

METRIC
DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ELEVATION NOTES

ELEVATIONS SHOWN HEREON ARE REFERRED TO GEODETIC DATUM
(CGVD28).

NOTES

- BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE WESTERLY
LIMIT OF HASTINGS STREET AS SHOWN ON PLAN 4R-1611 HAVING A
BEARING OF N13°11'30"E.
- A RECENT ONTARIO SUPERIOR COURT RULING IN LACKNER V HALL
2012 ONSC 3951, COURT FILE 10-48766 ON 2012/07/23 HAS
DETERMINED THE WATER BOUNDARY ON SUBDIVISION PLAN 418 TO
BE RIPARIAN. THE FACT SITUATION IS SIMILAR FOR PLAN 418 AND
PLAN 444, WITHIN WHICH THE SUBJECT PROPERTY RESIDES. A CLAIM
IN RIPARIAN TITLE FOR THIS PARCEL MAY BE PURSUED/CONFIRMED
BY SEEKING THE ADVICE OF COUNCIL.

SURVEYOR'S REAL PROPERTY REPORT - PART 1

PLAN OF SURVEY

LOT 59

REGISTERED PLAN 444

CITY OF OTTAWA

SCALE 1 : 250

0 5 10 20 25 metres

FAIRHALL, MOFFATT & WOODLAND LIMITED
ONTARIO LAND SURVEYORS

Committee of Adjustment
Received | Reçu le

2025-07-28

City of Ottawa | Ville d'Ottawa
Comité de dérogation

LEGEND

- - SURVEY MONUMENT FOUND
- IB - IRON BAR
- SSIB - SHORT STANDARD IRON BAR
- (P) - REGISTERED PLAN 444
- (P2) - PLAN BY (1319) DATED MAY 14, 1987 (REF. 5-444)
- (P3) - PLAN BY (857) DATED NOV. 23, 1984 (REF. 44-444)
- (P4) - PLAN BY (857) DATED NOV. 17, 1980 (REF. 30(a)-444)
- (P5) - PLAN BY (857) DATED JULY 3, 1982 (REF. 41-444)
- (P6) - PLAN BY (FSD) DATED NOV. 22, 2022 (FILE No. 546-22)
- (P7) - PLAN BY (671) DATED AUG. 5, 1965 (REF. OT-444(NP)-11)
- (P8) - PLAN BY (FSD) DATED NOV. 30, 2022 (FILE No. 581-22)
- (M) - MEASURED
- (S) - SET
- (671) - F. H. GOOCH, O.L.S.
- (857) - FAIRHALL, MOFFATT & WOODLAND LIMITED, O.L.S.
- (FSD) - FARLEY, SMITH & DENIS SURVEYING LTD., O.L.S.
- PIN - PROPERTY IDENTIFIER NUMBER
- RW - RETAINING WALL
- ⊙ UP - UTILITY POLE
- - - OVERHEAD UTILITY WIRES

SURVEYOR'S REAL PROPERTY REPORT - PART 2
REPORT SUMMARY

DESCRIPTION OF LAND

LOT 59, REGISTERED PLAN 444, CITY OF OTTAWA, AS IN ALL OF
PIN 04712-0085.

REGISTERED EASEMENTS

NONE REGISTERED.

REMARKS

NOTE LOCATION OF OVERHEAD HYDRO AND COMMUNICATION WIRES IN THE VICINITY
OF THE SOUTHERLY LIMIT OF THE SUBJECT PROPERTY.

ZONING

COMPLIANCE WITH ZONING, LAND USE, ENVIRONMENTAL AND BUILDING REGULATIONS
NOT CERTIFIED BY THIS REPORT.

THIS REPORT WAS PREPARED FOR
ANDREW DAVID STEWART & KELSEY McCELLAND
THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER PARTIES.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-114064

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN
ACCORDANCE WITH THE SURVEYS ACT, THE
SURVEYORS ACT AND THE REGULATIONS MADE
UNDER THEM.
 - THE SURVEY WAS COMPLETED ON JULY 15, 2025.

2025/07/24
DATE
JOHN H. GUTRI
ONTARIO LAND SURVEYOR

Fairhall
Moffatt &
Woodland

LIMITED
ONTARIO LAND SURVEYORS
Surveying and Land Information Services
100-600 TERRY FOX DRIVE, KANATA, ONTARIO K2L 4B6
TEL: (613) 591-2580 FAX: (613) 591-1495
www.fmw.on.ca



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29 (3).

