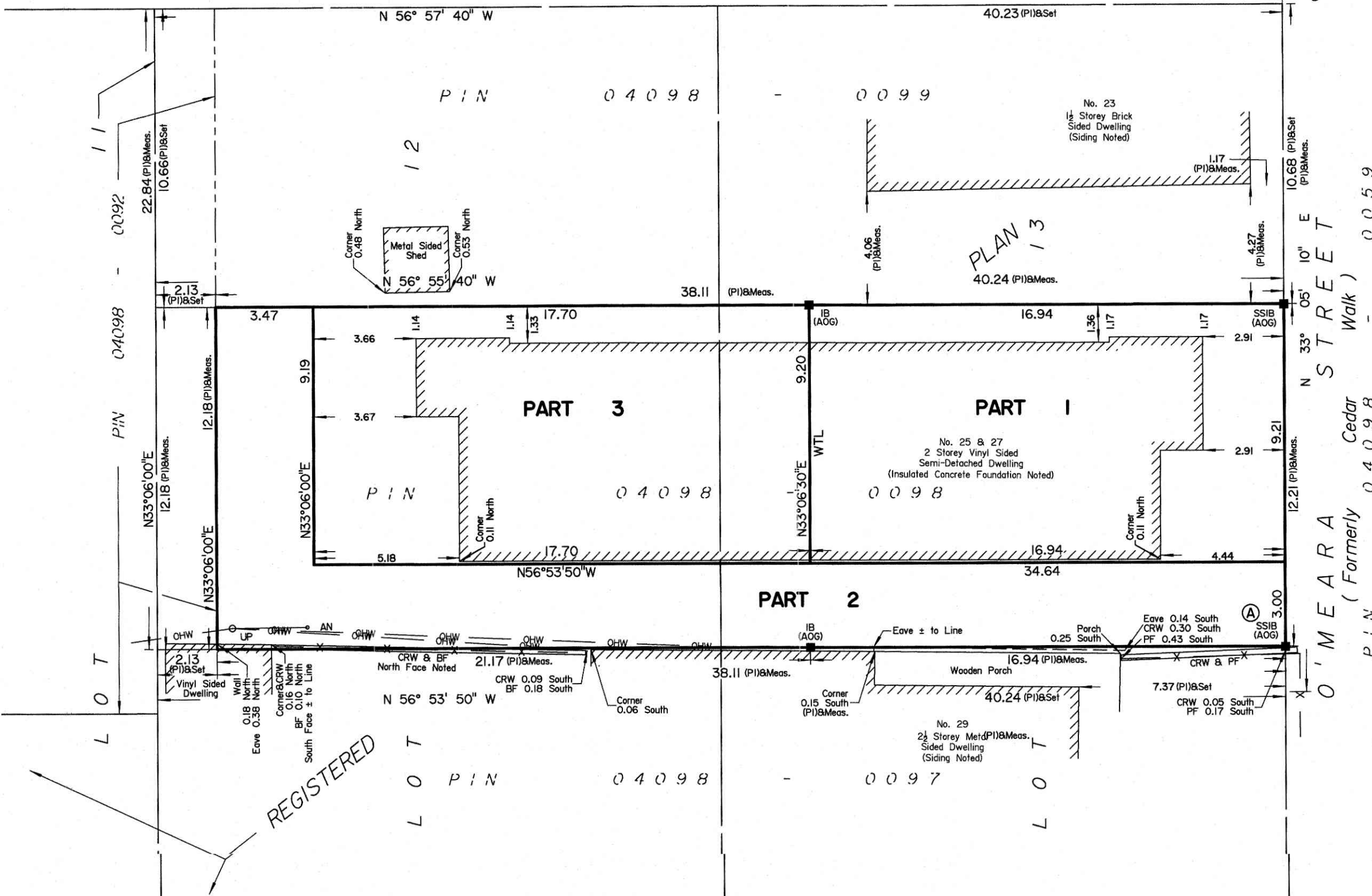


LOT 2
PART 2 PLAN 4R - 34542

PART 3
PLAN 4R-34542

HILDA STREET
(Formerly Pine Alley)



Committee of Adjustment
Received | Reçu le

2025-06-26

City of Ottawa | Ville d'Ottawa
Comité de dérogation

I REQUIRE THIS PLAN TO BE
DEPOSITED UNDER THE
LAND TITLES ACT.

