



LOT 2 PART 2 PLAN 4R - 34542

LOT 1 PART 3 PLAN 4R-34542

Committee of Adjustment
Received | Reçu le

2025-06-26

City of Ottawa | Ville d'Ottawa
Comité de dérogation

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: _____

PLAN 4R-
RECEIVED AND DEPOSITED
DATE: _____

D. S. McMORRAN
ONTARIO LAND SURVEYOR

REPRESENTATIVE FOR
LAND REGISTRAR FOR THE
LAND TITLES DIVISION OF
OTTAWA-CARLETON NO. 4.

SCHEDULE				
AREA (Sq.m.)	PART	LOT	PLAN	PIN
155.9	1	PART OF 13	53	ALL OF 04098-0098
146.2	2	PART OF		
162.7	3	12 AND 13		

PLAN OF SURVEY OF
PART OF LOTS 12 AND 13
REGISTERED PLAN 53
CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebek Ltd.
Scale 1:150

Metric
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

Surveyor's Certificate
I CERTIFY THAT:

- This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
- The survey was completed on the ___ day of _____, 2025.

Date: _____
D. S. McMORRAN
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations on reference points A and B, shown hereon, having a bearing of N33°05'10"E and are referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Coordinates are derived from Can-Net 2016 Real Time Network GPS observations referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

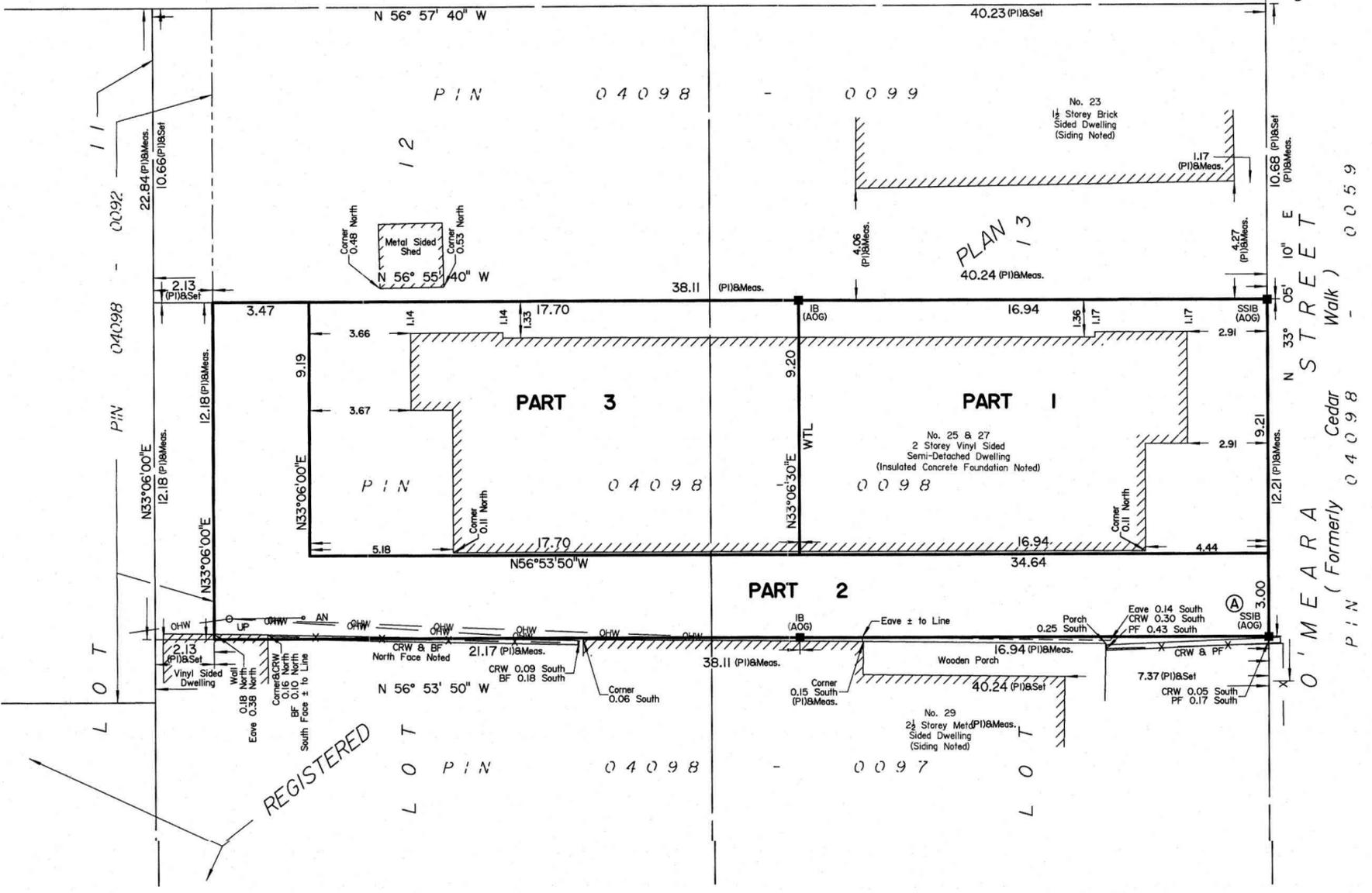
Coordinate values are to urban accuracy in accordance with O. Reg. 216/10.

.01919680005	Northing	5027191.26	Easting	361496.76
.01919680105	Northing	5024915.16	Easting	373971.65
.Point A	Northing	5029937.70	Easting	365552.29
.Point B	Northing	5029961.93	Easting	365568.08

Caution: Coordinates cannot, in themselves, be used to re-establish corners or boundaries shown on this plan.

Notes & Legend

- Denotes Survey Monument Planted
- Denotes Survey Monument Found
- SIB " Standard Iron Bar
- SSIB " Short Standard Iron Bar
- IB " Iron Bar
- Meas. " Measured
- (AOG) " Annis, O'Sullivan, Vollebek Ltd.
- (PI) " (AOG) Plan dated February 18, 2022
- WTL " Centreline of Wall ± to Line
- CRW " Concrete Retaining Wall
- BF " Board Fence
- PF " Picket Fence
- CLF " Chain Link Fence
- UP " Utility Pole
- AN " Anchor
- OHW — " Overhead Wires



Y:\2025\25758-25_Omeara_Plan_of_Survey\Drawings\25758-25_Omeara_Plan_of_Survey_Plan_1213_RP53_R.DWG

ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: Nepean@aovltd.com

Ontario
Land Surveyors Job No. 25758-25 Omeara Plan 1213 RP53 R.DI ISW



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Received | Reçu le
2025-06-26
City of Ottawa | Ville d'Ottawa
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SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of
REGISTERED PLAN 53
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1 : 150
0 4.5 9.0 1.5 0 3 6 Metres

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
2. The survey was completed on the 25th day of June, 2019.

July 9th 2019
Date
Richard R. Gauthier
Ontario Land Surveyor

PART 2
THIS PLAN MUST BE READ IN CONJUNCTION WITH
SURVEY REPORT DATED: July 8, 2019

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to
"The Client", their solicitors,
mortgagees, and other related parties, permission to use original, signed, sealed
copies of the Surveyor's Real Property Report in transactions involving The Client.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2094002

THIS PLAN IS NOT VALID UNLESS
IT IS AN EMBOSSED ORIGINAL
COPY ISSUED BY THE SURVEYOR
In accordance with
Regulation 1028, Section 29 (3).

