

ELEVATION NOTES

- ELEVATIONS ARE IN METRES AND ARE GEODETIC, DERIVED FROM GSC BENCHMARK 0011964U103, HAVING A PUBLISHED ELEVATION OF 78.90m. (CGVD 28:78)
- IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREE WITH THE INFORMATION SHOWN ON THIS DRAWING.

UTILITIES NOTES

- THIS DRAWING CANNOT BE ACCEPTED AS ACKNOWLEDGING ALL OF THE UTILITIES AND IT WILL BE THE RESPONSIBILITY OF THE USER TO CONTACT THE RESPECTIVE UTILITY AUTHORITIES FOR CONFIRMATION.
- A FIELD LOCATION OF UNDERGROUND PLANT BY THE PERTINENT UTILITY AUTHORITY IS MANDATORY BEFORE ANY WORK INVOLVING BREAKING GROUND, PROBING, EXCAVATING ETC.

SITE BENCHMARK
TOP OF SPINDLE OF FIRE HYDRANT
ELEVATION 63.78m. (CGVD 28:78)

FOUND NO EVIDENCE

SURVEYOR'S REAL PROPERTY REPORT

PART 1) PLAN OF
PART OF LOT 1
REGISTERED PLAN 331
CITY OF OTTAWA
SCALE 1:150



METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

NOTES

BEARINGS HEREON ARE ASTRONOMIC, DERIVED FROM THE BEARING OF N22°26'W AS SHOWN FOR THE WESTERLY LIMIT OF NORTHWESTERN AVENUE ON PLAN 4R-12182.

S.I.B.	DENOTES 0.025 SQ., 1.2 LONG, STANDARD IRON BAR
S.S.I.B.	DENOTES 0.025 SQ., 0.6 LONG, SHORT STANDARD IRON BAR
I.B.	DENOTES 0.016 SQ., 0.6 LONG, IRON BAR
JDB	DENOTES SURVEY MONUMENT FOUND
■	DENOTES SURVEY MONUMENT PLANTED
□	DENOTES SURVEY MONUMENT FOUND
WT.	DENOTES WITNESS
I.P.	DENOTES IRON PIPE
S.U.	DENOTES SOURCE UNKNOWN
1236	DENOTES P.A. RIDDELL, O.L.S.
JDB	DENOTES J.D. BARNES, O.L.S.
AOG	DENOTES ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
P1	DENOTES PLAN 4R-25068
P2	DENOTES PLAN 4R-12182
P3	DENOTES PLAN 4R-12561
P4	DENOTES PLAN 4R-3873
P5	DENOTES BUILDING LOCATION SURVEY BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. ON PART OF LOT 1, REGISTERED PLAN 331 DATED DECEMBER 10, 1987 (JOB No. 725-87)
RP	DENOTES REGISTERED PLAN 331
M	DENOTES MEASURED
S	DENOTES SET
E.O.A.	DENOTES EDGE OF ASPHALT
E.O.S.	DENOTES EDGE OF SIDEWALK
B.F.	DENOTES BOARD FENCE
U.P.L.	DENOTES UTILITIES POLE LINE
U.S.W.	DENOTES UTILITIES SERVICE WIRES
C.B.	DENOTES CATCH BASIN
M.H.	DENOTES MAN HOLE
PROP	DENOTES PROPORTIONED
D1	DENOTES INST. LT1785605

SURVEYOR'S REAL PROPERTY REPORT PART 2) REPORT SUMMARY

DESCRIPTION OF LAND
PART OF LOT 1, REGISTERED PLAN 331, CITY OF OTTAWA. P.I.N. 04031-0200
REGISTERED EASEMENTS AND/OR RIGHT OF WAYS
NONE
FEATURES
NOTE BOARD FENCES, CEDAR HEDGES, SHRUBS, TREELINE, UTILITIES SERVICE WIRES, RIVER ROCK.
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS
NOT CERTIFIED BY THIS REPORT.
ADDITIONAL REMARKS

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYOR'S ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON THE 14th DAY OF DECEMBER, 2020.

DECEMBER 23, 2020

[Signature]

A.P. SHIPMAN
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2143676



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3)

NOTE: THIS REPORT WAS PREPARED FOR Z.G. ARCHITECTURE & DESIGN AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

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NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF H.A.KEN SHIPMAN SURVEYING LTD.



H.A.KEN SHIPMAN SURVEYING LTD.
P.O. BOX 53, NORTH GOWER, ONT. KOA 270 TEL: 489-3910

REF. No.: OTT-795

FILE No.: 20-12455



CLEARVIEW AVENUE
(FORMERLY BRISTOL STREET)

LOT 12

Committee of Adjustment
Received | Reçu le

2025-07-31

City of Ottawa | Ville d'Ottawa
Comité de dérogation

PART 1
PLAN 4R-12561

LOT

3

LOT

2

LOT

P.I.N. 04031-0200

1

P.I.N. 04031-0201

REGISTERED

PLAN

PART 2
PLAN 4R-12561

LOT

23

LOT

24

LOT

P.I.N. 04031-0174

25

LOT 26

REGISTERED

PLAN

PART 1

PLAN

4R-29717

PART 1

PLAN

219

PART 2










PLAN

4R-12182

2025-07-31

City of Ottawa | Ville d'Ottawa
Comité de dérogation

STM-MH
T/G=63.10
INV=60.70

	EXISTING CATCHBASIN
	EXISTING MANHOLE
	STORM SEWER
	SANITARY SEWER
	WATERMAIN
	UTILITY POLE
	FIRE HYDRANT
	WATER VALVE
	TEMPORARY BENCHMARK

THIS DRAWING IS NOT FOR CONSTRUCTION UNTIL
APPROVED BY THE RELEVANT AUTHORITIES

TBM = TOP OF SPINDLE OF FIRE HYDRANT.
ELEVATION = 63.76 METRES AS PER HAKEN
SHIPMAN SURVEYING LTD. FILE No. 20-12455

TBM = TOP OF SPINDLE OF FIRE HYDRANT.
ELEVATION = 63.76 METRES AS PER H.A.KEN
SHIPMAN SURVEYING LTD. FILE NO. 20-1245.

NORTHWESTERN AVENUE

STATION	EDGE OF PAVEMENT	EDGE OF CURB	CONCRETE SIDEWALK
62+00	62.00	62.00	62.00
62+05	62.05	62.05	62.05
62+10	62.10	62.10	62.10
62+15	62.15	62.15	62.15
62+20	62.20	62.20	62.20
62+25	62.25	62.25	62.25
62+30	62.30	62.30	62.30
62+35	62.35	62.35	62.35
62+40	62.40	62.40	62.40
62+45	62.45	62.45	62.45
62+50	62.50	62.50	62.50
62+55	62.55	62.55	62.55
62+60	62.60	62.60	62.60
62+65	62.65	62.65	62.65
62+70	62.70	62.70	62.70
62+75	62.75	62.75	62.75
62+80	62.80	62.80	62.80
62+85	62.85	62.85	62.85
62+90	62.90	62.90	62.90
62+95	62.95	62.95	62.95
63+00	63.00	63.00	63.00
63+05	63.05	63.05	63.05
63+10	63.10	63.10	63.10
63+15	63.15	63.15	63.15
63+20	63.20	63.20	63.20
63+25	63.25	63.25	63.25
63+30	63.30	63.30	63.30
63+35	63.35	63.35	63.35
63+40	63.40	63.40	63.40
63+45	63.45	63.45	63.45
63+50	63.50	63.50	63.50
63+55	63.55	63.55	63.55
63+60	63.60	63.60	63.60
63+65	63.65	63.65	63.65
63+70	63.70	63.70	63.70
63+75	63.75	63.75	63.75
63+80	63.80	63.80	63.80
63+85	63.85	63.85	63.85
63+90	63.90	63.90	63.90
63+95	63.95	63.95	63.95
64+00	64.00	64.00	64.00
64+05	64.05	64.05	64.05
64+10	64.10	64.10	64.10
64+15	64.15	64.15	64.15
64+20	64.20	64.20	64.20
64+25	64.25	64.25	64.25
64+30	64.30	64.30	64.30
64+35	64.35	64.35	64.35
64+40	64.40	64.40	64.40
64+45	64.45	64.45	64.45
64+50	64.50	64.50	64.50
64+55	64.55	64.55	64.55
64+60	64.60	64.60	64.60
64+65	64.65	64.65	64.65
64+70	64.70	64.70	64.70
64+75	64.75	64.75	64.75
64+80	64.80	64.80	64.80
64+85	64.85	64.85	64.85
64+90	64.90	64.90	64.90
64+95	64.95	64.95	64.95
65+00	65.00	65.00	65.00
65+05	65.05	65.05	65.05
65+10	65.10	65.10	65.10
65+15	65.15	65.15	65.15
65+20	65.20	65.20	65.20
65+25	65.25	65.25	65.25
65+30	65.30	65.30	65.30
65+35	65.35	65.35	65.35
65+40	65.40	65.40	65.40
65+45	65.45	65.45	65.45
65+50	65.50	65.50	65.50
65+55	65.55	65.55	65.55
65+60	65.60	65.60	65.60
65+65	65.65	65.65	65.65
65+70	65.70	65.70	65.70
65+75	65.75	65.75	65.75
65+80	65.80	65.80	65.80
65+85	65.85	65.85	65.85
65+90	65.90	65.90	65.90

EDGE OF PAVEMENT	EDGE OF CURB	CONCRETE SIDEWALK
67.4	63.01	63.08
62.4	63.08	63.14

PROPOSED 2- \pm 14.5m-100mm \varnothing PVC SDR 28 STORM
SEWER PIPES. CONNECTION TO BE AS PER CITY OF
OTTAWA STD DWG S11.2. SEE DRAWING 220727-DET

PROPOSED 2-±18.2m-135mm Ø PVC SDR 28 SANITARY SEWER
PIPES. CONNECTION TO BE AS PER CITY OF OTTAWA STD DWG
S11 (MODIFIED OPD 1006.010), SEE DRAWING 220727-DET

EXISTING
DWELLING
NO. 248

WATERMAN SHOWN ON THIS STREET FROM THE CITY MAY NOT BE CURRENT. THE CONTRACT IS ADVISED TO EXCAVATE AND INVESTIGATE THE SEWER ELEVATIONS IN FRONT OF THIS PROPERTY TO ENSURE 1% MIN SLOPE OF THE SANITARY LATERAL CAN BE ACHIEVED. IF THIS NOT POSSIBLE CONTRACTOR TO INFORM KOLLAARD ASSOCIATES AND THE OWNER

CONTRACTOR TO CONSTRUCT SANITARY STORM
AND WATER SERVICES PRIOR TO POURING
BUILDING FOOTINGS. CONTRACTOR TO VERIFY
THAT LATERALS CAN ACHIEVE 1% MIN SLOPE
BE BELOW PROPOSED UNDERSIDE OF FOOTING
EVEL. IF THIS IS NOT POSSIBLE CONTRACTOR
INFORM KOLLARD ASSOCIATES AND OWNER
ORDER TO ADJUST FOUNDATION GRADES PRIOR
TO FOOTING PLACEMENT

**SLEEVING FOR SERVICE LATERALS IS
RECOMMENDED UNDER FRONT PORCH**

ALL SERVICES TO BE INSTALLED AT
CURRENT CITY OF OTTAWA STANDARDS

SEWER LATERALS TO BE INSULATED AS PER
CITY OF OTTAWA STANDARD DWG W22

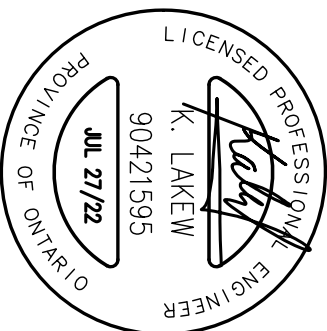
BACKWATER VALVE TO BE INSTALLED AS PER CITY OF OTTAWA STANDARDS S14, S14.1, S14.2