DATE: _____

D. S. McMorran
ONTARIO LAND SURVEYOR

PLAN 4R-

RECEIVED AND DEPOSITED

DATE: _____

REPRESENTATIVE FOR
LAND REGISTRAR FOR THE
LAND TITLES DIVISION OF
OTTAWA-CARLETON NO. 4.

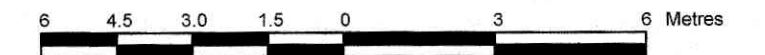
SCHEDULE

AREA (Sq.m.)	PART	LOT	PLAN	PIN
155.9	1	PART OF 13	53	ALL OF 04098-0098
146.2	2	PART OF		
162.7	3	12 AND 13		

PLAN OF SURVEY OF PART OF LOTS 12 AND 13 REGISTERED PLAN 53 CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Scale 1 : 150



Metric

DISTANCES AND COORDINATES SHOWN ON THIS PLAN
ARE IN METRES AND CAN BE CONVERTED TO FEET BY
DIVIDING BY 0.3048.

Surveyor's Certificate

I CERTIFY THAT :

- This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
- The survey was completed on the ____ day of _____, 2025.

Date _____ D. S. McMorran
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-

Notes & Legend

- Denotes Survey Monument Planted
- Denotes Survey Monument Found
- SIB " Standard Iron Bar
- SSIB " Short Standard Iron Bar
- IB " Iron Bar
- Meas. " Measured
- (AOG) " Annis, O'Sullivan, Vollebakk Ltd.
- (PI) " (AOG) Plan dated February 18, 2022
- WTL " Centreline of Wall ± to Line
- CRW " Concrete Retaining Wall
- BF " Board Fence
- PF " Picket Fence
- CLF " Chain Link Fence
- OP " Utility Pole
- AN " Anchor
- OHW " Overhead Wires

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations on reference points A and B, shown hereon, having a bearing of N33°05'10"E and are referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Coordinates are derived from Can-Net 2016 Real Time Network GPS observations referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Coordinate values are to urban accuracy in accordance with O. Reg. 216/10.

.01919680005	Northing	5027191.26	Easting	361496.76
.01919680105	Northing	5024915.16	Easting	373971.65
.Point A	Northing	5029937.70	Easting	365552.29
.Point B	Northing	5029961.93	Easting	365568.08

Caution: Coordinates cannot, in themselves, be used to re-establish corners or boundaries shown on this plan.



ANNIS, O'SULLIVAN, VOLLEBEKK LTD.

14 Concourse Gate, Suite 500

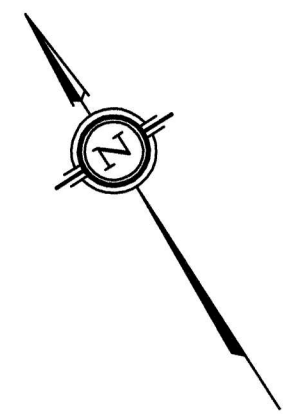
Nepean, Ont. K2E 7S6

Phone: (613) 727-0850 / Fax: (613) 727-1079

Email: Nepean@aovltd.com

Ontario Land Surveyors Job No. 25758-25 O'Meara, P.Lt1213 RP53 R.DI

ISW



Committee of Adjustment
Received | Reçu le

2025-06-26

City of Ottawa | Ville d'Ottawa
Comité de dérogation

SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of
PART OF LOTS 12 AND 13
REGISTERED PLAN 53
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Scale 1 : 150
6 4.5 3 1.5 0 3 6 Metres

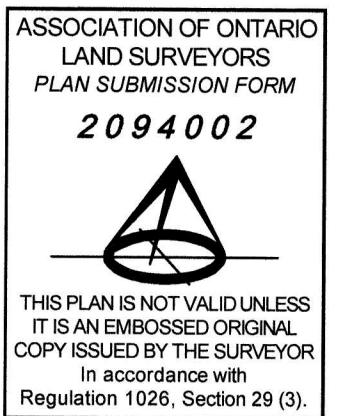
Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
2. The survey was completed on the 25th day of June, 2019.

July 24, 2019
Date
Richard R. Gauthier
Ontario Land Surveyor

PART 2
THIS PLAN MUST BE READ IN CONJUNCTION WITH
SURVEY REPORT DATED: July 8, 2019

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to
"The Client", their solicitors,
mortgagees, and other related parties, permission to use original, signed, sealed
copies of the Surveyor's Real Property Report in transactions involving The Client.



