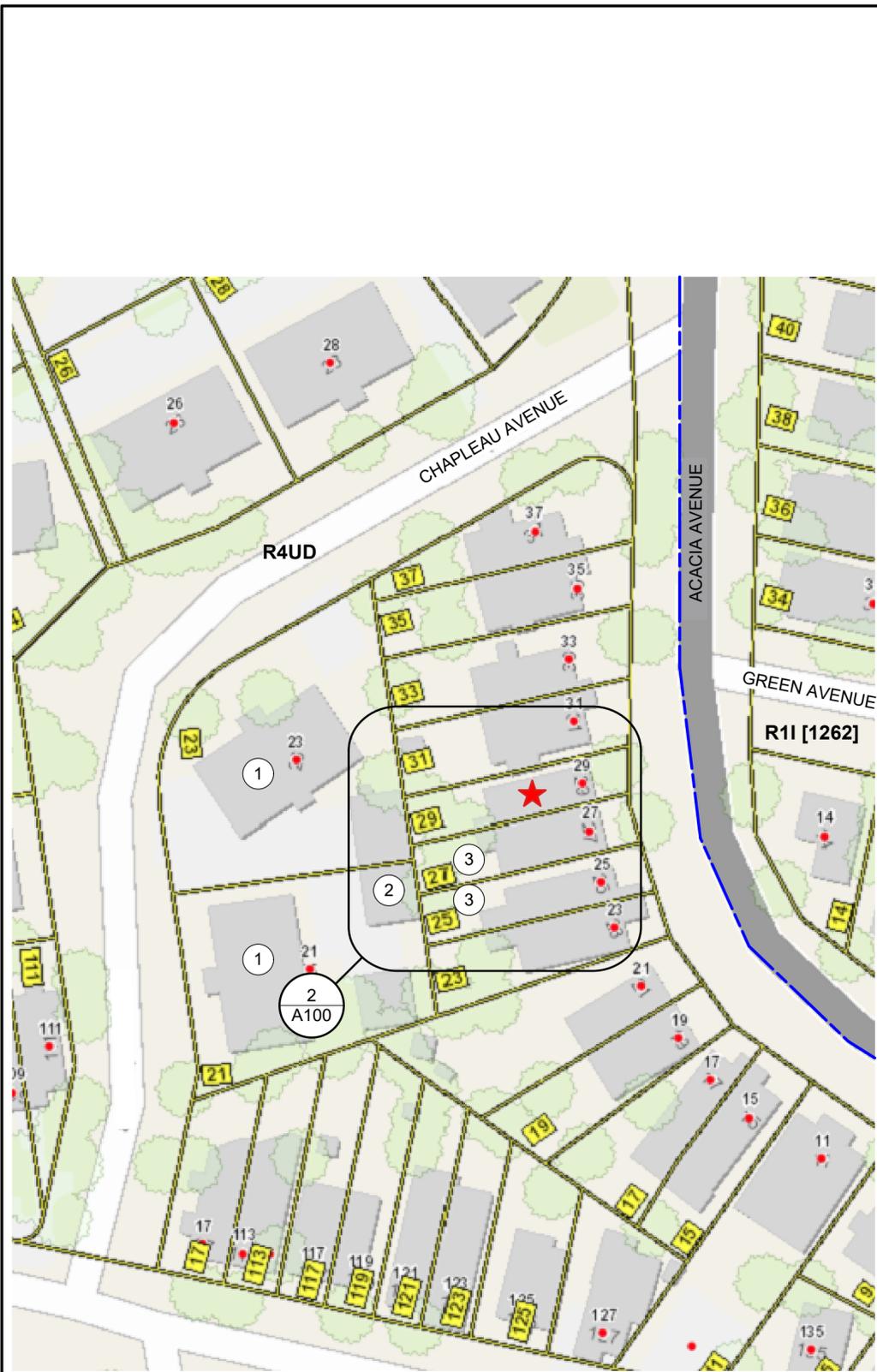
scale	1/4" = 1'-0"
job no.	2415
project	29 ACACIA AVENUE OTTAWA, ON
date	May 8, 2025
drawing	DECK ELEVATIONS
designed	ED
drawn	IC
checked	ED
dwg no.	A301