EXISTING SERVICES SHALL BE AT CURRENT CITY OF OTTAWA STANDARDS OR SHALL BE REPLACED TO MATCH CURRENT CITY OF OTTAWA STANDARDS

300mm CLEARANCE BETWEEN WATERMAIN AND
SANITARY & STORM LATERALS IS TO BE PROVIDED

IF NOT BEING RE-USED, EXISTING WATER SERVICE LINE TO BE BLANKED AT WATERMAIN AND SEWER LATERALS TO BE CAPPED AT PROPERTY LINE

AMANDA AVENUE (FORMERLY PREMIER AVENUE)



 SAN-MH
T/G=62.88

DRAWING NUMBER: 220727-SER

CONSTRUCTION NOTES

1. All dimensions and elevations are in metres. Do not scale drawing.
2. This drawing is not a legal survey, a utility plan or a site plan and is for sanitary, storm and water service only.
3. IBM = Top of spindle of fire hydrant. Elevation = 63.76 metres as per H.A.Ken Shipman Surveying Ltd File No. 20-12455.
4. This drawing cannot be accepted as acknowledging all of the utilities, and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
5. This drawing is not for construction until approved by the relevant authorities.
6. Top of Foundation (TDF) elevations and assumed Underbase of Footing (USF) elevations are shown on drawing.
7. Existing location of watermain, sanitary sewer and storm sewer as shown on this plan are approximate. Contractor to verify in the field to confirm exact location prior to construction.
8. Service laterals to be insulated where soil is cover is less than 2.4 metres for water services and 2 metres sanitary and storm services as per City of Ottawa Standard Drawing W22.
9. If water service is less than 2.4 metres from sewer manhole or catchbasin, contractor shall insulate between them with s/m rigid insulation as per City of Ottawa Standard Drawing W23.
10. Bedding for sewers and watermain installation shall be granular type "A" compacted to 95% dry proctor density.
11. All dimensions to be verified on site by contractor prior to construction.
12. Client is responsible for acquiring all necessary permits.
13. A geotechnical engineer should be retained to provide geotechnical recommendations with respect to the subgrade conditions prior to footing installation.
14. Elevations of existing storm and sanitary services were provided by the Information Centre of the City of Ottawa.
15. Any changes made to this plan must be verified and approved by Kollard Associates Inc.



Kollaard Associates
Engineers

210 PRESCOTT STREET
PO BOX 189
KEMPVILLE ONTARIO
K0G 1J0

FAX (613) 258-0475
www.kolliard.cc
info@kolliard.cc

(613) 860-0923

VYACHESLAV SOLOV'EV

PROJECT:
SEMI-DETACHED DWELLING

DRAWING:
PROPOSED LOT SERVICING PLAN

LOCATION

256-258 NORTHWESTERN AVE
R. PLAN 4R-12182, PART OF 1
LOT 34, CONC. A,
OLD OTTAWA,
CITY OF OTTAWA, ONTARIO

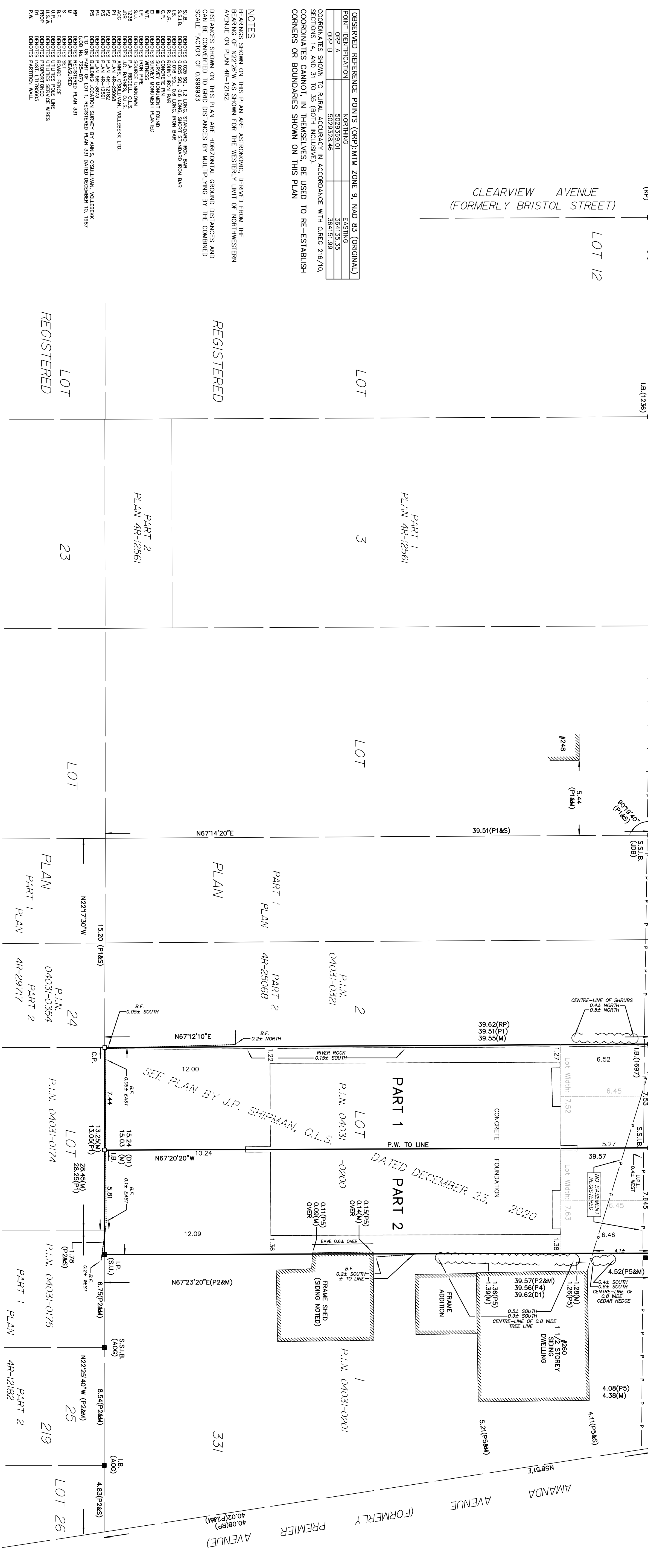
DESIGNED BY: _____ DATE: _____

DRAWN BY: NR	SCALE: 1:250
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KOLLARD FILE NUMBER:
220727

Committee of Adjustment
Received | Reçu le
2025-07-31
City of Ottawa | Ville d'Ottawa
Comité de dérogation

288.60(RP/P3)
289.92(M)



PLAN OF SURVEY OF
LOT 1
REGISTERED PLAN 331
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebek Ltd.
Scale 1 : 150

6 4.5 3.0 1.5 0 3 6
Metres

The intended plot size of the plan is 914 mm in width by 457 mm in height when plotted at a scale of 1:150.

Metre
DISTANCES AND COORDINATES SHOWN ON THIS PLAN
ARE IN METRES AND CAN BE CONVERTED TO FEET BY
DIVIDING BY 0.3048.

Schedule

AREA (Sqm.)	PART	LOT	PLAN	PIN
296	1	PART OF 1	331	PART OF 04031-0200
302	2			

PRELIMINARY

FOUND NO EVIDENCE

Surveyor's Certificate

I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
2. The survey was completed on the 22nd day of March, 2023.

Annis, O'Sullivan, Vollebek Ltd.

1713 Prescott Street, Box 1340
Kemptville, Ontario K0G 1J0
Email: kemptville@annisov.com

Land Surveyors 22-13209 P.L.T. R. 02-DWG



ZG Architecture&Design

E: info@zg-architecture.com
T: (819) 639 - 9968

100 boul. Montcalm, unit 405
Gatineau, Quebec, J8X 0C6

Committee of Adjustment
Received | Reçu le

2025-07-31

City of Ottawa | Ville d'Ottawa
Comité de dérogation

256/258 NORTHWESTERN AVE.
OTTAWA



SYMBOLS

	NORTH ARROW		ROOM NAME XXXXXX AREA	ROOM
	CENTRE LINE		?	DETAIL NOTE
	REFERENCE		NO.	WALL, ROOF, FLOOR COMPOSITION
	INTERIOR ELEVATION		AL	ALIGN SURFACES
	EXTERIOR ELEVATION		XXX	WINDOW
	SECTION		XXXX	DOOR
	VIEW NAME SCALE - 1:###		NO. ELEV.	CEILING
	AXIS		?	MATERIAL
	LEVEL		##	REVISION TRIANGLE
	ELEVATION DIMENTION		NO.	EQUIPEMENT AND FURNITURE
			###	DIMENTIONS

LIST OF ABBREVIATIONS

ADJUST = ADJUSTABLE	ENG = ENGINEERS
C/C = CENTRE TO CENTRE	INT = INTERIOR
COUL = SLIDING	MEC = MECHANICAL
CONTI = CONTINUED	P = DEPTH
FD = FLOOR DRAIN	PART = PARTIAL
EB = UP	PE = ELECTRICAL PANEL
EH = DOWN	FI = FOR INFORMATION ONLY
EQ = EQUAL	UOI = UNLESS OTHERWISE INDICATED
ELEC = ELECTRICAL	SIM = SIMMILAR
GEN = GENERAL CONTRACTOR	A = AREA
WD = WIDTH	SYM = SYMMETRICAL
EXIST = EXISTANTING	TYP = TYPICAL
H = HIGHT	
IND = INDENTICAL	

ARCHITECTURAL PLANS	
#	SHEET NAME
A000	Presentation
A001	Demolition
A002	3D RENDER
A003	Basement plan - Design
A004	Main floor plan - Design
A005	2nd Story - Design
A006	Wall types and General notes
A200	Site plan
A200b	Landscape plan
A201	Foundation plan
A202	Basement plan
A203	Main floor plan
A204	2nd story floor plan
A205	Roof plan
A301	Elevations
A302	Elevations
A303	Elevations
A401	Building sections
A402	Building sections
A402b	Building sections
A403	Wall section
A404	Wall section
A501	Wall section
A502	Details
A503	Details
A504	Details
A601	Kitchen plans and elevations
A602	Basement Kitchen plans
A701	Electrical plans - Basement
A702	Electrical plans - Main floor
A703	Electrical plans - 2nd story
A900	Windows and Doors

Zoran Gavran
Architecture & Design

E: info@zg-architecture.com
T: (819) 639 - 9968

BCIN : 47250 100 boul. Montcalm, unit 405
Gatineau, Quebec, J8X 0C6

No.	Description	Date
1	For Permit	12-10-2022

New residence :
256/258 Northwestern
Ave.