Notes & Legend

Symbol	Denotes	Survey Monument Planted
□	Denotes	Survey Monument Planted
SIB	Standard Iron Bar	Standard Iron Bar
SSIB	Short Standard Iron Bar	Short Standard Iron Bar
IB	Iron Bar	Iron Bar
CC	Cut Cross	Cut Cross
IB#	Round Iron Bar	Round Iron Bar
RPL	Rock Plug	Rock Plug
(WIT)	Witness	Witness
Meas.	Measured	Measured
Prop.	Proportioned	Proportioned
(AOG)	Annis, O'Sullivan, Vollebek Ltd.	Annis, O'Sullivan, Vollebek Ltd.
(P)	Registered Plan 53	Registered Plan 53
(P1)	(647) Plan, June 19, 1972	(647) Plan, June 19, 1972
(P2)	(647) Plan, October 19, 1987	(647) Plan, October 19, 1987
(P3)	(647) Plan, May 8, 1985	(647) Plan, May 8, 1985
(P4)	(725) Plan, June 13, 1984	(725) Plan, June 13, 1984
(D)	Inst. NS26285	Inst. NS26285
(D2)	Inst. CR316640	Inst. CR316640
NFN	North Face Noted	North Face Noted
CLF	Chain Link Fence	Chain Link Fence
BF	Board Fence	Board Fence
PF	Picket Fence	Picket Fence
CRW	Concrete Retaining Wall	Concrete Retaining Wall
T/G	Top of Grate	Top of Grate
Inv.	Invert	Invert
CB	Catch Basin	Catch Basin
MH-ST	Maintenance Hole (Storm Sewer)	Maintenance Hole (Storm Sewer)
MH-S	Maintenance Hole (Sanitary)	Maintenance Hole (Sanitary)
VC	Valve Chamber (Watermain)	Valve Chamber (Watermain)
W	Water Valve	Water Valve
SP	Water Stand Post	Water Stand Post
FH	Fire Hydrant	Fire Hydrant
ST	Underground Storm Sewer	Underground Storm Sewer
S	Underground Sanitary Sewer	Underground Sanitary Sewer
W	Underground Water	Underground Water
G	Underground Gas	Underground Gas
OHW	Overhead Wires	Overhead Wires
UP	Utility Pole	Utility Pole
AN	Anchor	Anchor
GM	Gas Meter	Gas Meter
Tree	Deciduous Tree	Deciduous Tree
Tree	Coniferous Tree	Coniferous Tree
#	Diameter	Diameter
+55.00	Location of Elevations	Location of Elevations
+65.00	Location of Top of Curb Elevations	Location of Top of Curb Elevations
+65.00*	Location of Top of Wall Elevations	Location of Top of Wall Elevations
+65.00**	Location of Underside of Eave Elevations	Location of Underside of Eave Elevations

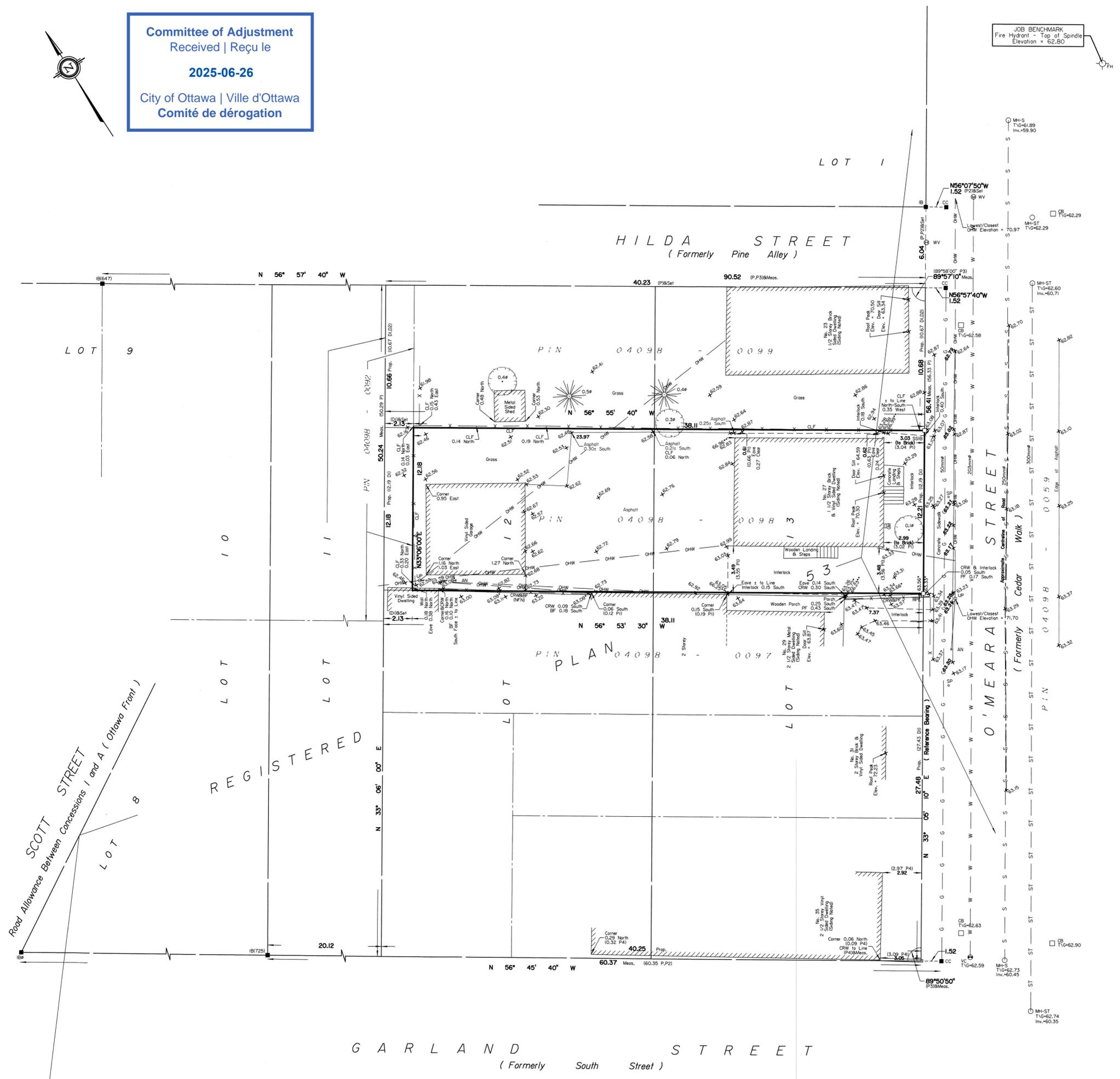
ELEVATION NOTES
1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.
4. Information on buried facilities and invert elevations has been derived from City of Ottawa Engineering sheets 2704 (Sheet 7 of 7) (revision date June 2009) and E-08-07 (revision date June 1995).