JOB No.
A E 1 8 6 0 0

E 354492, N 5025004

REFERENCE No.
72 - 444 NP

S:\JOBS\AE18600\DWGS 2025-07-24
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OF THIS PLAN WITHOUT THE WRITTEN CONSENT OF
FAIRHALL, MOFFATT & WOODLAND LIMITED IS PROHIBITED.

PROPERTY LINES ARE TAKEN FROM GEOOTTAWA FOR VISUAL PURPOSES ONLY. PROPERTY OWNER / BUILDER IS REQUIRED TO CONFIRM ALL PROPERTY LINES PRIOR TO CONSTRUCTION. DW LDS DOES NOT TAKE ANY RESPONSIBILITY OF ANY INACCURACY.

CONTRACTOR TO VERIFY LOCATION OF NEIGHBORING WELLS, IF ANY, PRIOR TO SEPTIC SYSTEM INSTALLATION. ANY CONFLICT BETWEEN WELLS AND SEPTIC SYSTEM (E. LESS THAN 30m CLEARANCE), SHOULD BE DISCUSSED WITH THE DESIGNER PRIOR TO INSTALLATION.

NORMAL HIGH GROUND WATER TABLE (NHGWT) ELEVATION IS TO BE VERIFIED DURING EXCAVATION. USF MUST BE MIN. 0.30 ABOVE NHGWT.

THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES, TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE, DURING CONSTRUCTION ACTIVITIES. THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY.

SEWER SERVICE(S) LATERALS SHALL BE SLEEVED THROUGH FOUNDATION WALLS AND UNDER THE DRIVEWAY, RETAINING WALL, PORCH, DRIVEWAY AND DECK.

CONTRACTOR IS TO ENSURE THAT RUNOFF IS NOT DIRECTED TOWARDS THE ADJACENT PROPERTIES.

TOTAL DAILY DESIGN SANITARY SEWAGE FLOW:

- NO. OF BEDROOMS = 4 (2,000 L) (A)
- FINISHED FLOOR AREA = 430m² (2,225 L) (B)
- FIXTURE UNIT COUNT = 56 (1,800 L) (C)
- TDDSSF = 4,225 L/DAY (A+B)

IMPORTANT AREAS & CALCULATIONS:

SEPTIC TANK:

- MINIMUM CAPACITY = 2 X 4,225 L/DAY = 8,450L
- TANK REQUIRED: WATERLOO BIOFILTER ANAEROBIC DIGESTER W. INTERNAL PUMP CHAMBER ADIPC-12260 C/W WATERLOO BIOFILTER BFCN-10000 TREATMENT UNIT C/W EFFLUENT PUMP, PUMP SIZE AND SETTING PER WATERLOO BIOFILTER

LEACHING BED:

- TYPE: WATERLOO BIOFITLER TO SHALLOW BURIED TRENCH
- NATIVE T = 35 MIN/CM
- DESIGN T = 6-8 MIN/CM
- PIPING IS 5 ROWS OF 19.6M

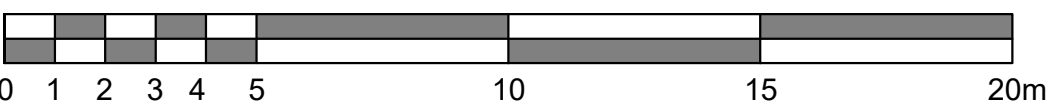
MINIMUM PIPING

- (Q/50) = 84.5m
- PIPING PROVIDED = 86m²

WATERLOO BIOFILTER TIMER SETTINGS:

- TIMER SETTING FOR PEAK FLOW W/ 0% RECIRCULATION: ON: 1.3 MIN., OFF: 74.5 MIN.
- TIMER SETTING FOR PEAK FLOW W/ 50% RECIRCULATION: ON: 2.6 MIN., OFF: 77.4 MIN.