Presentation

Project num. : ZG21-2020

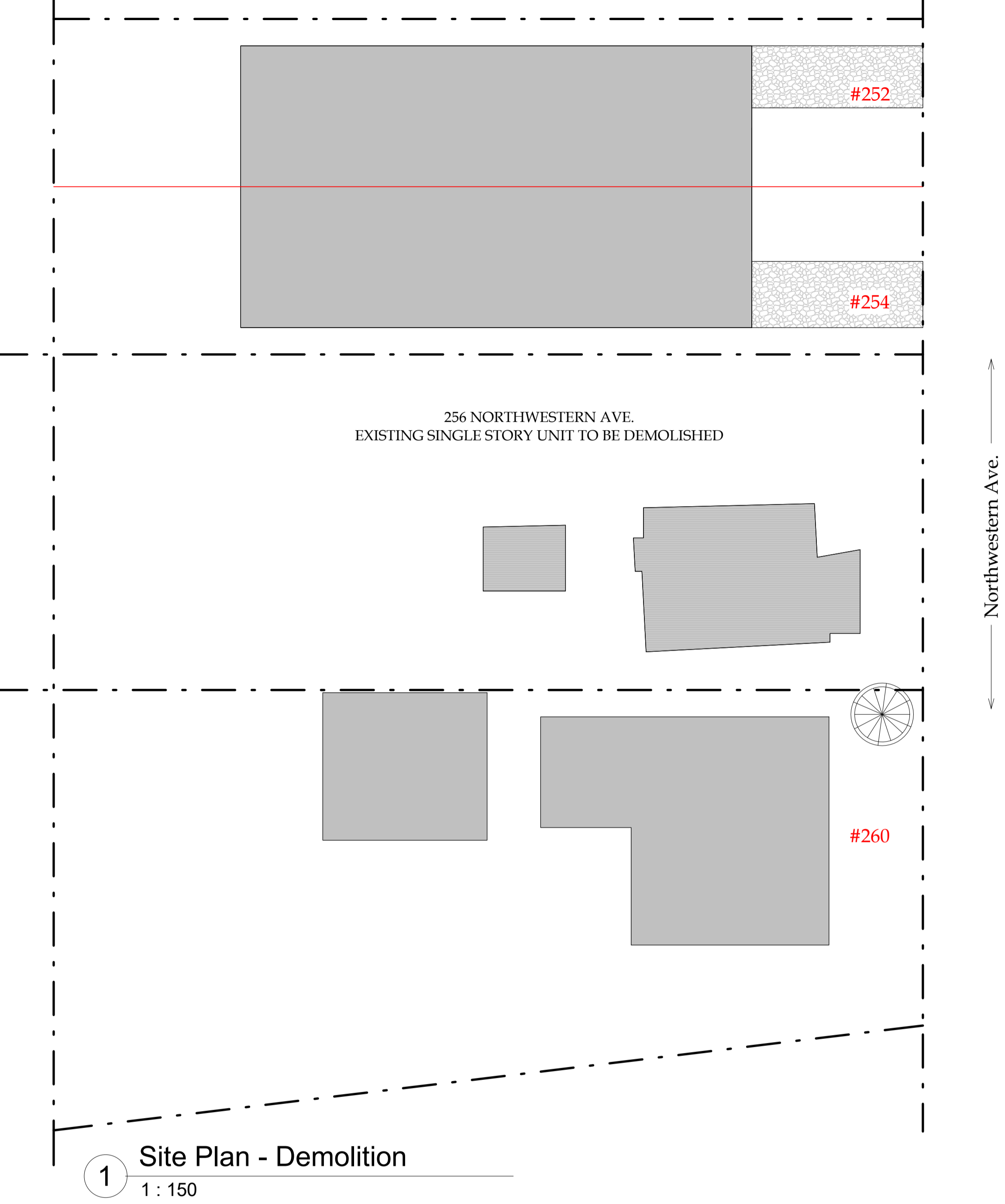
Date : 16-Feb.-2023

Drawn by : Z.G.

Verified by: Z.G.

A000

Scale: 12" = 1'-0"



ARCHITECTURAL PLANS	
#	SHEET NAME
A000	Presentation
A001	Demolition
A002	3D RENDER
A003	Basement plan - Design
A004	Main floor plan - Design
A005	2nd Story - Design
A006	Wall types and General notes
A200	Site plan
A200b	Landscape plan
A201	Foundation plan
A202	Basement plan
A203	Main floor plan
A204	2nd story floor plan
A205	Roof plan
A301	Elevations
A302	Elevations
A303	Elevations
A401	Building sections
A402	Building sections
A402b	Building sections
A403	Wall section
A404	Wall section
A501	Wall section
A502	Details
A503	Details
A504	Details
A601	Kitchen plans and elevations
A602	Basement Kitchen plans
A701	Electrical plans - Basement
A702	Electrical plans - Main floor
A703	Electrical plans - 2nd story
A900	Windows and Doors



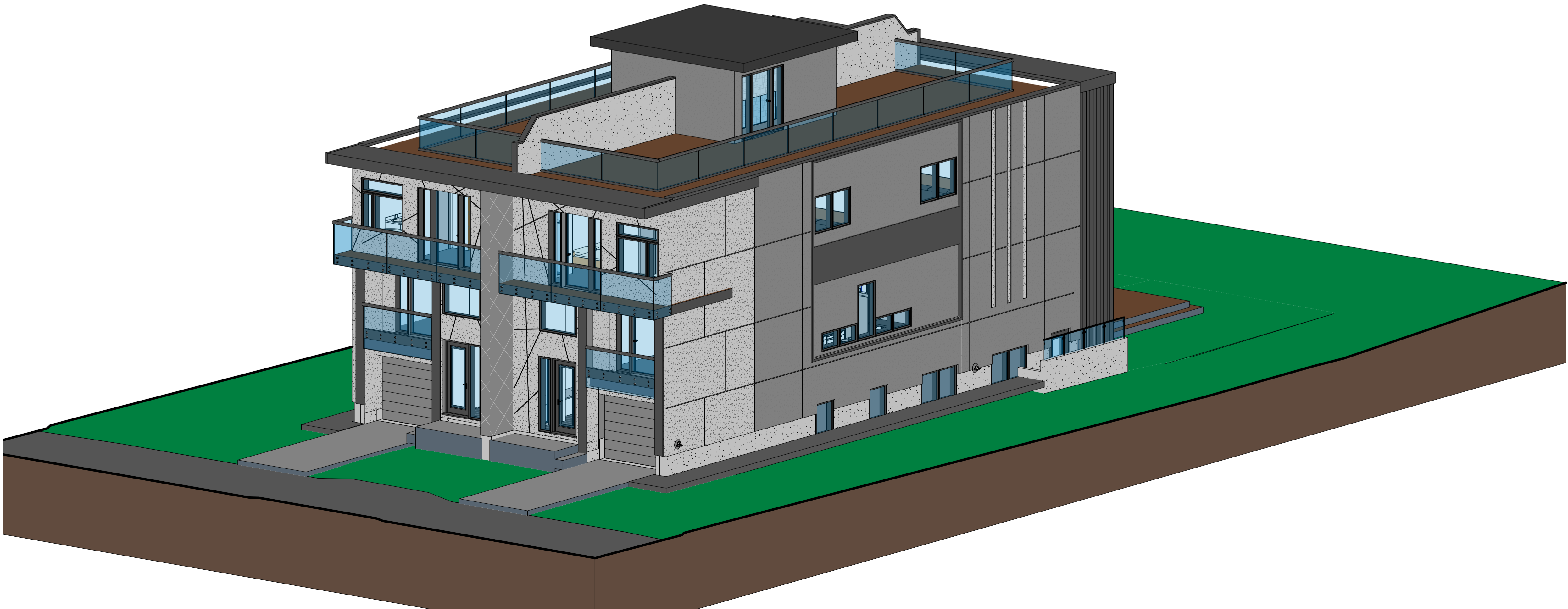
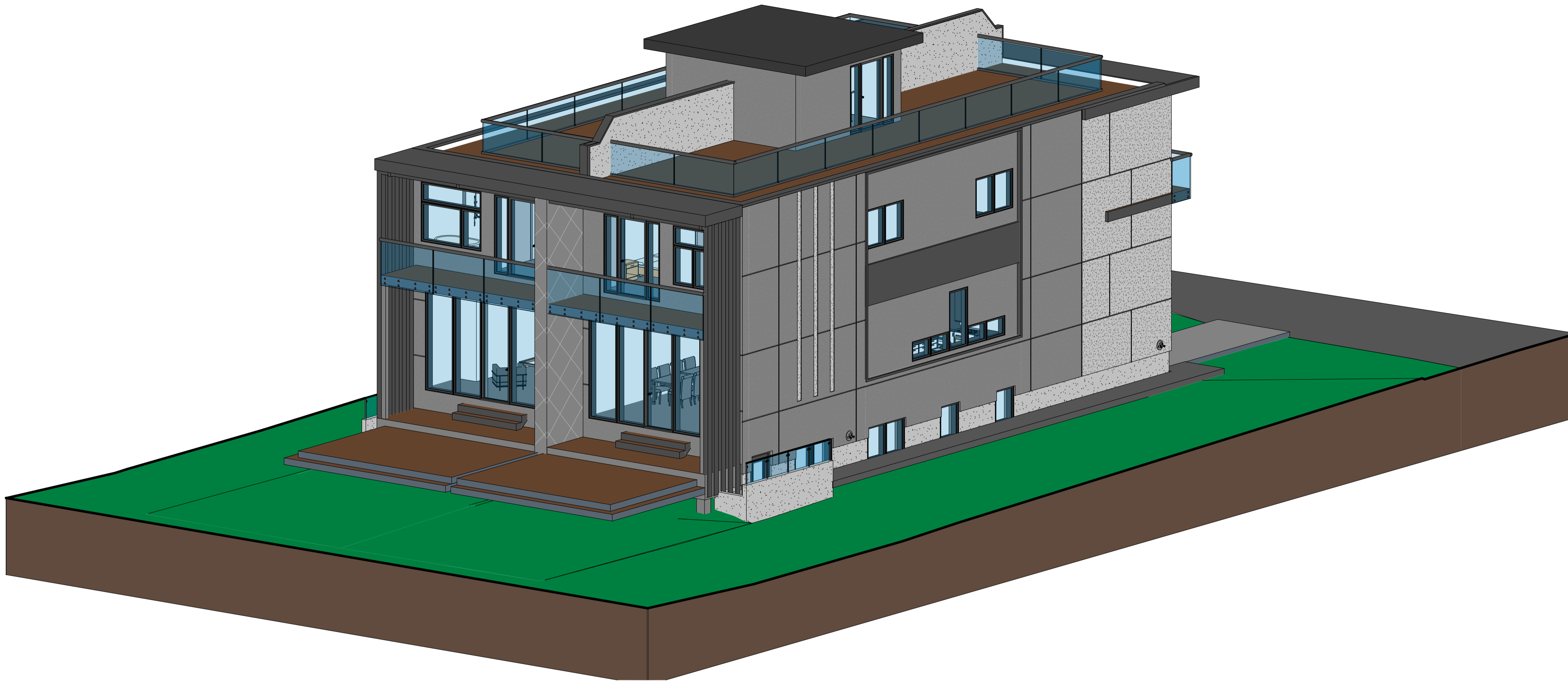
Zoran Gavran
Architecture & Design

E: info@zg-architecture.com
T: (819) 639 - 9968

BCIN : 47250100 boul. Montcalm, unit 405
Gatineau, Quebec, J8X 0C6

No.	Description	Date
1	For Permit	12-10-2022

New residence : 256/258 Northwestern Ave.	
Demolition	
Project num. :	ZG21-2020
Date :	16-Feb.-2023
Drawn by : :	Z.G.
Verified by:	Z.G.
A001	
Scale:	1 : 150



ARCHITECTURAL PLANS	
#	SHEET NAME
A000	Presentation
A001	Demolition
A002	3D RENDER
A003	Basement plan - Design
A004	Main floor plan - Design
A005	2nd Story - Design
A006	Wall types and General notes
A200	Site plan
A200b	Landscape plan
A201	Foundation plan
A202	Basement plan
A203	Main floor plan
A204	2nd story floor plan
A205	Roof plan
A301	Elevations
A302	Elevations
A303	Elevations
A401	Building sections
A402	Building sections
A402b	Building sections
A403	Wall section
A404	Wall section
A501	Wall section
A502	Details
A503	Details
A504	Details
A601	Kitchen plans and elevations
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A703	Electrical plans - 2nd story
A900	Windows and Doors



Zoran Gavran

Architecture & Design

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T: (819) 639 - 9968

BCIN : 47250

100 boul. Montcalm, unit 405
Gatineau, Quebec, J8X 0C6

No.	Description	Date

New residence :
256/258 Northwestern
Ave.