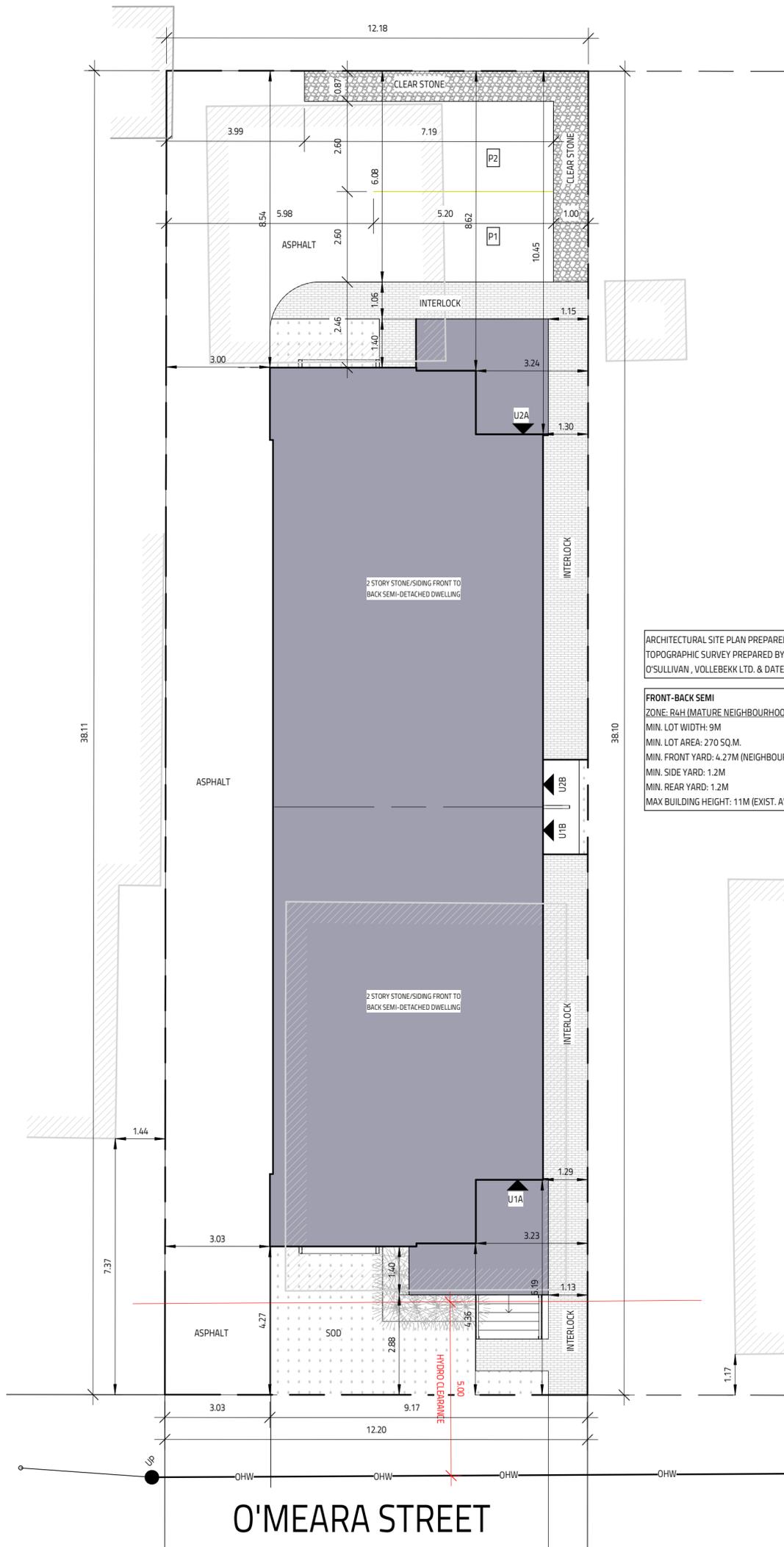
Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations and are referred to MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

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ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
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Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: nepean@asvll.com

Ontario
Land Surveyors
Job No. 2019-25-047 23. Developments PL12/13 PL53 T D1 ISW



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ARCHITECTURAL SITE PLAN PREPARED USING TOPOGRAPHIC SURVEY PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. & DATED JULY 9, 2020

FRONT-BACK SEMI
 ZONE: R4H (MATURE NEIGHBOURHOOD)
 MIN. LOT WIDTH: 9M
 MIN. LOT AREA: 270 SQ.M.
 MIN. FRONT YARD: 4.27M (NEIGHBOUR AVRG.)
 MIN. SIDE YARD: 1.2M
 MIN. REAR YARD: 1.2M
 MAX BUILDING HEIGHT: 11M (EXIST. AVRG. GRADE)

O'MEARA STREET

I REVIEW & TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF THE OBC 2012. I AM QUALIFIED & THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES.

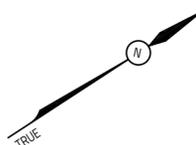
THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNTIL SIGNED AND DATED BY THE DESIGNER

FIRM BCIN: 45801
 INDIVIDUAL BCIN: 41176
 NOVEMBER 5, 2020

- GENERAL NOTES:
- E. & O.E.
 - DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS ONLY TO BE USED
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS ON SITE & REPORT ALL DISCREPANCIES
 - GENERAL CONTRACTOR TO CONSTRUCT IN ACCORDANCE w/ THE O.B.C. 2012, ANY MUNICIPAL BY LAWS & ALL OTHER APPLICABLE CODES



STRUCTURAL COMPONENTS ONLY



NO.	REVISION	DATE
3	ISSUED FOR PERMIT	NOV 5, 2020
2	ISSUED FOR ROOF & FLOOR LAYOUTS	SEPT 28, 2020
1	ISSUED FOR STRUCTURAL REVIEW	SEPT 23, 2020

PROJECT: **27 O'MEARA STREET**
 BASEMENT: 924 SQ.FT./UNIT
 GROUND: 932 SQ.FT./UNIT
 SECOND: 1040 SQ.FT./UNIT
 OTTAWA, ON

613-884-7068 /// 613-808-7185

DATE DRAWN		SCALE
JULY 25, 2020		1:100
DRAWN BY	FILE NAME	DWG. NO.
MV	27 O'MEARA ST. - 01	A0.1
CHECKED BY		
SG		

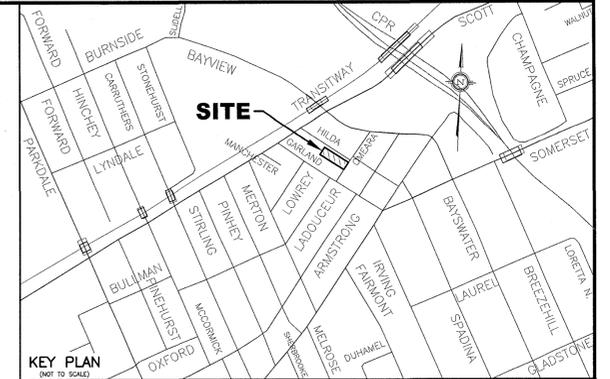
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Received | Reçu le