SCALE: 1:150



GENERAL NOTES:

1. THE ORIGINAL TOPOGRAPHY, GROUND ELEVATION AND SURVEY DATA SHOWN ARE SUPPLIED FOR INFORMATION PURPOSES ONLY, AND IMPLY NO GUARANTEE OF ACCURACY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL INFORMATION OBTAINED FROM THEM.
2. THE CONTRACTOR IS TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL MUNICIPALITY BEFORE COMMENCING CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT.
4. THE CONTRACTOR IS TO DETERMINE THE EXACT LOCATION, SIZE, MATERIAL AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. PROTECT AND ASSUME ALL RESPONSIBILITY FOR EXISTING UTILITIES WHETHER OR NOT SHOWN ON THESE DRAWINGS. IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE ENGINEER PROMPTLY.
5. RESTORE ALL TRENCHES AND SURFACES OF PUBLIC ROAD ALLOWANCES TO CONDITION EQUAL OR BETTER THAN ORIGINAL CONDITION AND TO THE SATISFACTION OF THE LOCAL MUNICIPALITY AUTHORITIES.
6. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
7. DO NOT ALTER GRADING OF THE SITE WITHOUT PRIOR APPROVAL OF THE LOCAL MUNICIPALITY.
8. ALL WORK TO BE UNDERTAKEN IN ACCORDANCE WITH THE LOCAL MUNICIPALITY STANDARDS AND SPECIFICATIONS.
9. PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
10. CONTACT THE LOCAL MUNICIPALITY FOR INSPECTION OF ROUGH GRADING OF PARKING LOTS, ROADWAYS AND LANDSCAPED AREAS PRIOR TO PLACEMENT OF ASPHALT AND TOPSOIL. ALL DEFICIENCIES NOTED SHALL BE RECTIFIED TO THE TOWN'S SATISFACTION PRIOR TO PLACEMENT OF ANY ASPHALT, TOPSOIL, SEED & MULCH AND/OR SOD.
11. ALL DIMENSIONS AND INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION. IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE ENGINEER PROMPTLY.
12. HYDRO, GAS AND BELL SERVICE LOCATIONS SUBJECT TO THE APPROVAL BY THE APPLICABLE AGENCY. INSTALLATION TO BE IN ACCORDANCE WITH CURRENT CODES AND STANDARDS OF APPROVAL AGENCIES (BELL, HYDRO) AND THE LOCAL MUNICIPALITY.
13. EAVESTROUGH SHALL BE INSTALLED AND DISCHARGE SHALL BE 1.5m FROM ALL PROPERTY LINES AND NOT DIRECTED TOWARDS ADJACENT LANDS. ALL ROOF DRAINAGE IS TO BE DIRECTED TOWARDS THE STREET.
14. ALL TREES ON THE CITY RIGHT OF WAY ARE TO BE MAINTAINED BEFORE AND AFTER CONSTRUCTION. ALL TREES WITHIN THE PROPERTY SHALL BE PROTECTED AS PER THE 'MUNICIPAL TREES BY-LAW' AND THE 'URBAN TREES CONSERVATION BY-LAW' AS AMENDED FROM TIME TO TIME.
15. NO EXCESS DRAINAGE SHALL BE DIRECTED TOWARDS THE NEIGHBORING PROPERTIES DURING AND AFTER CONSTRUCTION.
16. THERE IS TO BE NO ALTERATION OF THE EXISTING GRADE AND DRAINAGE PATTERNS ALONG THE PROPERTY LINES.
17. MINIMUM 1.5m SOIL COVERAGE BETWEEN USF AND SURROUNDING GRADES IS REQUIRED UNLESS RIGID FOAM INSULATION IS PROVIDED FOR FROST PROTECTION.

SEPTIC NOTES:

1. ALL WORKS TO BE COMPLETED IN ACCORDANCE WITH MUNICIPAL, PROVINCIAL, AND LOCAL AUTHORITY STANDARDS AND REGULATIONS WHERE APPLICABLE, AND IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS.
2. INFORMATION PROVIDED ON THE PLAN IS BASED ON THE INFORMATION REASONABLY AVAILABLE AND/OR TO DW LDS AT THE TIME OF DESIGN. THE CONTRACTOR/OWNER(S) IS TO VERIFY THE ACCURACY OF THE INFORMATION CONTAINED HEREIN REGARDING, BUT NOT LIMITED TO, ELEVATIONS, BECNHMARKS, DIMENSIONS, SETBACKS, EASEMENTS, UTILITY LOCATIONS AND DETAILS, ETC., AND REPORT ANY ERRORS OR OMISSIONS TO DW LDS.
3. THE LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES MAY NOT BE DISPLAYED ON THIS PLAN AND, WHERE SHOWN, THEIR POSITIONS MAY NOT BE ACCURATE. IT IS THE RESPONSIBILITY OF THE OWNER(S)/CONTRACTOR TO LOCATE SUCH UTILITIES PRIOR TO COMMENCING WORKS. DW LDS DOES NOT ASSUME LIABILITY FOR DAMAGE TO SERVICES, UTILITIES, AND STRUCTURES DURING CONSTRUCTION OPERATIONS.
4. IT IS THE RESPONSIBILITY OF THE OWNER(S)/CONTRACTOR TO ENSURE THAT THE PLAN USED FOR CONSTRUCTION IS AN APPROVED AND LATEST VERSION.
5. DIMENSIONS AND ELEVATIONS DISPLAYED ON THIS PLAN ARE IN METRES. THIS IS NOT A PLAN OF SURVEY. THIS PLAN IS NOT TO BE SCALED, ALTERED OR REPRODUCED AND IS INTENDED FOR USE ONLY IN RELATION TO THE PROJECT FOR WHICH IT WAS PREPARED.
6. THIS PLAN SHOULD BE USED IN CONJUNCTION WITH RELEVANT DOCUMENTS, PLANS, AND DETAILS PREPARED BY DW LDS.
7. SOIL AND GROUNDWATER CHARACTERISTICS WERE IDENTIFIED AT BOREHOLE (TEST PIT) LOCATIONS ONLY AND MAY VARY BEYOND THE TEST LOCATIONS.
8. THE APPROVED SEPTIC SYSTEM DESIGN AS PREPARED BY DW LDS MEETS ALL ONTARIO BUILDING CODE REQUIREMENTS AND MANUFACTURER SPECIFICATIONS IN EFFECT AT THE TIME THE DESIGN WAS PREPARED. DW LDS DOES NOT WARRANT THE PERFORMANCE OR DURABILITY OF THE PROPOSED SEPTIC SYSTEM AND ITS COMPONENTS OR ASSUME LIABILITY FOR ANY DEFECTS OR ADVERSE PERFORMANCE CONCERNING THE PROPOSED SEPTIC SYSTEM.
9. MINIMUM REQUIRED SEPTIC SYSTEM SEPARATION DISTANCES:
 - SEPTIC TANK TO STRUCTURES = 1.5m (min)
 - SEPTIC TANK TO WELL = 15m (min) DRILLED TO A DEPTH OF 6m OR 30m (min) TO ANY OTHER WELL
 - SEPTIC TANK TO PROPERTY LINE = 3m (min)
 - DISTRIBUTION PIPE TO STRUCTURE = 5m (min)
 - DISTRIBUTION PIPE TO PROPERTY LINE = 3m (min)
 - DISTRIBUTION PIPE TO RIVER = 15m (min)

Committee of Adjustment
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City of Ottawa | Ville d'Ottawa

Comité de dérogation

LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- 2.0%
- 129.83
- 88.03
- 88.03
- EXISTING WATERMAIN
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATER VALVE
- EXISTING PROPERTY LINE
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATER SERVICE
- PROPOSED WELL
- EXISTING WELL
- PROPOSED ACCESS POINT
- PROPOSED LANDSCAPE WALKWAY
- PROPOSED SANITARY SUMP PUMP
- PROPOSED STORM SUMP PUMP
- PROPOSED ROOF DOWN SPOUT/DRAINS
- DIRECTION OF PROPOSED ROOF
- PROPOSED WATER VALVE
- TEST PIT LOCATION
- EXISTING FIRE HYDRANT
- EXISTING HYDRO POLE
- EXISTING TREE