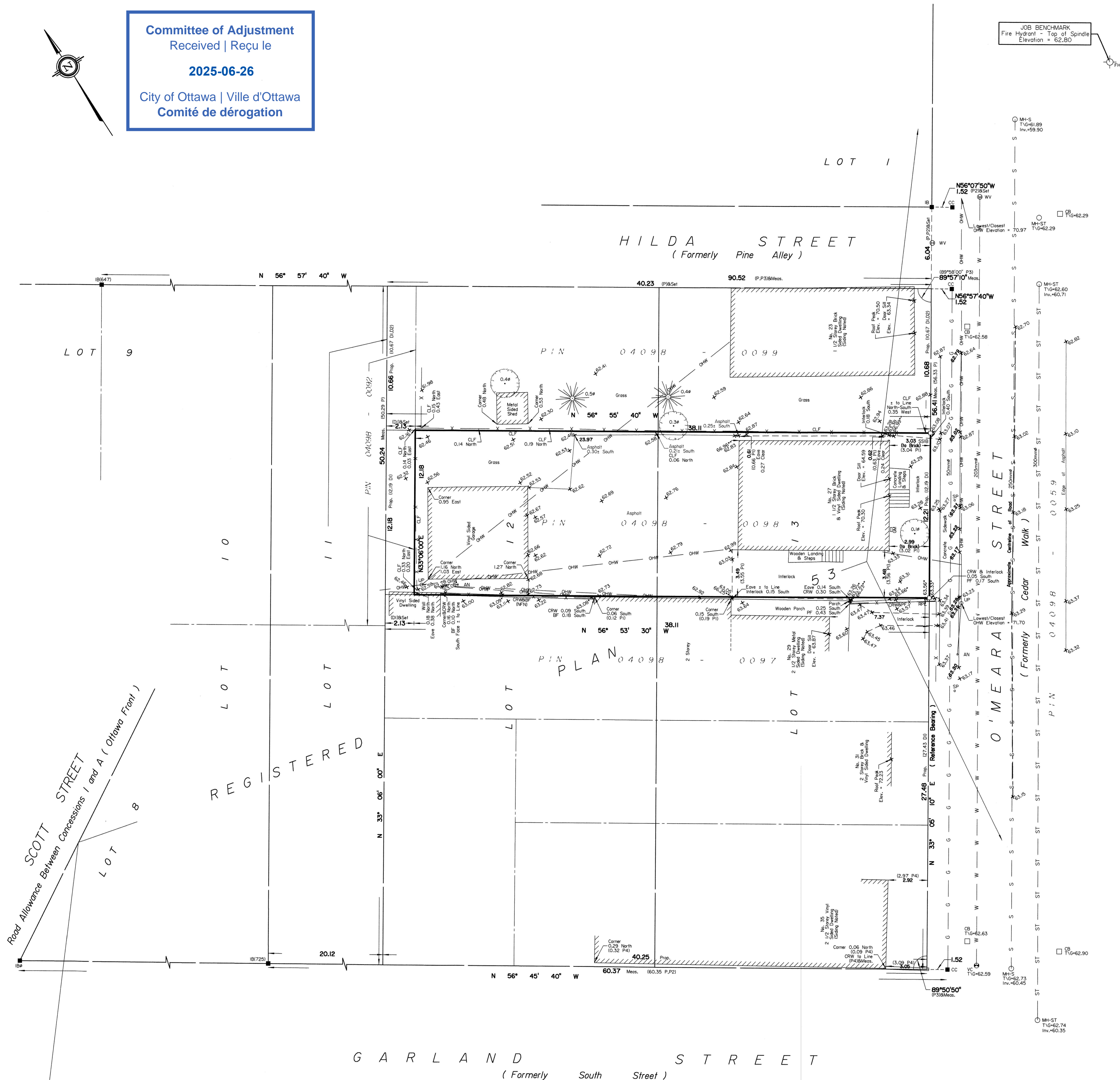
Notes & Legend	
Denotes	Survey Monument Planted
SIB	Survey Monument Found
SSIB	Standard Iron Bar
IB	Short Standard Iron Bar
CC	Iron Bar
IB#	Cut Cross
RPL	Round Iron Bar
(WIT)	Rock Plug
Meos.	Witness
Prop.	Measured
(AOG)	Proportioned
(P)	Annis, O'Sullivan, Vollebakk Ltd.
(P1)	Registered Plan 53
(P2)	(647) Plan, June 19, 1972
(P3)	(647) Plan, October 19, 1987
(P4)	(647) Plan, May 8, 1985
(D1)	(725) Plan, June 13, 1984
(D2)	Inst. NS28285
NFN	Inst. CR316640
CLF	North Face Noted
BF	Chain Link Fence
PF	Board Fence
CRW	Picket Fence
T/G	Concrete Retaining Wall
Inv.	Top of Grate
CB	Invert
MH-ST	Catch Basin
MH-S	Maintenance Hole (Storm Sewer)
VC	Maintenance Hole (Sanitary)
W	Valve Chamber (Watermain)
SP	Water Valve
FH	Water Stand Post
ST	Fire Hydrant
S	Underground Storm Sewer
W	Underground Sanitary Sewer
G	Underground Water
OW	Underground Gas
UP	Overhead Wires
AN	Utility Pole
GM	Anchor
	Gas Meter
	Deciduous Tree
	Coniferous Tree
#	Diameter
+65.00	Location of Elevations
+65.00	Location of Top of Curb Elevations
+65.00	Location of Top of Wall Elevations
+65.00	Location of Underside of Eave Elevations