2025-06-26

City of Ottawa | Ville d'Ottawa
Comité de dérogation

JOB BENCHMARK
Fire Hydrant - Top of Spindle
Elevation = 62.80

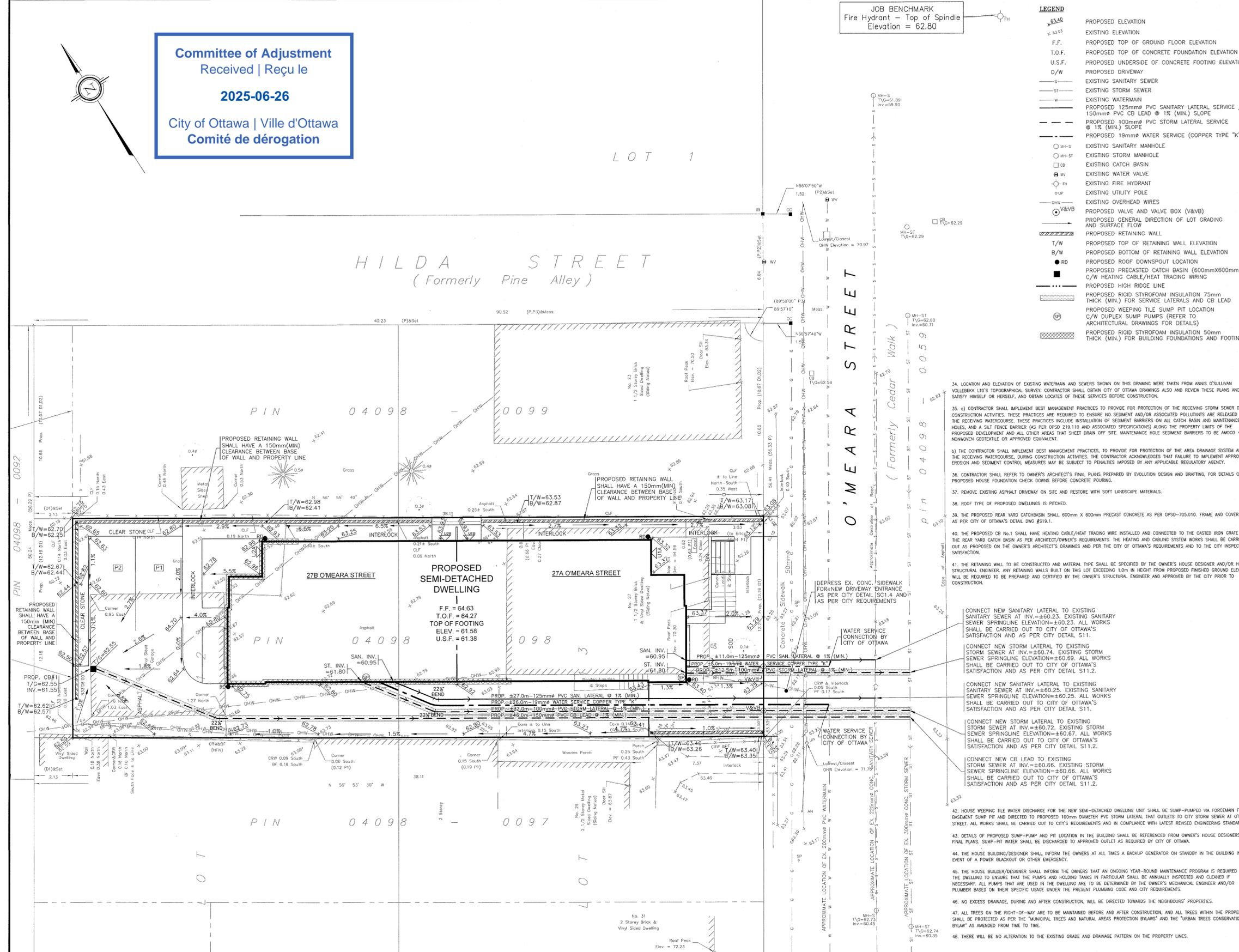
- PROPOSED ELEVATION
- EXISTING ELEVATION
- F.F. PROPOSED TOP OF GROUND FLOOR ELEVATION
- T.O.F. PROPOSED TOP OF CONCRETE FOUNDATION ELEVATION
- U.S.F. PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION
- D/W PROPOSED DRIVEWAY
- EXISTING SANITARY SEWER
- ST EXISTING STORM SEWER
- W EXISTING WATERMAIN
- PROPOSED 125mm PVC SANITARY LATERAL SERVICE / 150mm PVC CB LEAD @ 1% (MIN.) SLOPE
- PROPOSED 100mm PVC STORM LATERAL SERVICE @ 1% (MIN.) SLOPE
- PROPOSED 19mm WATER SERVICE (COPPER TYPE "K")
- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE
- CB EXISTING CATCH BASIN
- WV EXISTING WATER VALVE
- PH EXISTING FIRE HYDRANT
- UP EXISTING UTILITY POLE
- OHV EXISTING OVERHEAD WIRES
- V&VB PROPOSED VALVE AND VALVE BOX (V&VB)
- PROPOSED GENERAL DIRECTION OF LOT GRADING AND SURFACE FLOW
- PROPOSED RETAINING WALL
- T/W PROPOSED TOP OF RETAINING WALL ELEVATION
- B/W PROPOSED BOTTOM OF RETAINING WALL ELEVATION
- RD PROPOSED ROOF DOWNSPOUT LOCATION
- PROPOSED PRECASTED CATCH BASIN (600mmX600mm) C/W HEATING CABLE/HEAT TRACING WIRING
- PROPOSED HIGH RIDGE LINE
- PROPOSED RIGID STYROFOAM INSULATION 75mm THICK (MIN.) FOR SERVICE LATERALS AND CB LEAD
- PROPOSED WEAVING TILE SUMP PIT LOCATION
- C/W DUPLEX SUMP PUMPS (REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS)
- PROPOSED RIGID STYROFOAM INSULATION 50mm THICK (MIN.) FOR BUILDING FOUNDATIONS AND FOOTINGS