PRELIMINARY
NOT FOR
CONSTRUCTION

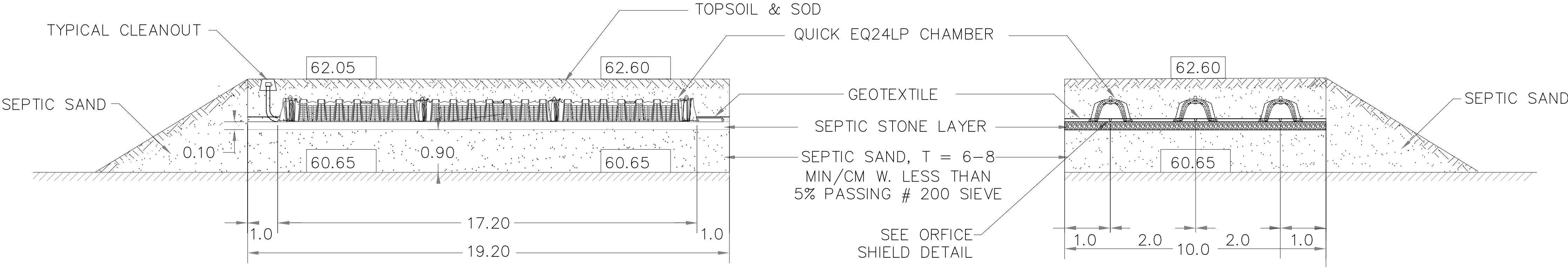
NOT VALID UNLESS SIGNED



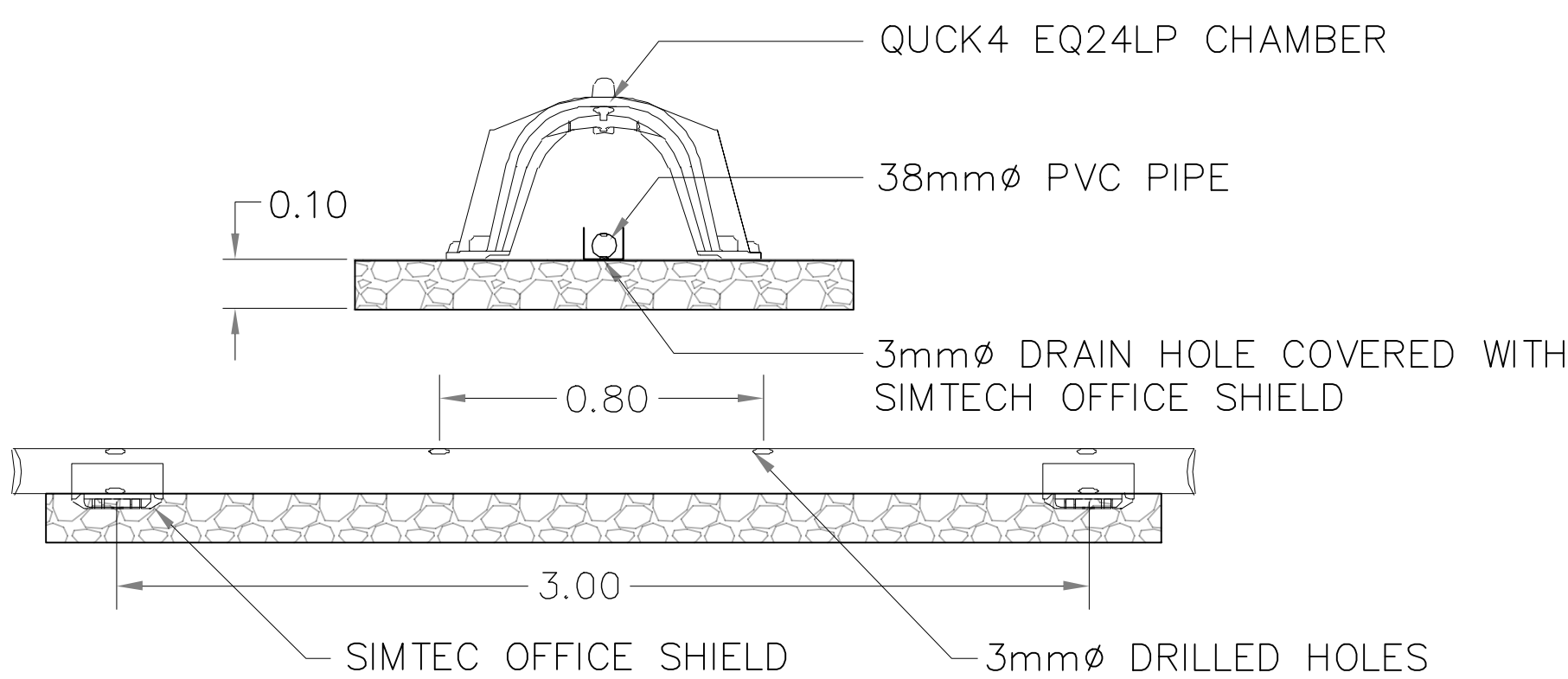
DW LAND DEVELOPMENT
SERVICES INC.