ELEVATION NOTES
1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.
4. Information on buried facilities and invert elevations has been derived from City of Ottawa Engineering sheets 2704 (Sheet 7 of 7) (revision date June 2009) and E-08-07 (revision date June 1995).

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations and are referred to MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

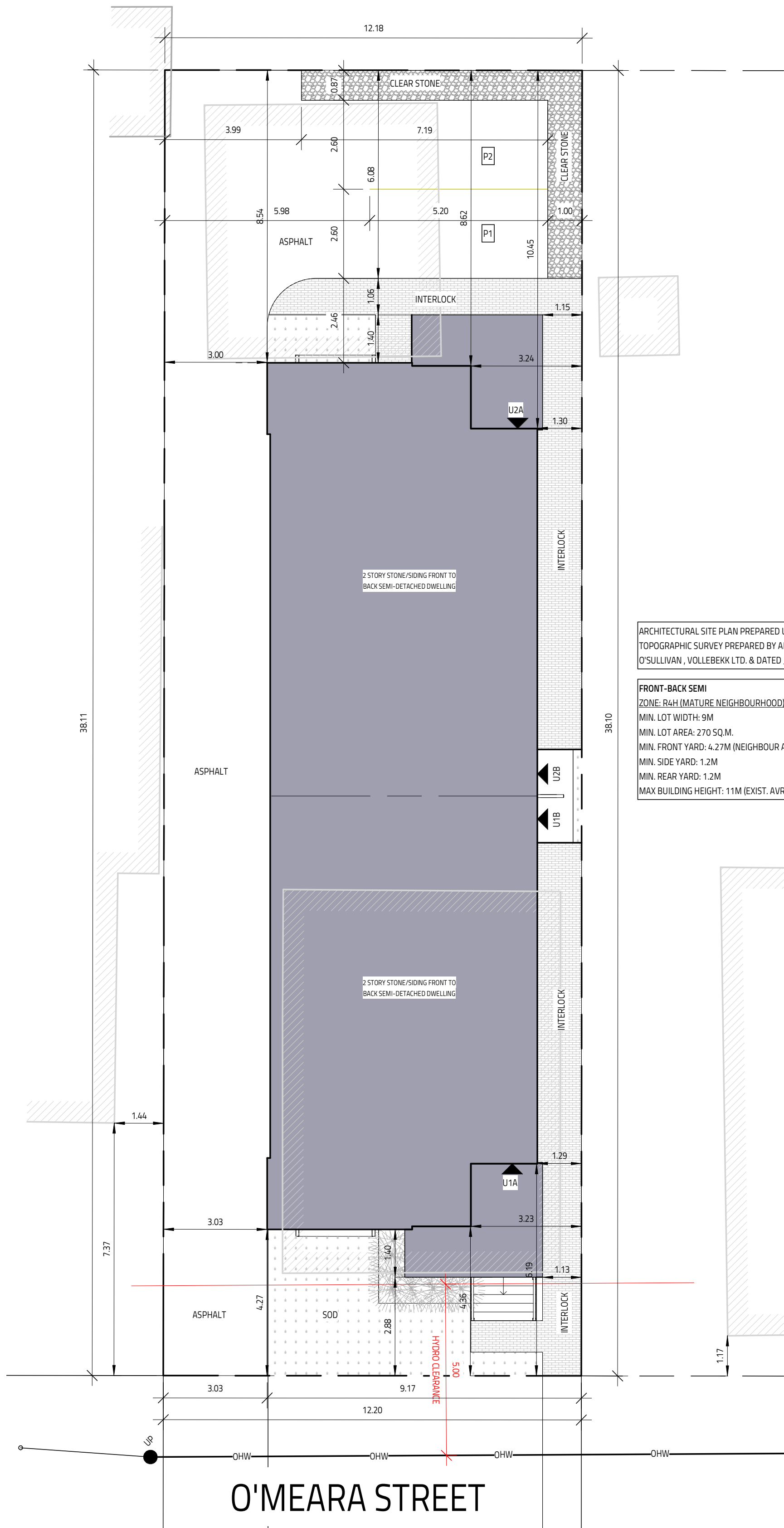
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ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: nepean@asvlltd.com
Ontario
Land Surveyors
Job No. 2019-25-047 25 Developments PL 12/13 PL 53 T DI ISW