N671569  
utility easement

encroachment agent

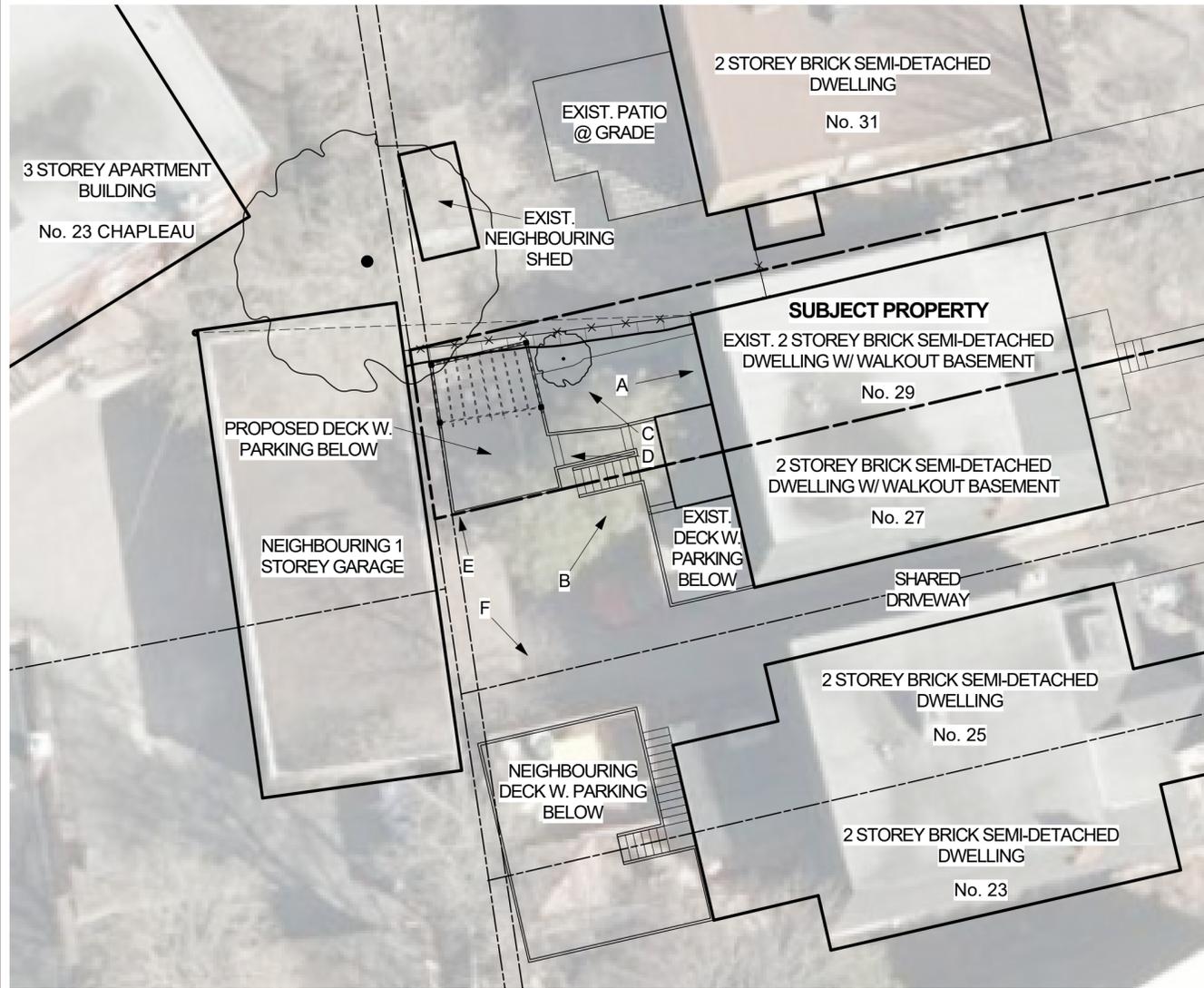


(row)  
N671497



**DRAWING LEGEND:**

- ZONING BOUNDARY
- SUBJECT PROPERTY
- 3 STOREY APARTMENT BUILDING
- 1 STOREY PARKING STRUCTURE
- DECK W. PARKING BELOW
- CONTEXT PLAN