1	ISSUED FOR REVIEW	Jul 06/2025
No.	Description	Date
Check and verify all dimensions before proceeding with the work Do not scale drawings		
Client: Andrew Stewart		
Project: 9 Hastings Street, Ottawa, ON Proposed Dwelling		
Drawing Title: Lot Grading & Septic System Plan		
Project #: DW-2024-1387		Drawing #: 1 of 2
Designed by: PSW	Checked by: PSW	Scale: 1:150

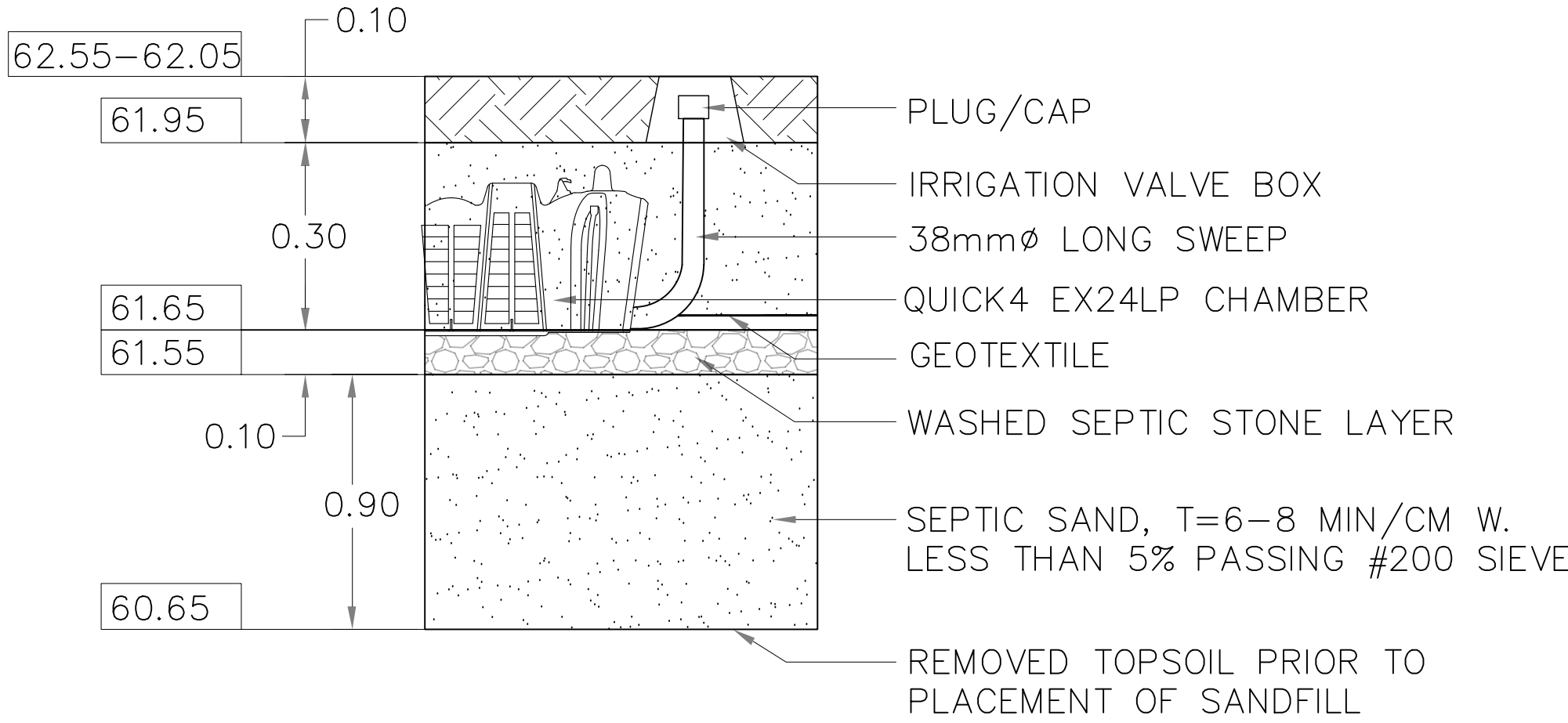
PROFILE DETAIL
(NOT TO SCALE)



ORIFICE SHIELD DETAIL
(NOT TO SCALE)



CLEANOUT DETAIL
(NOT TO SCALE)



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 - SEPTIC TANK TO PROPERTY LINE = 3m (min)
 - DISTRIBUTION PIPE TO STRUCTURE = 5m (min)
 - DISTRIBUTION PIPE TO PROPERTY LINE = 3m (min)
 - DISTRIBUTION PIPE TO RIVER = 15m (min)

ALL TREES & ROOTS WITHIN THE SEPTIC BED ARE TO BE REMOVED. IT IS RECOMMENDED THAT ALL TREES WITHIN 5m OF THE SEPTIC BED ARE TO BE REMOVED.