Committee of Adjustment
Received | Reçu le

2025-06-26

City of Ottawa | Ville d'Ottawa
Comité de dérogation



ARCHITECTURAL SITE PLAN PREPARED USING
TOPOGRAPHIC SURVEY PREPARED BY ANNIS,
O'SULLIVAN, VOLLEBEKK LTD. & DATED JULY 9, 2020

FRONT-BACK SEMI
ZONE: R4H (MATURE NEIGHBOURHOOD)
MIN. LOT WIDTH: 9M
MIN. LOT AREA: 270 SQ.M.
MIN. FRONT YARD: 4.27M (NEIGHBOUR AVRG.)
MIN. SIDE YARD: 1.2M
MIN. REAR YARD: 1.2M
MAX BUILDING HEIGHT: 11M (EXIST. AVRG. GRADE)

I REVIEW & TAKE RESPONSIBILITY FOR
THE DESIGN WORK ON BEHALF OF A
FIRM REGISTERED UNDER SUBSECTION
3.2.4 OF THE OBC 2012. I AM QUALIFIED
& THE FIRM IS REGISTERED IN THE
APPROPRIATE CLASSES/CATEGORIES.

THIS DRAWING SHALL NOT BE USED
FOR CONSTRUCTION UNTIL SIGNED
AND DATED BY THE DESIGNER

FIRM BCIN: 45801
INDIVIDUAL BCIN: 41176

NOVEMBER 5, 2020

GENERAL NOTES:
- E. & O.E.
- DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS
ONLY TO BE USED
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO
CHECK & VERIFY ALL DIMENSIONS ON SITE &
REPORT ALL DISCREPANCIES
- GENERAL CONTRACTOR TO CONSTRUCT IN
ACCORDANCE w/ THE O.B.C. 2012, ANY MUNICIPAL
BY LAWS & ALL OTHER APPLICABLE CODES



STRUCTURAL
COMPONENTS ONLY

NO.	REVISION	DATE
3	ISSUED FOR PERMIT	NOV 5, 2020
2	ISSUED FOR ROOF & FLOOR LAYOUTS	SEPT 28, 2020
1	ISSUED FOR STRUCTURAL REVIEW	SEPT 23, 2020

MODEL:
27 O'MEARA STREET
BASEMENT: 924 SQ.FT./UNIT
GROUND: 932 SQ.FT./UNIT
SECOND: 1040 SQ.FT./UNIT

OTTAWA, ON

Evolution
DESIGN & DRAFTING
613-884-7068 /// 613-808-7185

SITE PLAN	
DATE DRAWN: JULY 29, 2020	SCALE: 1:100
DRAWN BY: MV	FILE NAME: 27 O'MEARA ST. - D1
CHECKED BY: SG	DWG. NO. A0.1