CONTEXT PLAN DETAIL

Committee of Adjustment  
 Received | Reçu le  
 2025-05-16  
 City of Ottawa | Ville d'Ottawa  
 Comité de dérogation



no.	date	revision
1	2025-05-08	Issued for minor variance

- GENERAL NOTES**
- Contractor must verify dimensions and conditions on site before proceeding with any portion of this work.
  - Do not scale from drawings.
  - All work to comply with the Ontario Building Code and municipal regulations.
  - This drawing to be read in conjunction with all material relevant to this project.



**jane thompson architect**  
 404 mackay street  
 ottawa, ontario, K1M 2C4  
 tel: (613)747-8104  
 jtarch@rogers.com

scale	N/A
job no.	2415
project	29 ACACIA AVENUE OTTAWA, ON
date	May 8, 2025
drawing	CONTEXT PLAN
designed	ED
drawn	IC
checked	ED
dwg no.	A100



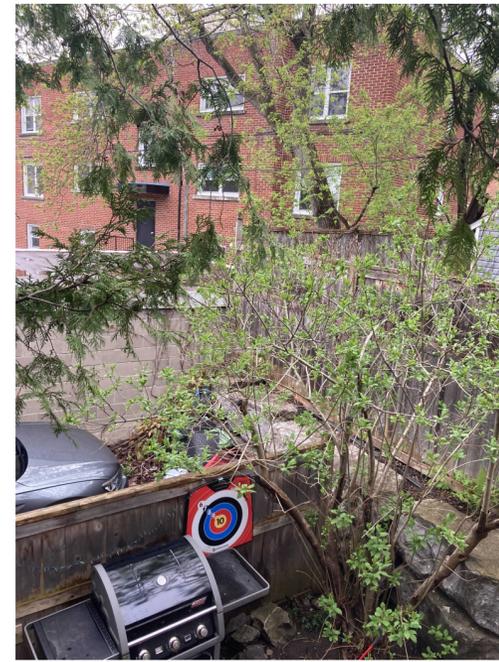
A) Photo of the rear face of the house illustrating the walkout basement and existing patio conditions.



B) Photo of the shared wood steps to the framed porch entries.



C) View of the neighbour's backyard at 31 Acacia Avenue from the existing wood deck at the subject property.



D) View of the rear neighbouring apartment building at 23 Chapleau Avenue from the existing wood deck at the subject property.



E) View of the owner's rear yard parking space looking north with the neighbouring concrete block parking garage on the left and stone retaining wall and board fence behind.



F) Panoramic view of the shared driveway between 25 and 27 Acacia Avenue showing the raised decks with parking below each property.

no.	date	revision
1	2025-05-08	Issued for minor variance

- GENERAL NOTES**
- Contractor must verify dimensions and conditions on site before proceeding with any portion of this work.
  - Do not scale from drawings.
  - All work to comply with the Ontario Building Code and municipal regulations.
  - This drawing to be read in conjunction with all material relevant to this project.

**Committee of Adjustment**  
 Received | Reçu le  
 2025-05-16  
 City of Ottawa | Ville d'Ottawa  
 Comité de dérogation



**jane thompson architect**

404 mackay street  
 ottawa, ontario, K1M 2C4  
 tel: (613)747-8104  
 jtarch@rogers.com

scale	N/A
job no.	2415
project	29 ACACIA AVENUE OTTAWA, ON
date	May 8, 2025
drawing	CONTEXT PHOTOS
designed	ED
drawn	IC
checked	ED
dwg no.	A101