ALL BACKWATER VALVES FOR SERVICES ARE TO BE AS PER THE ONTARIO BUILDING CODE. TO BE DESIGNED BY OTHERS.

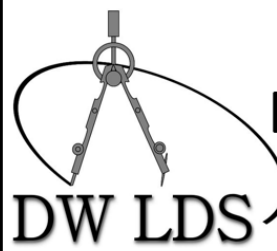
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ADDITIONAL NOTES

- POOLS AND ALL APPURTENANCES, SUCH AS FENCE, PATIOS, ETC. SHOULD BE LOCATED MINIMUM OF 5m FROM THE DISTRIBUTION SYSTEM OF THE LEACHING BED & OUTSIDE THE SAND AREA.
- THE BACKWASH WATERS FROM ANY HOUSEHOLD WATER TREATMENT UNIT, SUCH AS WATER SOFTENER, SHOULD NOT DISCHARGE INTO THE SEWAGE SYSTEM.
- CONTRACTOR SHALL BE QUALIFIED AND REGISTERED UNDER PART 8 OF THE ONTARIO BUILDING CODE.
- ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST BY-LAWS, CODES & REGULATIONS.
- CONTRACTOR SHALL REVIEW DRAWINGS IN DETAIL AND SHALL INFORM THE CONSULTANT OF ANY ERRORS AND/OR OMISSIONS ON DESIGN DRAWINGS IMMEDIATELY.
- CONTRACTOR SHALL VISIT THE SITE & REVIEW ALL DOCUMENTATION TO BECOME FAMILIAR WITH THE SITE AND SUBSURFACE SOIL CONDITIONS TO DETERMINE SUITABLE METHODS OF CONSTRUCTION.

PRELIMINARY
NOT FOR
CONSTRUCTION

NOT VALID UNLESS SIGNED



DW LAND DEVELOPMENT
SERVICES INC.

1	ISSUED FOR REVIEW	Jul 06/2025
No.	Description	Date

Check and verify all dimensions before proceeding with the work
Do not scale drawings

Client: Andrew Stewart

Project: 9 Hastings Street, Ottawa, ON
Proposed Dwelling

Drawing Title: Septic System Detail Plan

Project #: DW-2024-1387	Drawing #: 2 of 2
Designed by: PSW	Checked by: PSW
	Scale: 1:100

9 Hastings Street,
Ottawa, Ontario, K2H 8C2

Project Description:

- New Construction of a
single family home



Square Footage:

Basement	2133.23 ft ²	198.18 m ²
Main	2610.75 ft ²	242.55 m ²
Upper	2223.51 ft ²	206.57 m ²
Garage	898.25 ft ²	83.45 m ²

Architectural Design Firm:

SMPL Design Studio

Address: 15 Colbourne St,
Hamilton, Ontario

Postal: L8R 2G2

Phone: 905-529-7675

Key Map:



Committee of Adjustment
Received | Reçu le

2025-07-28

City of Ottawa | Ville d'Ottawa
Comité de dérogation

DO NOT SCALE DRAWINGS

Note:
1. Contractor to check all dimensions, specifications, materials and details on site prior to construction for conformity with the drawings and/or design.
2. These drawings are intended for the use of the contractor and not for the purpose of construction. They are not to be used in any other location without the written approval of the designer.
3. All works to be in accordance with the Ontario Building Code.