3D RENDER

Project num. :

ZG21-2020

Date :

16-Feb.-2023

Drawn by : :

Z.G.

Verified by:

Z.G.

A002

Scale:



2 Elevation D - Back
1/4" = 1'-0"



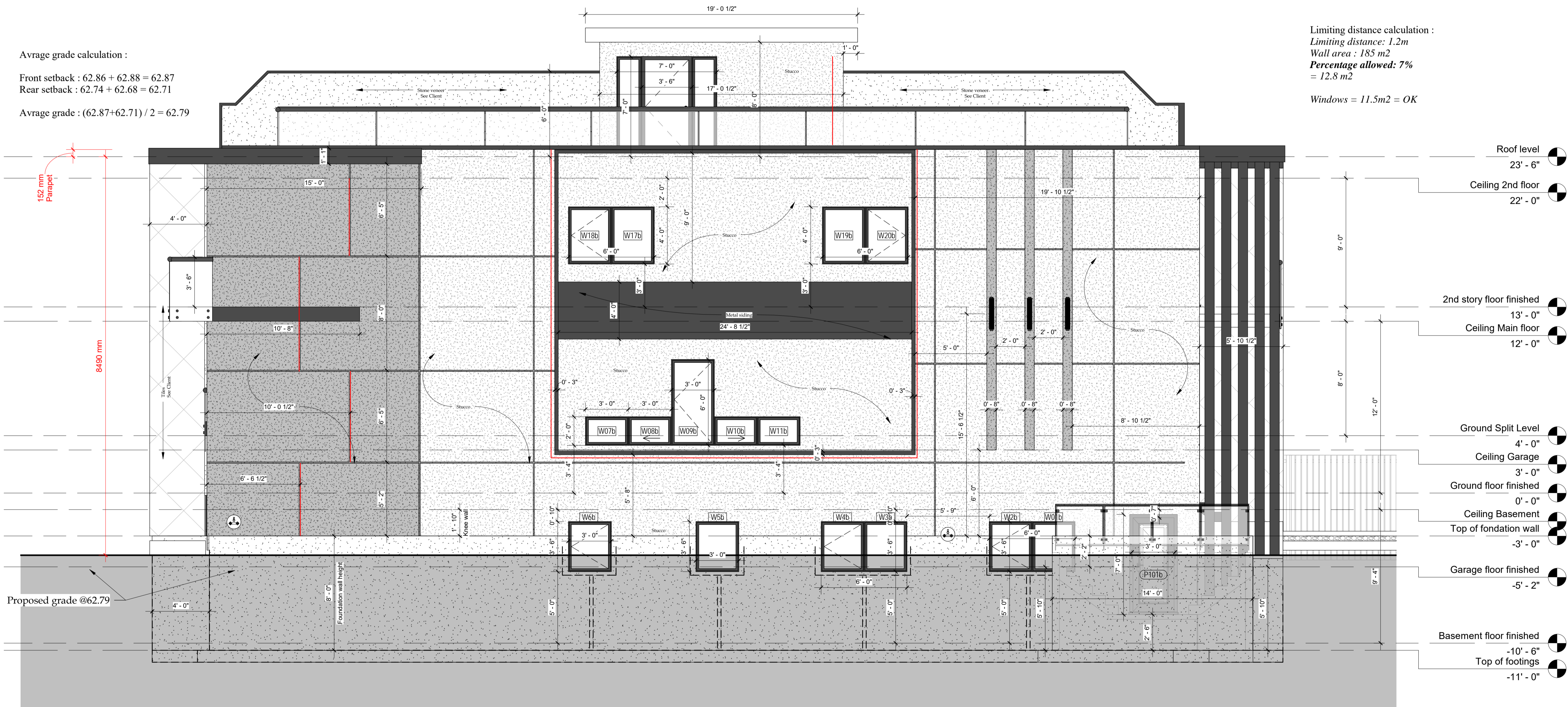
1 Elevation A - Front
1/4" = 1'-0"

ARCHITECTURAL PLANS	
#	SHEET NAME
A000	Presentation
A001	Demolition
A002	3D RENDER
A003	Basement plan - Design
A004	Main floor plan - Design
A005	2nd Story - Design
A006	Wall types and General notes
A200	Site plan
A200b	Landscape plan
A201	Foundation plan
A202	Basement plan
A203	Main floor plan
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A900	Windows and Doors

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BCIN : 47250 100 boul. Montcalm, unit 405
Gatineau, Quebec, J8X 0C6

No.	Description	Date
1	For Permit	12-10-2022

New residence : 256/258 Northwestern Ave.	
Elevations	
Project num. :	ZG21-2020
Date :	16-Feb.-2023
Drawn by : :	Z.G.
Verified by:	Z.G.
A301	
Scale:	1/4" = 1'-0"



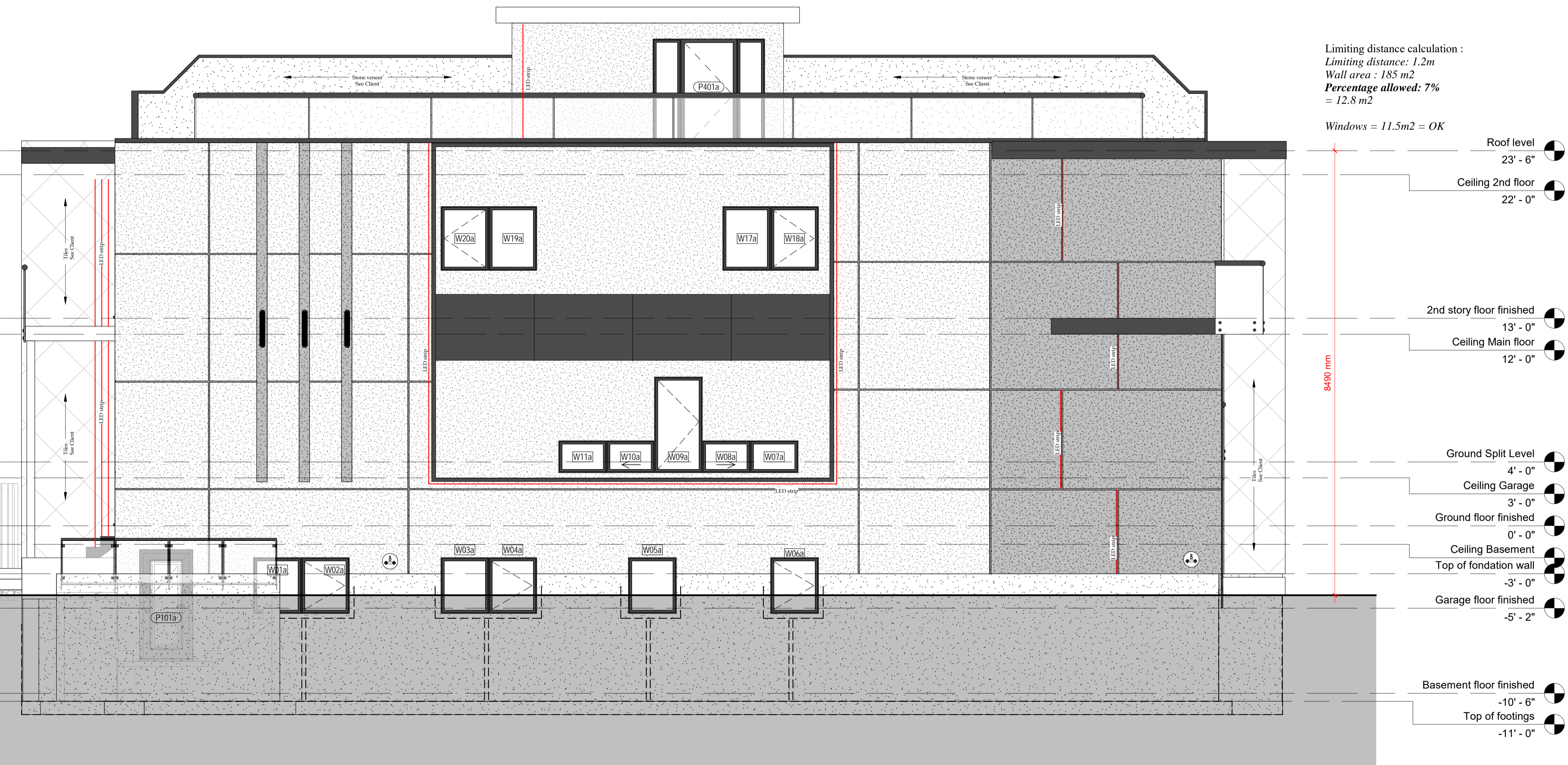
1 Elevation B- Side
1/4" = 1'-0"

ARCHITECTURAL PLANS	
#	SHEET NAME
A000	Presentation
A001	Demolition
A002	3D RENDER
A003	Basement plan - Design
A004	Main floor plan - Design
A005	2nd Story - Design
A006	Wall types and General notes
A200	Site plan
A200b	Landscape plan
A201	Foundation plan
A202	Basement plan
A203	Main floor plan
A204	2nd story floor plan
A205	Roof plan
A301	Elevations
A302	Elevations
A303	Elevations
A401	Building sections
A402	Building sections
A402b	Building sections
A403	Wall section
A404	Wall section
A501	Wall section
A502	Details
A503	Details
A504	Details
A601	Kitchen plans and elevations
A602	Basement Kitchen plans
A701	Electrical plans - Basement
A702	Electrical plans - Main floor
A703	Electrical plans - 2nd story
A900	Windows and Doors

Zoran Gavran
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BCIN : 47250 100 boul. Montcalm, unit 405
Gatineau, Quebec, J8X 0C6

No.	Description	Date
1	For Permit	12-10-2022

New residence : 256/258 Northwestern Ave.	
Elevations	
Project num. :	ZG21-2020
Date :	16-Feb.-2023
Drawn by : :	Z.G.
Verified by:	Z.G.
A302	
Scale:	1/4" = 1'-0"



1 Elevation C - Side
1/4" = 1'-0"

Limiting distance calculation :
Limiting distance: 1.2m
Wall area : 185 m2
Percentage allowed: 7%
= 12.8 m2
Windows = 11.5m2 = OK

- Roof level
23' - 6"
- Ceiling 2nd floor
22' - 0"
- 2nd story floor finished
13' - 0"
- Ceiling Main floor
12' - 0"
- Ground Split Level
4' - 0"
- Ceiling Garage
3' - 0"
- Ground floor finished
0' - 0"
- Ceiling Basement
-3' - 0"
- Top of fondation wall
-3' - 0"
- Garage floor finished
-5' - 2"
- Basement floor finished
-10' - 6"
- Top of footings
-11' - 0"

ARCHITECTURAL PLANS	
#	SHEET NAME
A000	Presentation
A001	Demolition
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A003	Basement plan - Design
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A005	2nd Story - Design
A006	Wall types and General notes
A200	Site plan
A200b	Landscape plan
A201	Foundation plan
A202	Basement plan
A203	Main floor plan
A204	2nd story floor plan
A205	Roof plan
A301	Elevations
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A504	Details
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A703	Electrical plans - 2nd story
A900	Windows and Doors



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BCIN : 47250100 boul. Montcalm, unit 405
Gatineau, Quebec, J8X 0C6

No.	Description	Date

New residence :
256/258 Northwestern
Ave.