KEY PLAN
SHEET 25 OF 25

NOTES

- EXISTING SERVICES AND UTILITIES SHOWN ON THIS DRAWING WERE TAKEN FROM THE BEST AVAILABLE RECORDS, BUT ARE INCOMPLETE. CONTRACTOR IS REQUIRED TO CHECK IN THE FIELD FOR LOCATION AND ELEVATION OF PIPES, AND CHECK WITH AUTHORITIES AND UTILITIES TO HIS OR HER SATISFACTION BEFORE DIGGING.
- CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS AS DEEMED NECESSARY BEFORE POURING OF CONCRETE FOOTING AND FOUNDATION. THE OWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE SUBGRADE ON THIS LOT IS SUFFICIENT TO SUPPORT PROPOSED RESIDENTIAL BUILDING.
- STING DETAILS FOR PROPOSED DWELLINGS WERE PROVIDED BY EVOLUTION DESIGN AND DRAFTING, AS DETAILED ON THEIR SITE PLAN FOR THE SEMI-DETACHED DWELLING DWG. #A0.1 REV. #0 RECEIVED ON SEPTEMBER 3, 2020. BUILDING ELEVATIONS THAT ARE SHOWN (TOP OF FINISHED FLOOR, TOP OF FOUNDATION, AND USF) ARE REFERENCED FROM HOUSE DESIGNER'S ELEVATIONS 1 AND ELEVATIONS 2 REV. #0 OF BOTH DRAWINGS RECEIVED ON SEPTEMBER 3, 2020.
- EXISTING HORIZONTAL AND VERTICAL SURVEY DATA SHOWN ON THIS PLAN INCLUDING SITE BENCHMARK, ROAD ELEVATIONS, SEWER INVERTS, SEWER LOCATIONS, AND TOPOGRAPHICAL INFORMATION OF THE LOT WERE PROVIDED BY ANNIS O'SULLIVAN VALLEBEEK LTD. AS DERIVED ON THEIR TOPOGRAPHICAL SURVEY PLAN JOB #2019-25-047 COMPLETED ON JUNE 25, 2019. T.L. MAK ENGINEERING CONSULTANTS LTD. DOES NOT TAKE ANY RESPONSIBILITY FOR THE SURVEY INFORMATION SHOWN HERE. FOR ADDITIONAL INFORMATION ABOUT STORM AND SANITARY INVERT ELEVATION AT MANHOLES, AND SEWER AND WATERMAIN LOCATION AND SIZE, CONTRACTOR SHALL ALSO REFER TO CITY OF OTTAWA PLAN AND PROFILE DRAWINGS ENTITLED O'MEARA STREET - PLAN #2704 SHEET 7 OF 7 (CONTRACT #94C2704) DATED NOVEMBER 30, 1994.
- ALL GRADING SHALL BE DONE TO THE SATISFACTION OF CITY OF OTTAWA.
- ALL GRADES SHOWN ARE GEODETIC AND METRIC.
- ALL WATERWORKS SHALL BE CONSTRUCTED TO CITY OF OTTAWA'S LATEST REVISED STANDARDS AND ON APPROVAL BY CITY OF OTTAWA CITY OF OTTAWA REQUIRES 0.3m MINIMUM CLEARANCE BETWEEN EXISTING WATERMAIN AND PROPOSED SANITARY LATERAL.
- CONSTRUCT ALL SANITARY AND STORM PIPES IN ACCORDANCE WITH CITY OF OTTAWA'S LATEST REVISED STANDARD, OTHERWISE AS PER OPSS AND OPSP SPECIFICATIONS.
- ALL WORKS CONSTRUCTED BY CONTRACTOR SHALL MEET CITY OF OTTAWA'S CURRENT ENGINEERING STANDARDS AND AS PER CITY OF OTTAWA'S REQUIREMENTS.
- CONTRACTOR SHALL CONSTRUCT AND ENSURE THAT THE 19mm WATER SERVICE ON THIS LOT SHALL HAVE A MINIMUM OF 2.4m OF GROUND COVER. OTHERWISE INSULATE WITH RIGID S/M STYROFOAM IN ACCORDANCE WITH SITE SOILS ENGINEER'S REQUIREMENTS AND CITY DETAIL W22. WATER SERVICE INSTALLATION SHALL BE COPPER TYPE K AND CONSTRUCTED IN ACCORDANCE WITH LATEST CITY OF OTTAWA STANDARDS.
- THIS LOT GRADING DESIGN PLAN WAS PREPARED FOR THE OWNERS FOR BUILDING PERMIT ISSUANCE. ALL WORKS CONSTRUCTED BY CONTRACTOR SHALL MEET CITY OF OTTAWA'S CURRENT ENGINEERING STANDARDS AND PER CITY OF OTTAWA'S REQUIREMENTS. THIS GRADING PLAN SHALL NOT BE USED FOR BUILDING CONSTRUCTION LAYOUT PURPOSES. REFER TO HOUSE DESIGNER'S APPROVED SITE PLAN FOR EXACT DIMENSIONS REGARDING BUILDING LOCATION LAYOUT.
- WHERE ROOF EAVES/TROUGH ARE INSTALLED, ROOF DOWNSPOUTS SHALL BE DIRECTED TO OUTLET DISCHARGE TO FRONT AND REAR YARD ONLY, WHERE POSSIBLE, AND NOT TO SIDE YARDS.
- ALL WATERMAIN SERVICE AND FITTINGS SHALL CONFORM TO APPROVED ANWA AND/OR CSA STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS TO COMPLETE THE WORKS.
- EXISTING LOCATION OF O'MEARA STREET WATERMAIN AND SANITARY AND STORM SEWER SHOWN ON THIS PLAN IS APPROXIMATE. CONTRACTOR SHALL VERIFY IN THE FIELD TO CONFIRM EXACT LOCATIONS BEFORE EXCAVATION (SEE NOTE 24).
- PROPOSED SURFACE GRADE SHALL BE 7% MAXIMUM, WHERE THE GROUND DROPS OFF STEEPLY, TERRACE THE GROUND AT 3% MAXIMUM TO 1% AS NECESSARY TO MEET CITY OF OTTAWA'S GRADING REQUIREMENTS.
- WATER SERVICE CONNECTION TO O'MEARA STREET SHALL BE DONE BY CITY OF OTTAWA. ALL CONNECTIONS AND OTHER RELATED WORKS TO WATERMAIN SHALL BE MADE BY CITY OF OTTAWA, AND EXCAVATION, BACKFILLING, AND REINSTATEMENTS BY CONTRACTOR. ALL WATERWORKS SHALL BE CARRIED OUT TO CITY OF OTTAWA'S SATISFACTION.
- IF WATER SERVICE IS LESS THAN 2.4m FROM SEWER, MANHOLE, OR CATCH BASIN, CONTRACTOR IS REQUESTED TO INSULATE BETWEEN THEM WITH S/M RIGID INSULATION (AS PER CITY DETAIL W22 AND W23).
- PIPE SIZES SHOWN ON THIS PLAN ARE METRIC.
- WATER SERVICE AND WATERMAIN TRENCH DETAILS AS PER CITY W17 DETAIL.
- PROPOSED SANITARY AND STORM SERVICE LATERALS INCLUDING THE 150mm DIAMETER CB LEAD SHALL BE PVC DR-28 OR EQUIVALENT.
- SANITARY AND STORM SERVICE BENDS AND RISERS USED MUST BE CONSTRUCTED TO CITY OF OTTAWA'S SATISFACTION.
- BEFORE FOR SEWERS AND WATERMAIN INSTALLATION SHALL BE TYPE B CONCRETE TO 95% DRY PROCTOR DENSITY. FOR SEWER LATERALS, USE 300mm THICK APPROVED GRANULAR COVER MATERIAL COMPACT TO 95% DRY PROCTOR DENSITY. TRENCH BACKFILL WITH NATIVE MATERIAL AND COMPACT TO 95% DRY PROCTOR DENSITY MINIMUM. NO FROZEN MATERIALS ARE TO BE USED AS BACKFILL IN SERVICING TRENCHES.
- DETAILS OF EXISTING SEWERS AND WATERMAIN SHOWN ON O'MEARA STREET FROM THE CITY OF OTTAWA MAY NOT BE CURRENT. CONTRACTOR SHALL REFER TO CITY OF OTTAWA'S SEWER AND WATERMAIN DRAWINGS FOR DETAILS BEFORE BEGINNING. CONTRACTOR IS ADVISED TO EXCAVATE AND INVESTIGATE SEWER ELEVATIONS IN FRONT OF THIS PROPERTY FIRST TO ENSURE THAT 1% MINIMUM PIPE SLOPE OF SANITARY AND STORM LATERALS CAN BE ACHIEVED USING PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION. IF 1% MINIMUM SLOPE IS NOT POSSIBLE FROM THE HOUSE TO THE SEWER, THEN CONTRACTOR SHOULD INFORM OWNER'S PROJECT MANAGER AND CITY OF OTTAWA APPROVED FOR FURTHER DIRECTION.
- FOR DEVELOPMENT OF THIS LOT, CONTRACTOR MUST FIRST CONSTRUCT UNDERGROUND SANITARY, STORM, AND WATER SERVICES FROM SEWER AND WATERMAIN TO THE PROPERTY, BEFORE HOUSE CONCRETE FOUNDATION POURING. CONTRACTOR SHALL VERIFY SEWER DEPTHS TO ENSURE THAT SEWER LATERALS CAN ACHIEVE A SLOPE OF 1% MINIMUM AND STILL BE BELOW PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION. IF THIS IS FOUND TO BE NOT POSSIBLE, CONTRACTOR SHALL CONTACT OWNER AND HIS OR HER PROJECT MANAGER TO REPORT THE FINDING IN ORDER TO ADJUST HOUSE FOUNDATION GRADES BEFORE CONCRETE POURING.
- INSULATE HOUSE SERVICE LATERALS WITHIN PRIVATE PROPERTY AND ROAD RIGHT OF WAY WHERE GROUND COVER FOR Frost PROTECTION IS LESS THAN 2.4m FOR WATER SERVICE AND 2.4m FOR SANITARY AND STORM GRAVITY SEWERS. MINIMUM GROUND COVER OVER HOUSE SERVICE PIPES SHALL NOT BE LESS THAN 2m. EXACT INSULATION THICKNESS SHALL BE DETERMINED BY CITY INSPECTOR ON SITE AND/OR OWNER'S SOILS ENGINEER. ALL INSULATION WORKS SHALL BE CARRIED OUT AS PER CITY OF OTTAWA'S CURRENT ENGINEERING STANDARDS DETAIL W22 AND W23.
- WHERE Frost COVER FROM UNDERSIDE OF THICK CONCRETE FOOTING TO PROPOSED FINISHED GROUND ELEVATION IS LESS THAN 1.5m, IT IS RECOMMENDED THAT INSULATION (50mm THICK MINIMUM) BE INSTALLED AT BUILDING FOOTING AND FOUNDATION OF HOUSE TO PROVIDE SUFFICIENT Frost COVER FOR FOUNDATION STRUCTURES. INSULATION REQUIREMENTS SHALL BE REVIEWED AND RECOMMENDED BY OWNER'S SOILS ENGINEER. EXACT INSULATION REQUIREMENTS SHALL BE CONFIRMED BY OWNER'S HOUSE DESIGNER AND SITE SOILS ENGINEER TO CONTRACTOR BEFORE INSTALLATION.
- A BACKWATER VALVE MUST BE INSTALLED FOR THE NEW STORM LATERAL SERVICE AND A FULL PORT BACKWATER VALVE MUST BE INSTALLED FOR THE NEW SANITARY SERVICE LATERAL SERVICE PROPOSED TO SERVICE THE DWELLING UNDER THE CURRENT REGULATION OF THE ONTARIO PLUMBING CODE AND AS PER CITY DETAILS S14, S14.1, AND S14.2.
- EXISTING HOUSE LATERALS AND WATER SERVICE PIPING HAVE BEEN AND/OR SHALL BE ABANDONED. WATER SERVICE SHALL BE BLANKED AND CAPPED AT THE MAIN AS PER CITY OF OTTAWA'S REQUIREMENTS. SEWER LATERALS SHALL BE CAPPED AND/OR PLUGGED AT FRONT PROPERTY LINE. ALL WATER AND SEWER LATERAL WORKS SHALL BE CARRIED OUT TO CITY OF OTTAWA'S SATISFACTION AND AS PER CITY DETAIL S11.1 FOR CAPPING SERVICES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REINSTATEMENT OF ALL AREAS DISTURBED DURING CONSTRUCTION, AND SUCH REINSTATEMENT MUST BE UNDERTAKEN IN ACCORDANCE WITH CURRENT CITY OF OTTAWA STANDARDS AND SPECIFICATIONS.
- UPON COMPLETION OF NEW SERVICE LATERALS FOR PROPOSED DWELLING AND NEW DRIVEWAY, CONTRACTOR SHALL RESTORE EXISTING ROADWAY BOULEVARD DRAINAGE ACROSS THIS LOT TO DRAIN POSITIVELY TO ITS EXISTING OUTLET. WORKS SHALL BE CARRIED OUT TO SATISFACTION OF CITY OF OTTAWA.
- AT THE TIME OF CONSTRUCTION OF DRIVEWAY FOR NEW HOUSE, REGRADE ROADWAY BOULEVARD TO OUTLET INTO EXISTING STORM OUTLET TO CITY OF OTTAWA'S SATISFACTION AND REQUIREMENTS.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES REGARDING LOCATION OF EXISTING OVERHEAD UTILITY WIRES FOR RELOCATION AND POSSIBLE CLEARANCE BEFORE CONSTRUCTION.