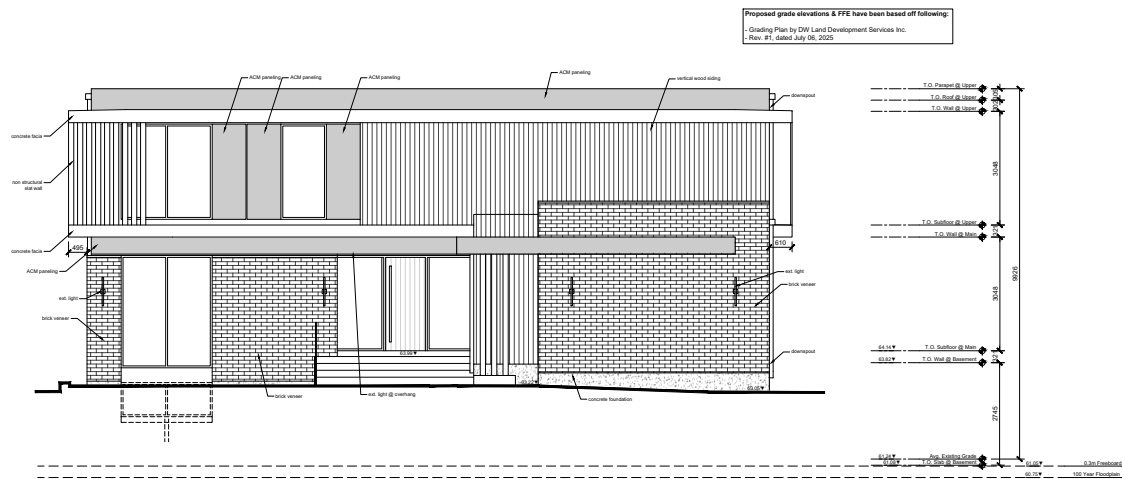
DESIGN
STUDIO
smpl

Drawing Submission:
Date: July 10, 2025
Type: Minor Variance

9 Hastings Street
Ottawa, Ontario, K2H 8C2

Reviewed By: JT
Drawn By: HCP
Page
A0.01

Cover Page



DO NOT SCALE DRAWINGS

Note:
1. Contractor to check all dimensions, specifications, materials and details in accordance with the approved drawings and specifications for the project.
2. These drawings are to be used as a guide only and do not constitute a contract. They must not be used in any other location without the written approval of the designer.
3. All works to be in accordance with the Ontario Building Code.

smpl DESIGN STUDIO

Drawing Submissions:
Date: July 10, 2025
Type: Minor Variance

9 Hastings Street
Ottawa, Ontario, K2H 8C2

Reviewed By: JT
Drawn By: HCP

Page
A2.01

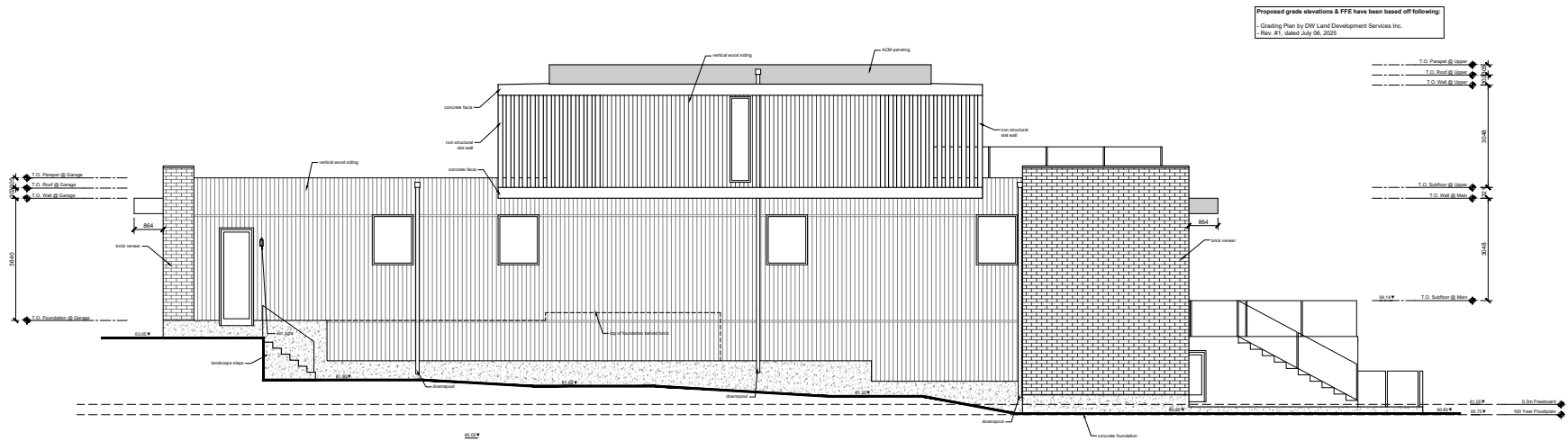
Elevations


The logo for smp| DESIGN STUDIO is located in the bottom right corner. It features the lowercase letters "smp" in a large, bold, sans-serif font, followed by a vertical bar "|". To the right of the bar, the words "DESIGN" and "STUDIO" are stacked vertically in a smaller, uppercase, sans-serif font.

9 Hastings Street
Ottawa, Ontario, K2H 8C2

Page
A2.02

Side Elevation 001
Scale 1:60





9 Hastings Street
Ottawa, Ontario, K2H 8C2

Side Elevation 002
Scale 1:60