Elevations

Project num. : ZG21-2020

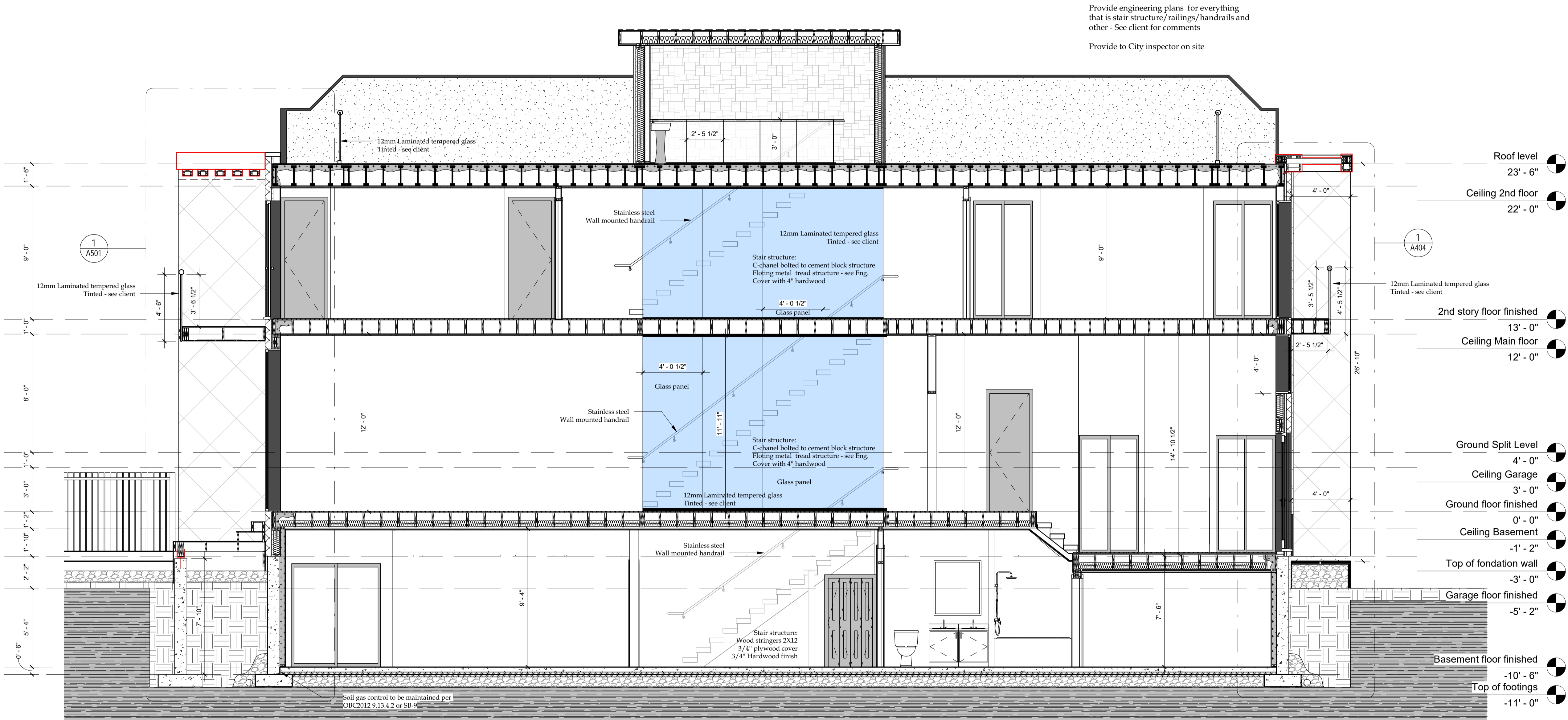
Date : 16-Feb.-2023

Drawn by : Z.G.

Verified by: Z.G.

A303

Scale: 1/4" = 1'-0"



1 Section 1
1/4" = 1'-0"

ARCHITECTURAL PLANS	
#	SHEET NAME
A000	Presentation
A001	Demolition
A002	3D RENDER
A003	Basement plan - Design
A004	Main floor plan - Design
A005	2nd Story - Design
A006	Wall types and General notes
A200	Site plan
A200b	Landscape plan
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BCIN : 47250 100 boul. Montcalm, unit 405
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No.	Description	Date
1	For Permit	12-10-2022

New residence :
256/258 Northwestern
Ave.

Building sections

Project num. : ZG21-2020

Date : 16-Feb.-2023

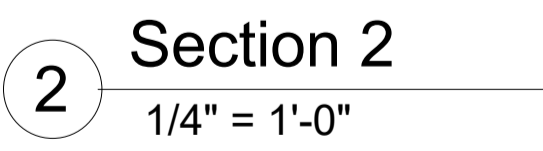
Drawn by : Z.G.

Verified by: Z.G.

A401

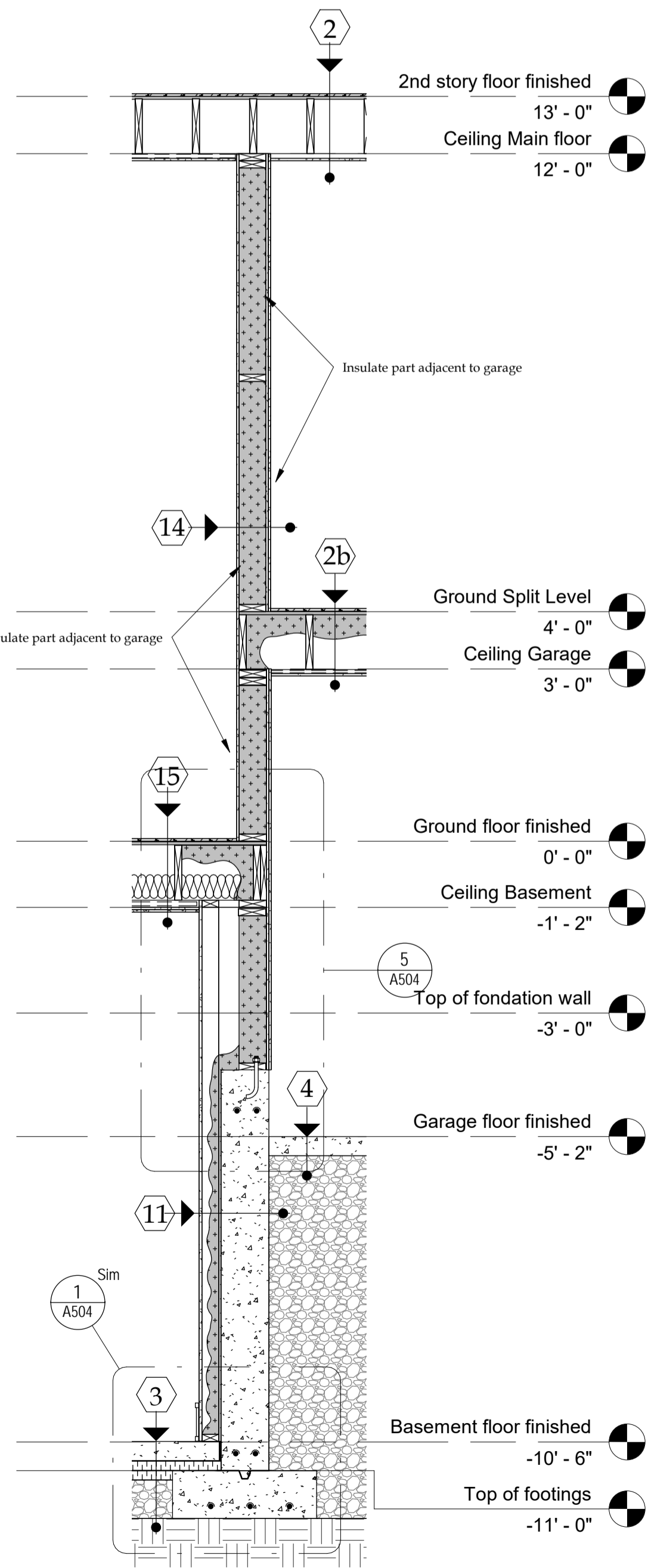
Scale: 1/4" = 1'-0"

Provide to City inspector on site



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BCIN : 47250

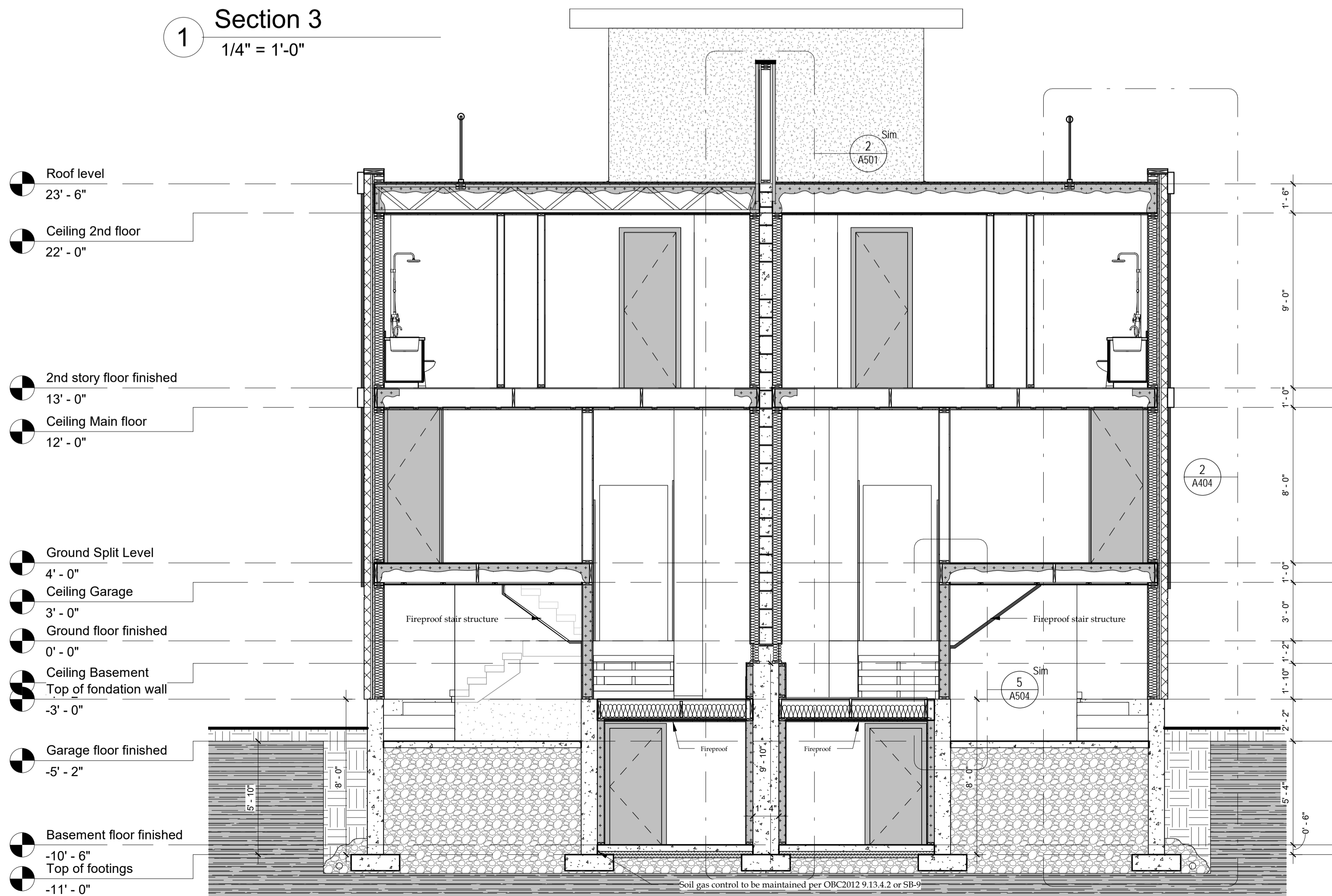
<p align="center">New residence : 256/258 Northwestern Ave.</p>	
<p align="center">Building sections</p>	
Project num. :	ZG21-2020
Date :	16-Feb.-2023
Drawn by : :	Z.G.
Verified by:	Z.G.
<p align="center">A402</p>	
Scale:	1/4" = 1'-0"