SCALE
0 1 2 3 5m
1:100
HORIZONTAL

DESIGN T.L.M.
CHECKED T.L.M.
DRAWN BY P.M.
CHECKED T.L.M.
APPROVED T.L.M.

PROJECT
27 O'MEARA STREET
PART OF LOTS 12 AND 13
REGISTERED PLAN 53
CITY OF OTTAWA
DRAWING TITLE
PROPOSED LOT GRADING PLAN

T.L. MAK ENGINEERING CONSULTANTS LTD.
CONSULTING ENGINEERS
PROJECT No. 820-109
DATE SEPTEMBER 2020
DRAWING No. G-1

NO.	REVISION	DATE	BY
1	REVISIONS AS PER HOUSE DESIGNER'S COMMENTS OF SEPTEMBER 29, 2020 AND SEPTEMBER 30, 2020	09/30/20	TLM

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations and are referred to MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to _____ ("The Client"), their solicitors, mortgagees, and other related parties, permission to use original, signed, sealed copies of the Surveyor's Real Property Report in transactions involving The Client.

SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of

PART OF LOTS 12 AND 13
REGISTERED PLAN 53
CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Scale 1 : 150



Metric

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate

I CERTIFY THAT :

1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 4th day of January, 2022.

Date

T. Hartwick

Ontario Land Surveyor

PART 2

THIS PLAN MUST BE READ IN CONJUNCTION WITH SURVEY REPORT DATED: _____

Notes & Legend

	Denotes	Survey Monument Planted
	"	Survey Monument Found
SIB	"	Standard Iron Bar
SSIB	"	Short Standard Iron Bar
IB	"	Iron Bar
Meas.	"	Measured
(AOG)	"	Annis, O'Sullivan, Vollebakk Ltd.
(PI)	"	(AOG) Plan dated July 9, 2019
CRW	"	Concrete Retaining Wall
BF	"	Board Fence
PF	"	Picket Fence
CLF	"	Chain Link Fence
o UP	"	Utility Pole
o AN	"	Anchor
— OHW —	"	Overhead Wires

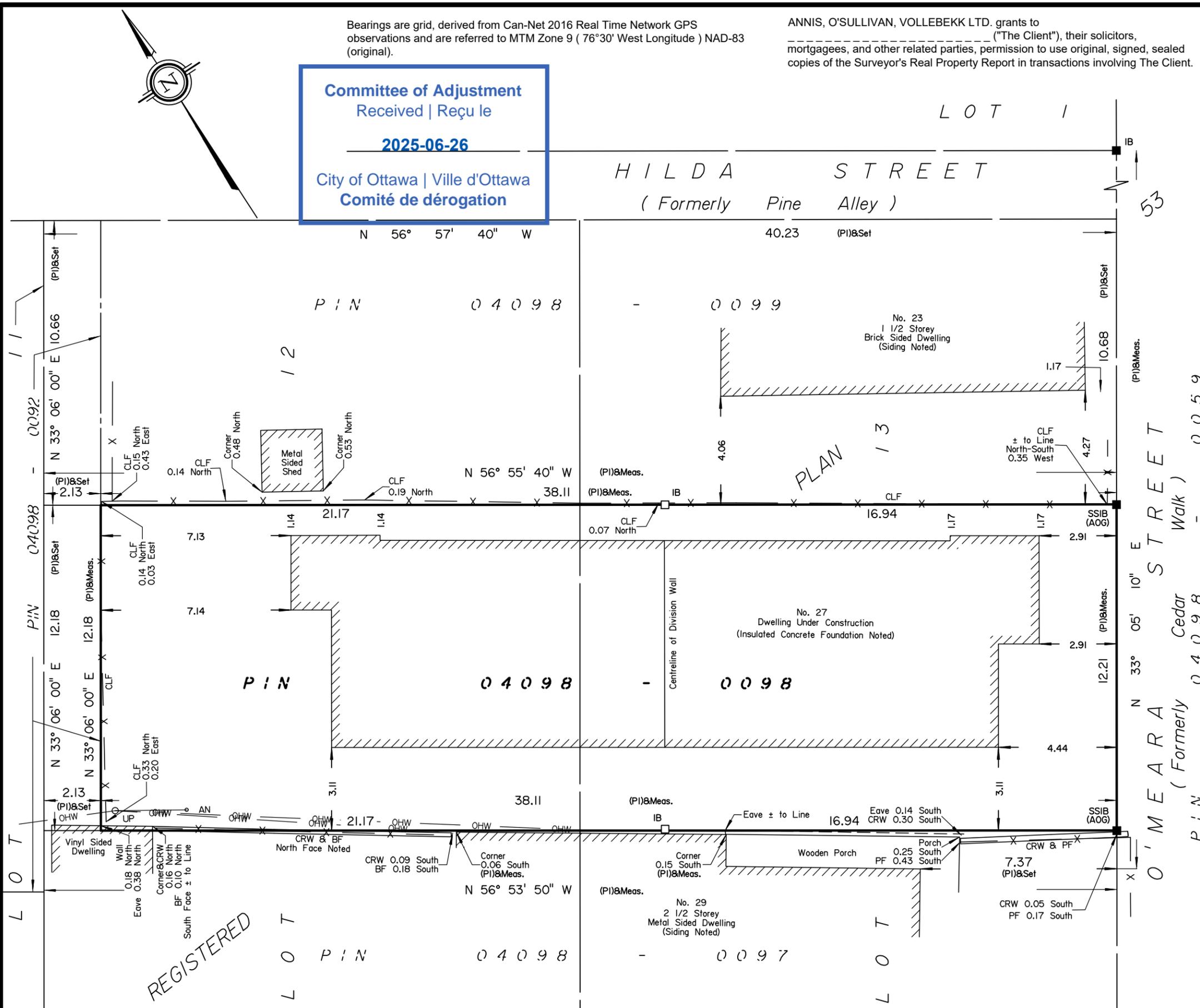
ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-22585

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29 (3).