3 Wall section 10
1/2" = 1'-0"



1 Section 3
1/4" = 1'-0"



2 Section 4
1/4" = 1'-0"

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A006	Wall types and General notes
A200	Site plan
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A703	Electrical plans - 2nd story
A900	Windows and Doors



Zoran Gavran

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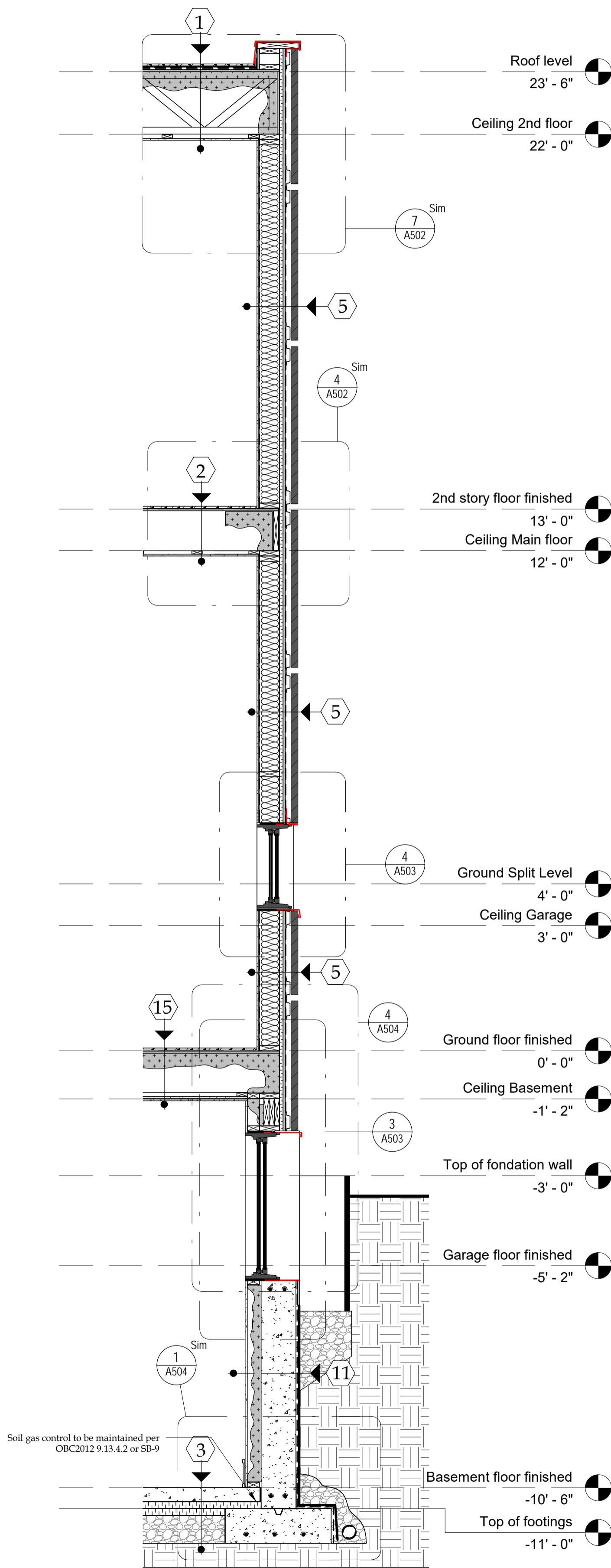
E: info@zg-architecture.com

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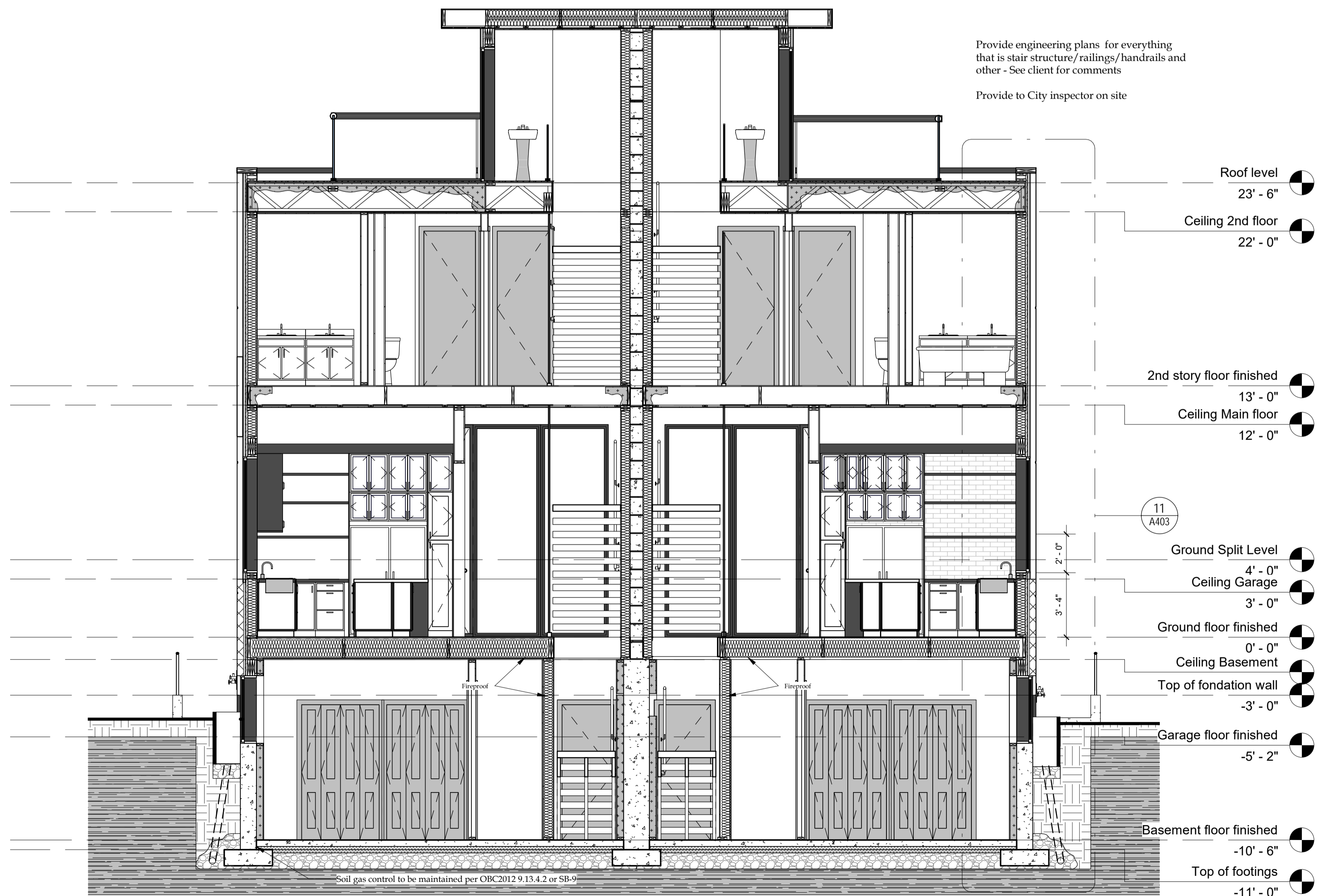
BCIN : 47250100 boul. Montcalm, unit 405
Gatineau, Quebec, J8X 0C6

No.	Description	Date

New residence : 256/258 Northwestern Ave.	
Building sections	
Project num. :	ZG21-2020
Date :	16-Feb.-2023
Drawn by :	Z.G.
Verified by:	Z.G.
A402b	
Scale:	As indicated



11 Wall section 3
1/2" = 1'-0"



1 Section 5
1/4" = 1'-0"

ARCHITECTURAL PLANS	
#	SHEET NAME
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BCIN : 47250

100 boul. Montcalm, unit 405
Gatineau, Quebec, J8X 0C6

No.	Description	Date
1	For Permit	12-10-2022

New residence :
256/258 Northwestern
Ave.

Wall section

Project num. : ZG21-2020

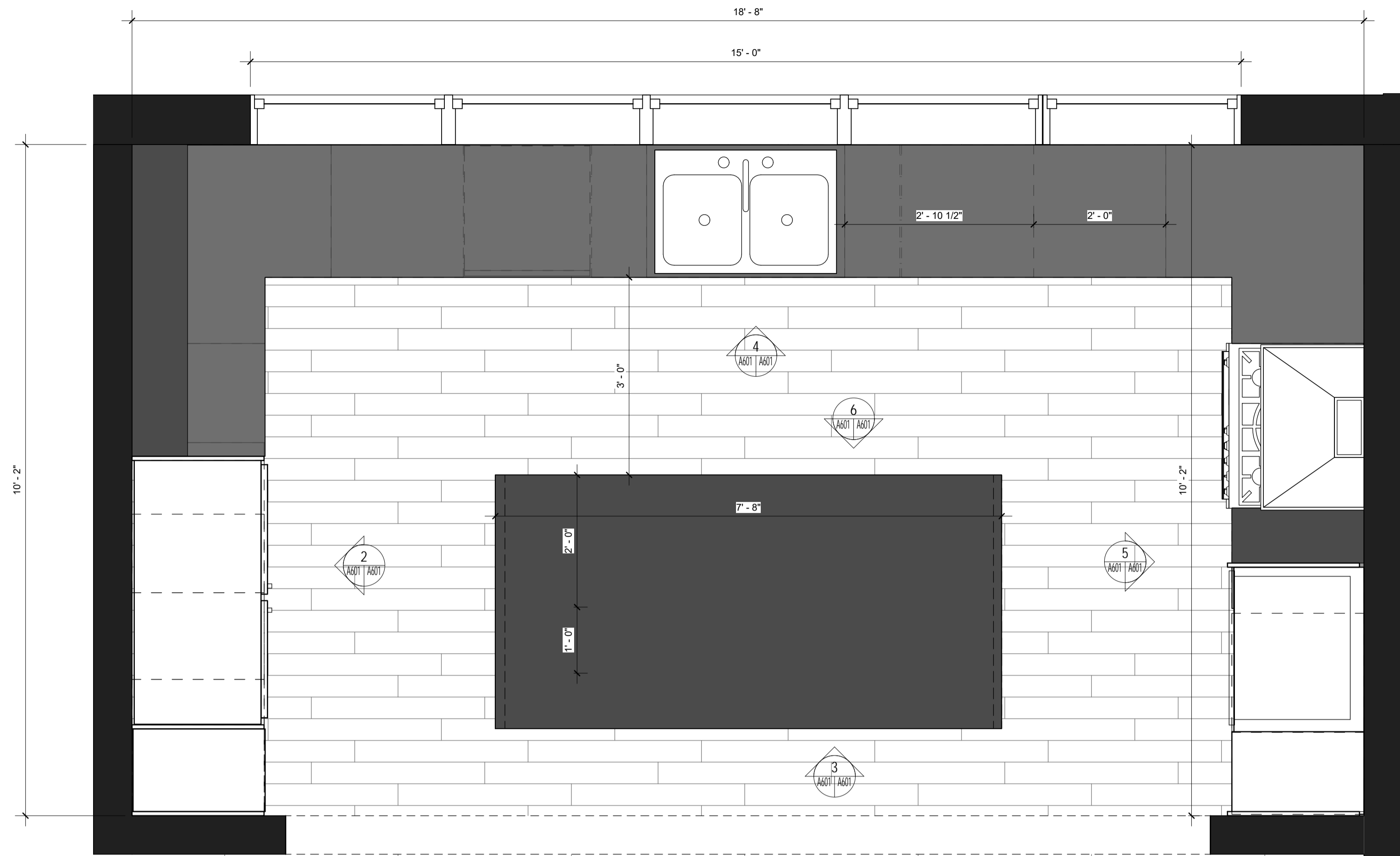
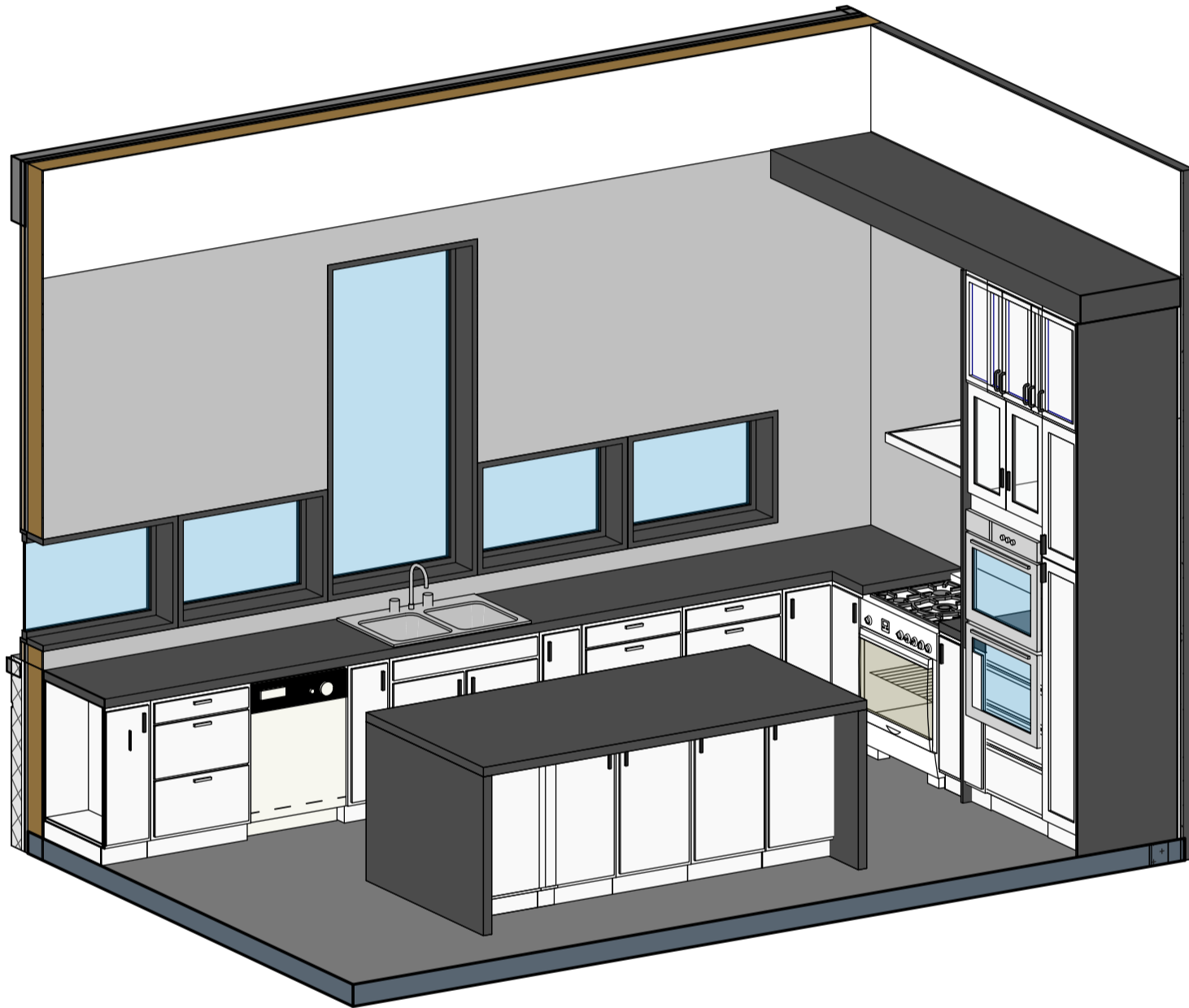
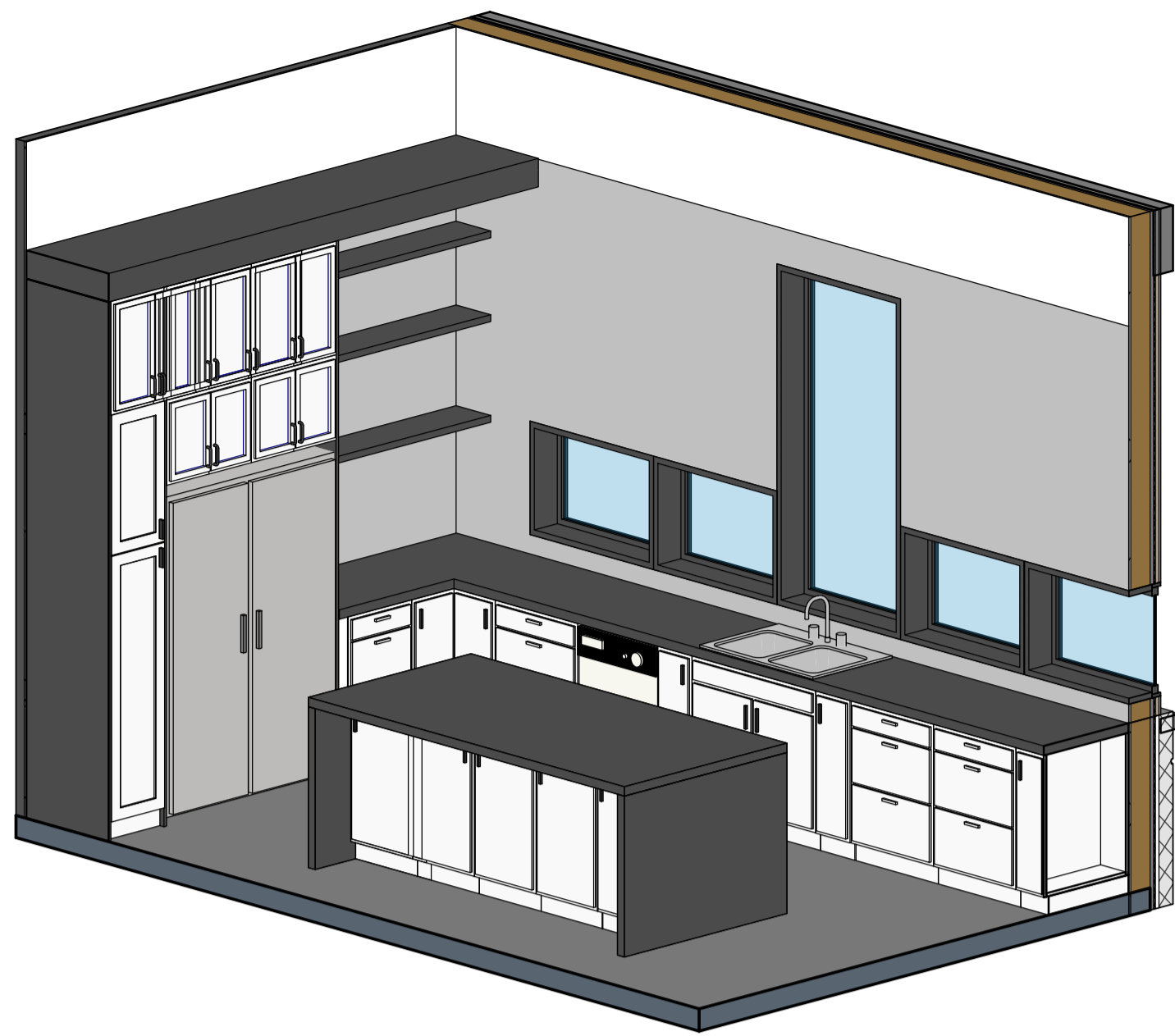
Date : 16-Feb.-2023

Drawn by : Z.G.

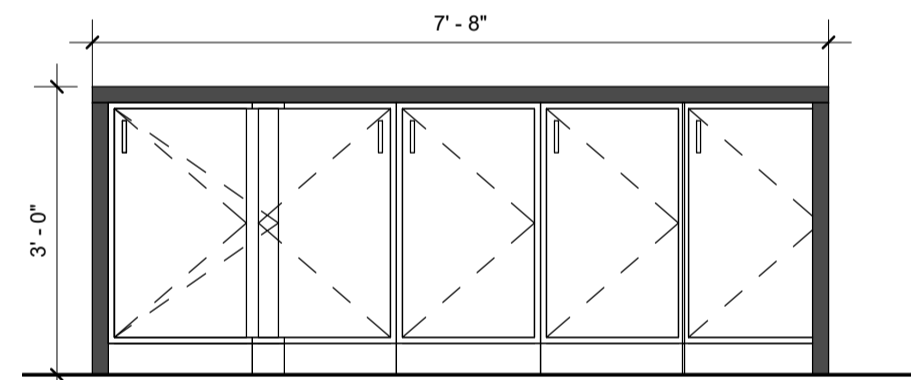
Verified by: Z.G.