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Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: Nepean@aovltd.com

Ontario Land Surveyors

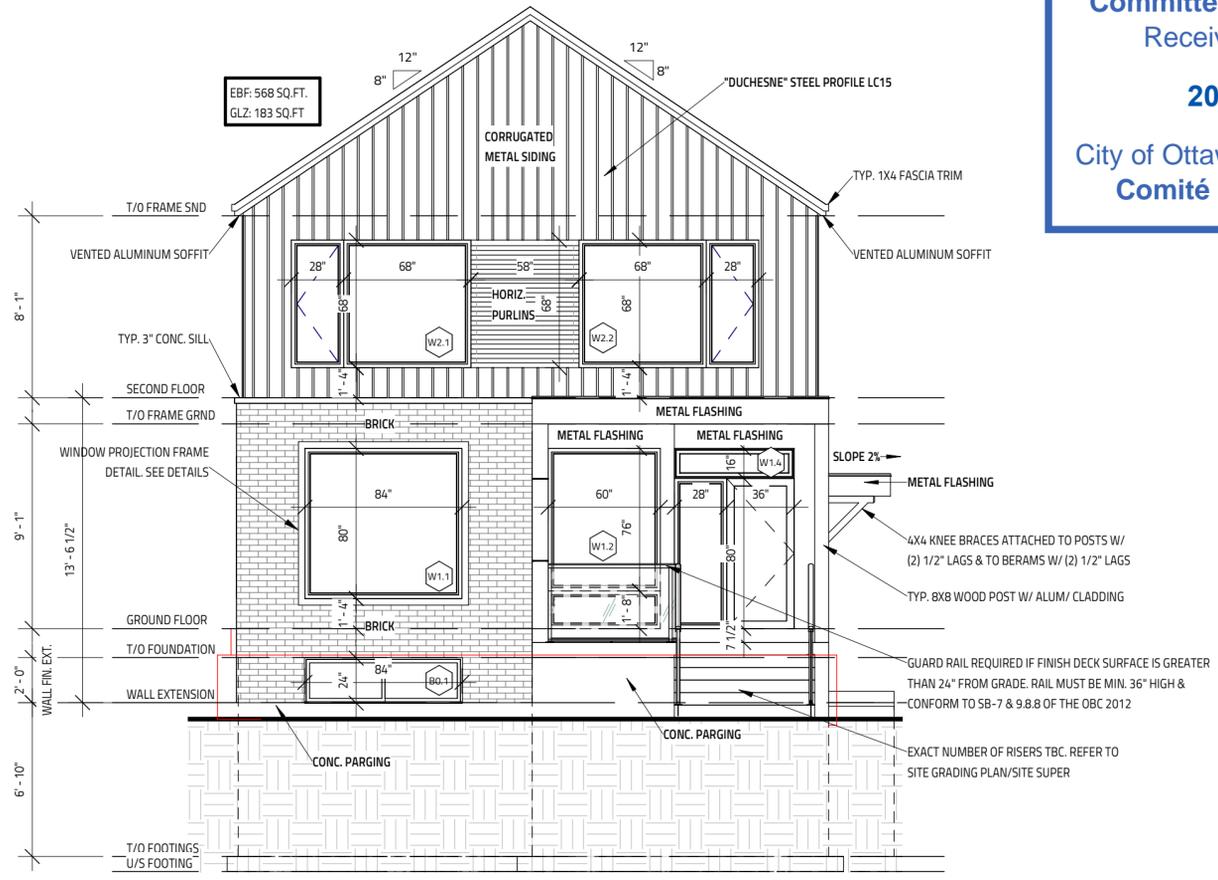


REGISTERED

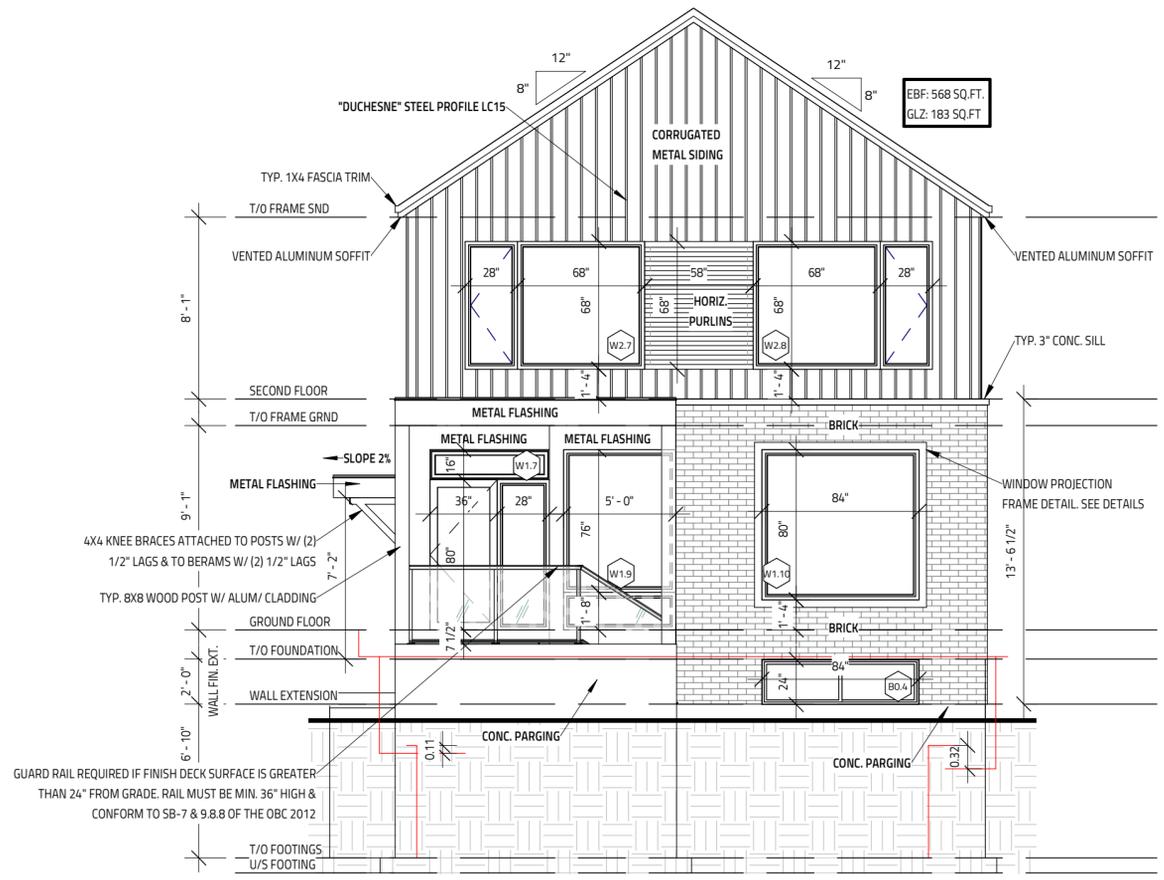
LOT PIN

LOT

Committee of Adjustment
 Received | Reçu le
2025-06-27
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation



1 FRONT ELEVATION
 SCALE: 3/16" = 1'-0"



2 REAR ELEVATION
 SCALE: 3/16" = 1'-0"

I REVIEW & TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF THE OBC 2012. I AM QUALIFIED & THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNTIL SIGNED AND DATED BY THE DESIGNER

FIRM BCIN: 45801
 INDIVIDUAL BCIN: 41176

 NOVEMBER 5, 2020



STRUCTURAL COMPONENTS ONLY

- GENERAL NOTES:
- E. & O.E.
 - DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS ONLY TO BE USED
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS ON SITE & REPORT ALL DISCREPANCIES
 - GENERAL CONTRACTOR TO CONSTRUCT IN ACCORDANCE w/ THE O.B.C. 2012, ANY MUNICIPAL BY LAWS & ALL OTHER APPLICABLE CODES