A403

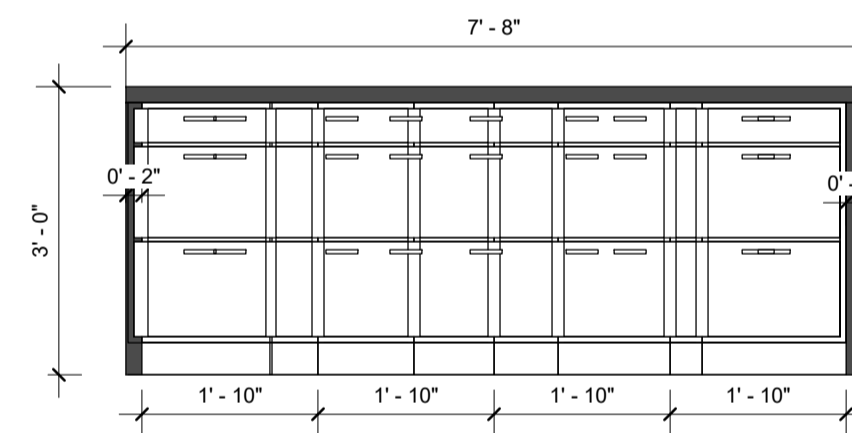
Scale: As indicated



1 Kitchen plan
3/4" = 1'-0"

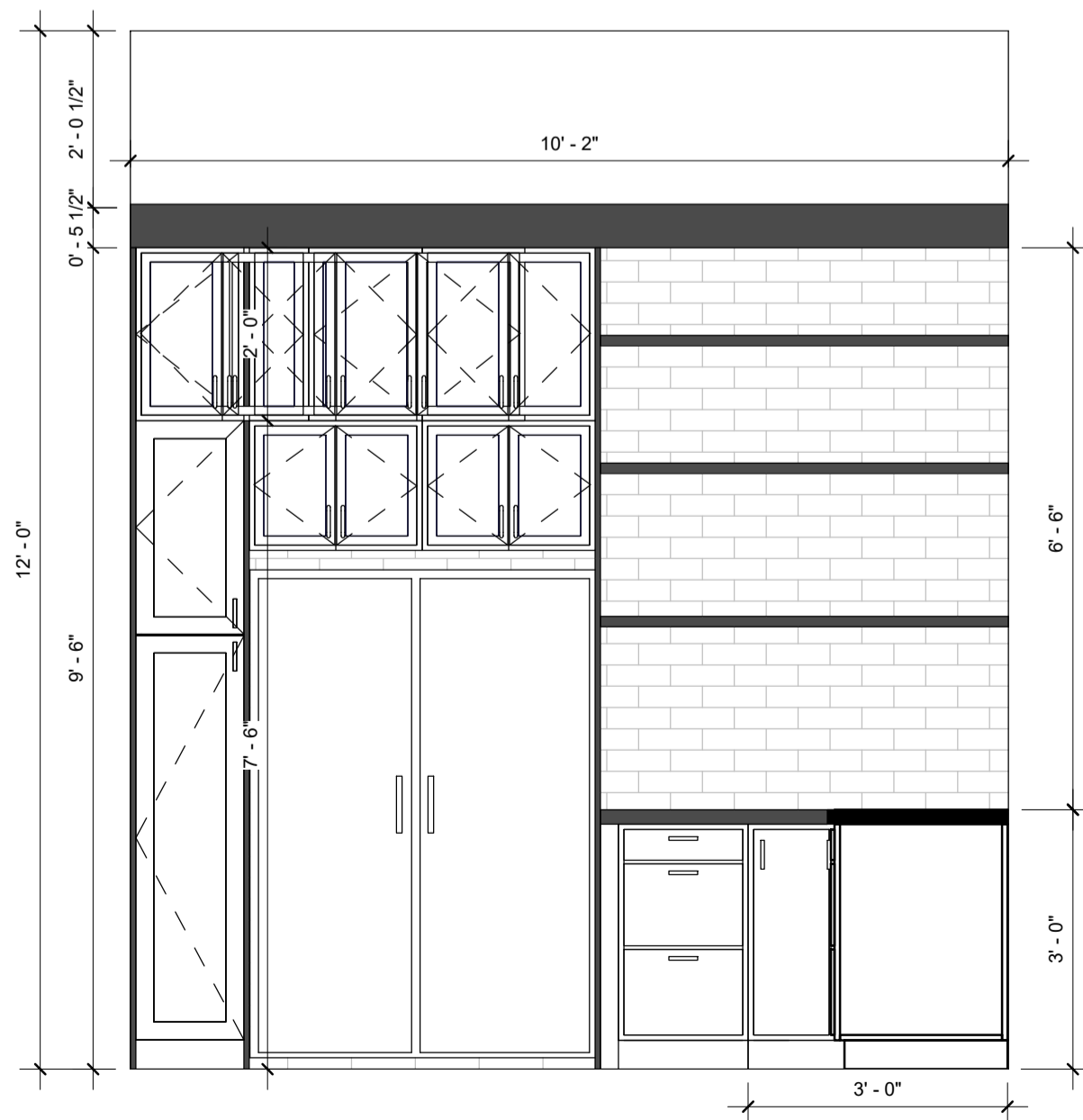


3 Island Elevation A
1/2" = 1'-0"

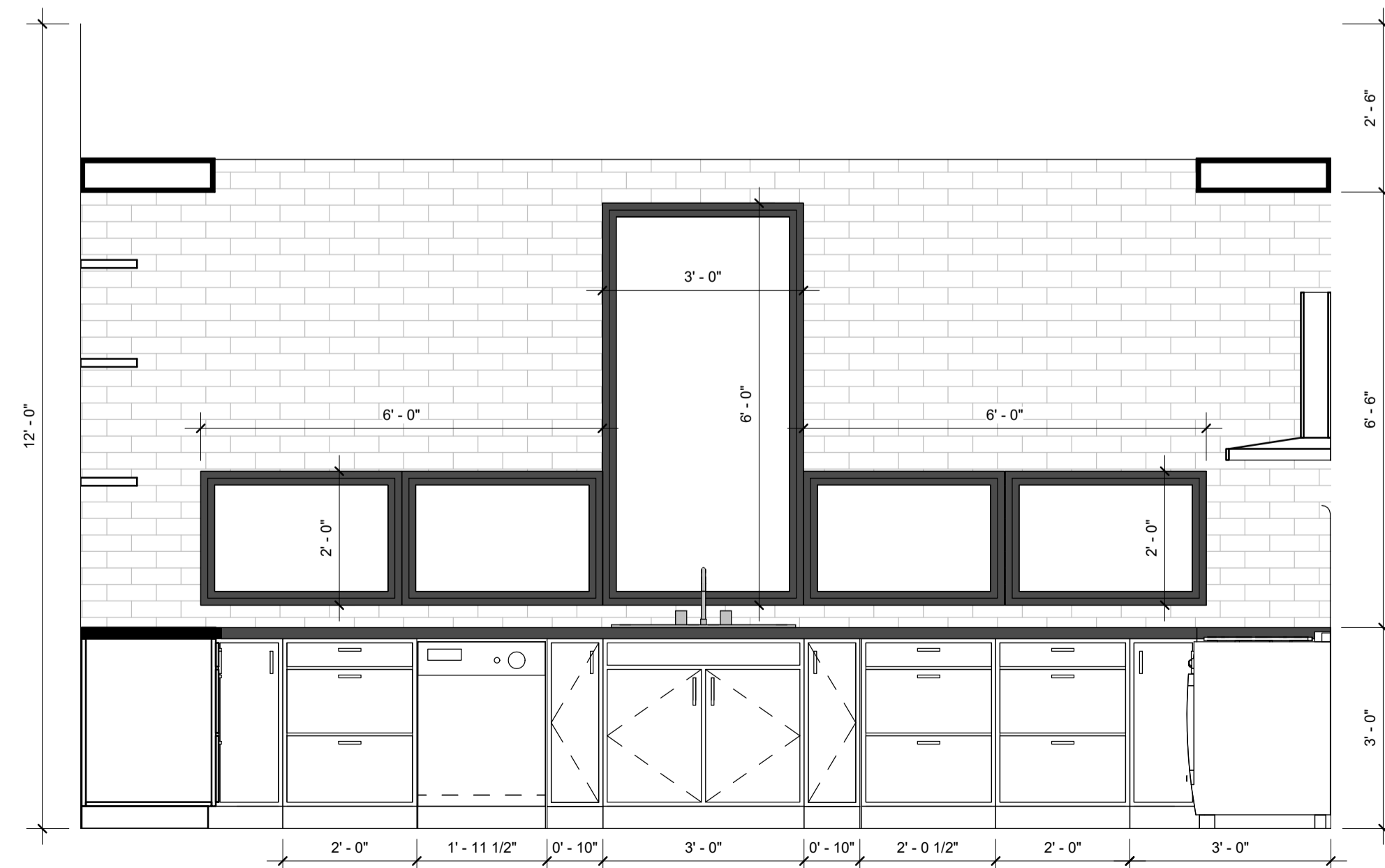


6 Island Elevation B
1/2" = 1'-0"

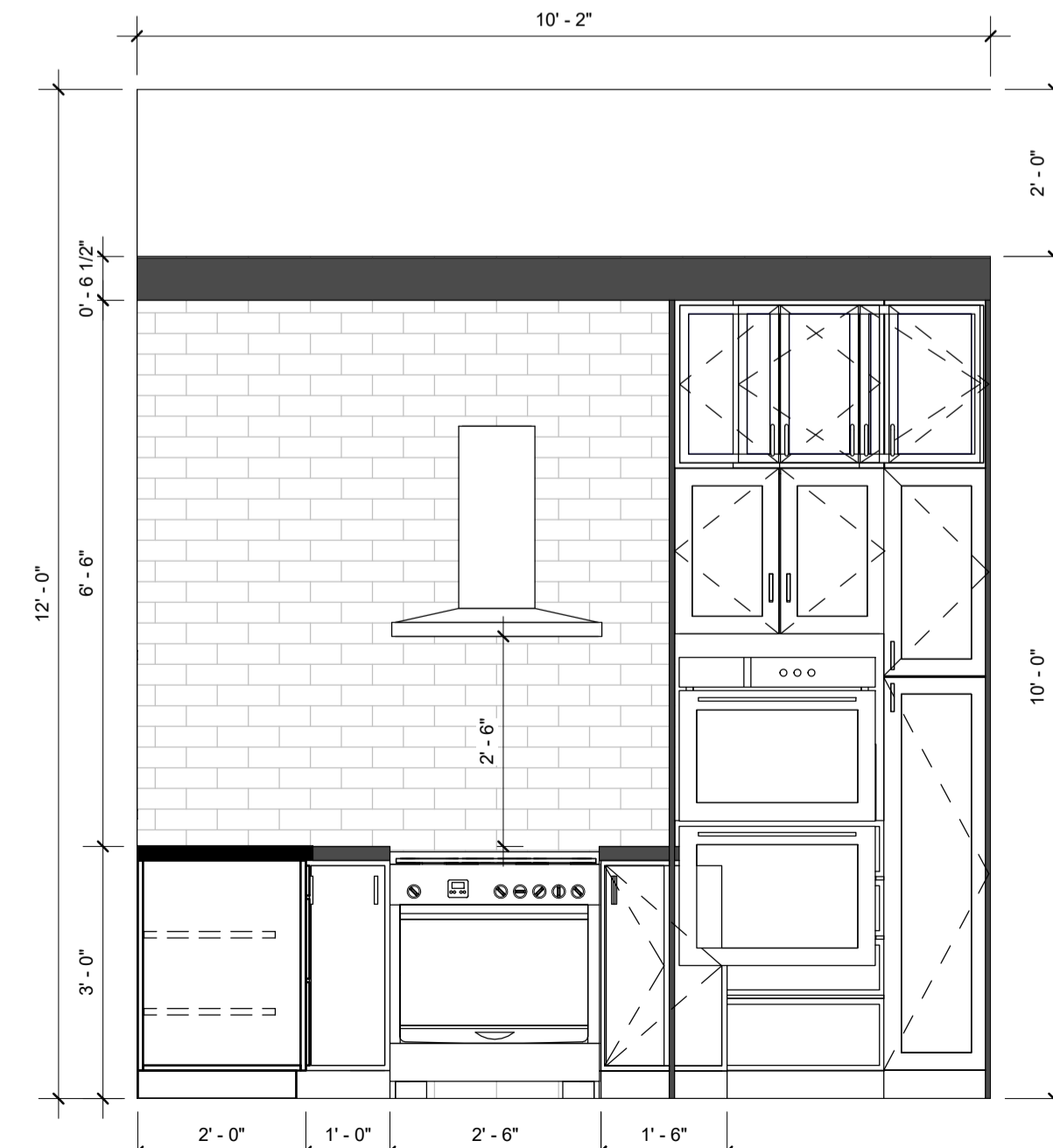
Committee of Adjustment
Received | Reçu le
2025-07-31
City of Ottawa | Ville d'Ottawa
Comité de dérogation



2 Kitchen Elevation A
1/2" = 1'-0"



4 Kitchen Elevation B
1/2" = 1'-0"



5 Kitchen Elevation C
1/2" = 1'-0"

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BCIN : 47250 100 boul. Montcalm, unit 405
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No.	Description	Date
1	For Permit	12-10-2022

New residence : 256/258 Northwestern Ave.	
Kitchen plans and elevations	
Project num. :	ZG21-2020
Date :	16-Feb.-2023
Drawn by : :	Z.G.
Verified by:	Z.G.
A601	
Scale:	As indicated