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK & VERIFY THE WINDOW AND DOOR DIMENSIONS ALONG WITH WINDOW TYPE AND SWING WITH THE DRAWINGS AND CONDITIONS ON SITE & REPORT ALL DISCREPANCIES TO DESIGNER PRIOR TO PUTTING WINDOW & DOOR ORDER INTO PRODUCTION

MATERIALS USED & CONSTRUCTION PROCEDURE MUST CONFORM TO:

1. SPECIFICATIONS & NOTES SHOWN ON THIS DRAWING
2. NOTES & DETAILS SHOWN ON STRUCTURAL DRAWINGS
3. PROVISIONS IN PART 9 OF O.B.C. 2012

2 PLY MOD BITUMINOUS FLAT ROOF MEMBRANE IS 'SOMPREMA RESISTO' CONFORMING TO CCMC 13288-L	
EXTERIOR FINISH EIFS IS 'ADEX-MFS' SYSTEM CONFORMING TO CCMC 12913-R	
EXTERIOR FINISH CEMENT BOARD PANELING IS HARDIE PANEL H25 CONFORMING TO CCMC 12678-R	

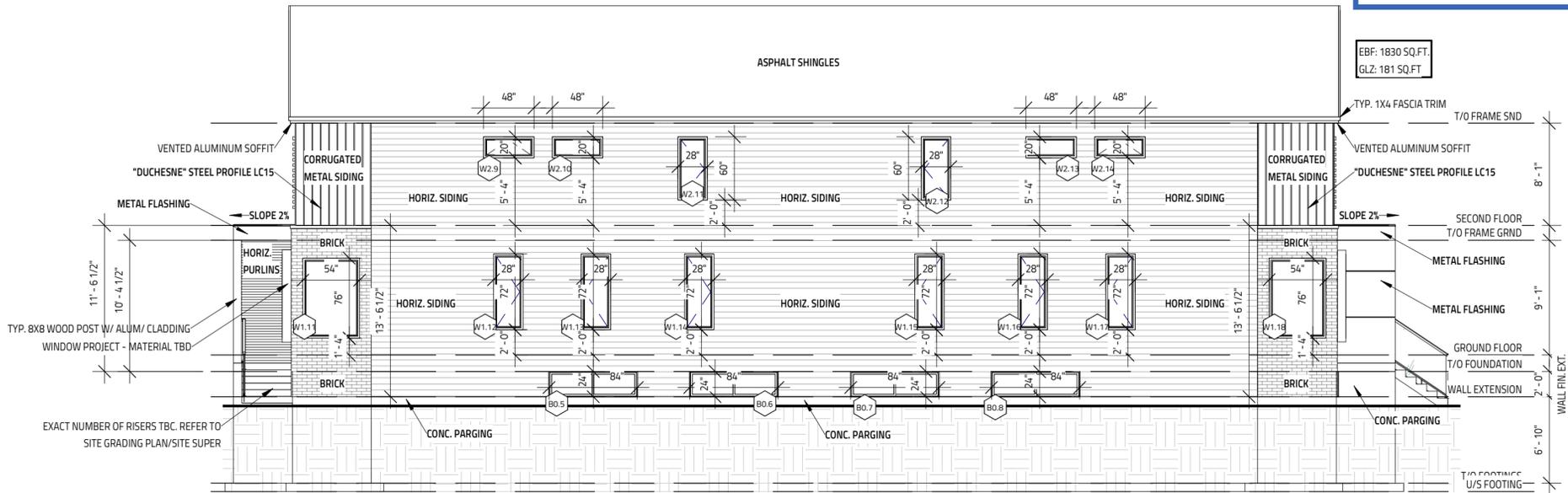
NO.	REVISION	DATE
3	ISSUED FOR PERMIT	NOV 5, 2020
2	ISSUED FOR ROOF & FLOOR LAYOUTS	SEPT 28, 2020
1	ISSUED FOR STRUCTURAL REVIEW	SEPT 23, 2020

27 O'MEARA STREET
 BASEMENT: 924 SQ.FT./UNIT
 GROUND: 932 SQ.FT./UNIT
 SECOND: 1040 SQ.FT./UNIT
 OTTAWA, ON

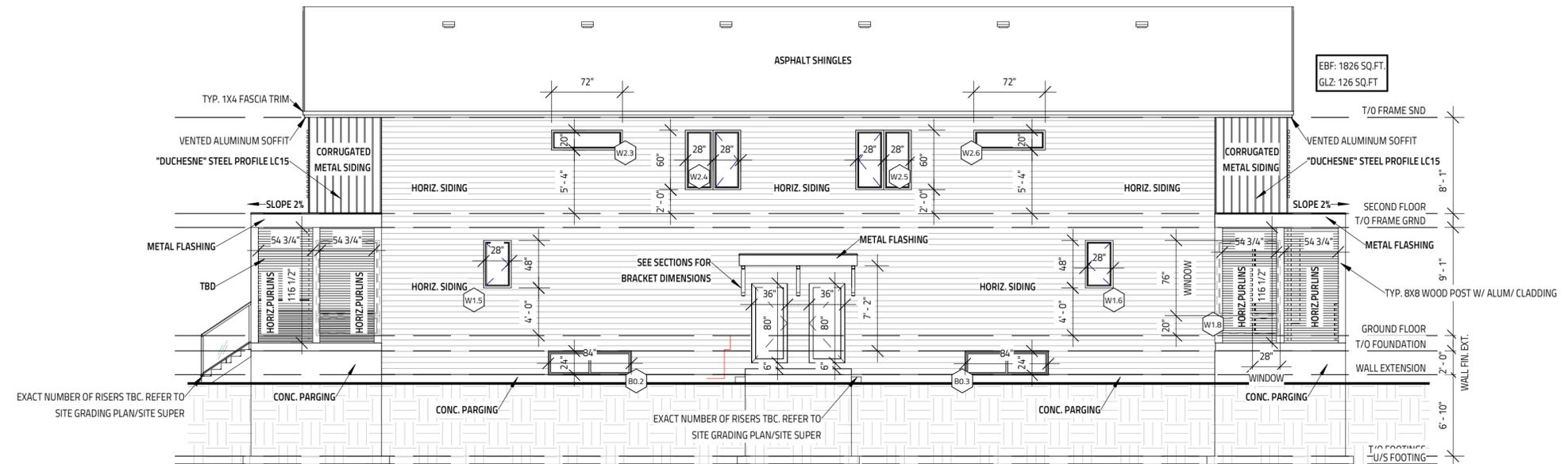
Evolution
 DESIGN & DRAFTING
 613-884-7068 /// 613-808-7185

ELEVATIONS 1	
DATE DRAWN: JULY 25, 2020	SCALE: 3/16" = 1'-0"
DRAWN BY: MV	FILE NAME: 27 O'MEARA ST. - 01
CHECKED BY: SG	DWG. NO. A4.0

Committee of Adjustment
Received | Reçu le
2025-06-27
City of Ottawa | Ville d'Ottawa
Comité de dérogation



1 LEFT ELEVATION
SCALE: 1/8" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

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PROJECT: **27 O'MEARA STREET**
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GROUND: 932 SQ.FT./UNIT
SECOND: 1040 SQ.FT./UNIT
OTTAWA, ON

Evolution
DESIGN & DRAFTING
613-884-7068 /// 613-808-7185

ELEVATIONS 2	
DATE DRAWN: JULY 25, 2020	SCALE: 1/8" = 1'-0"
DRAWN BY: MV	FILE NAME: 27 O'MEARA ST. - 01
CHECKED BY: SG	DWG. NO. A4.1