Committee of Adjustment
Received | Reçu le

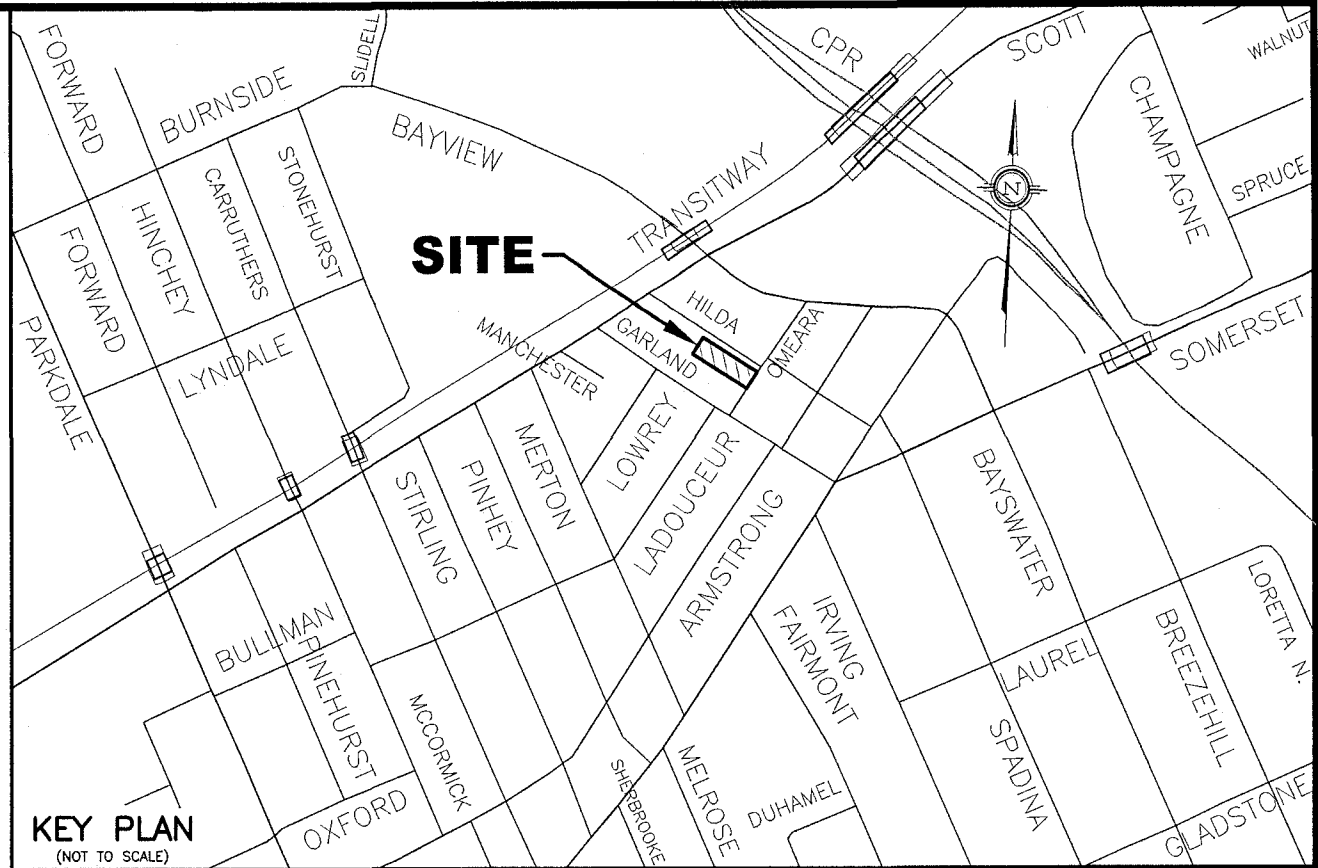
2025-06-26

City of Ottawa | Ville d'Ottawa
Comité de dérogation

JOB BENCHMARK
Fire Hydrant - Top of Spindle
Elevation = 62.80

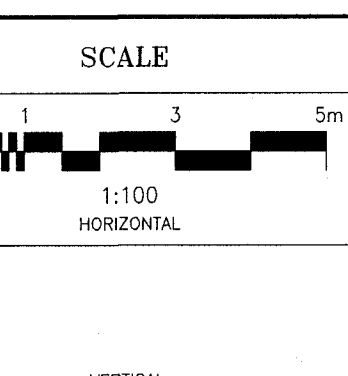
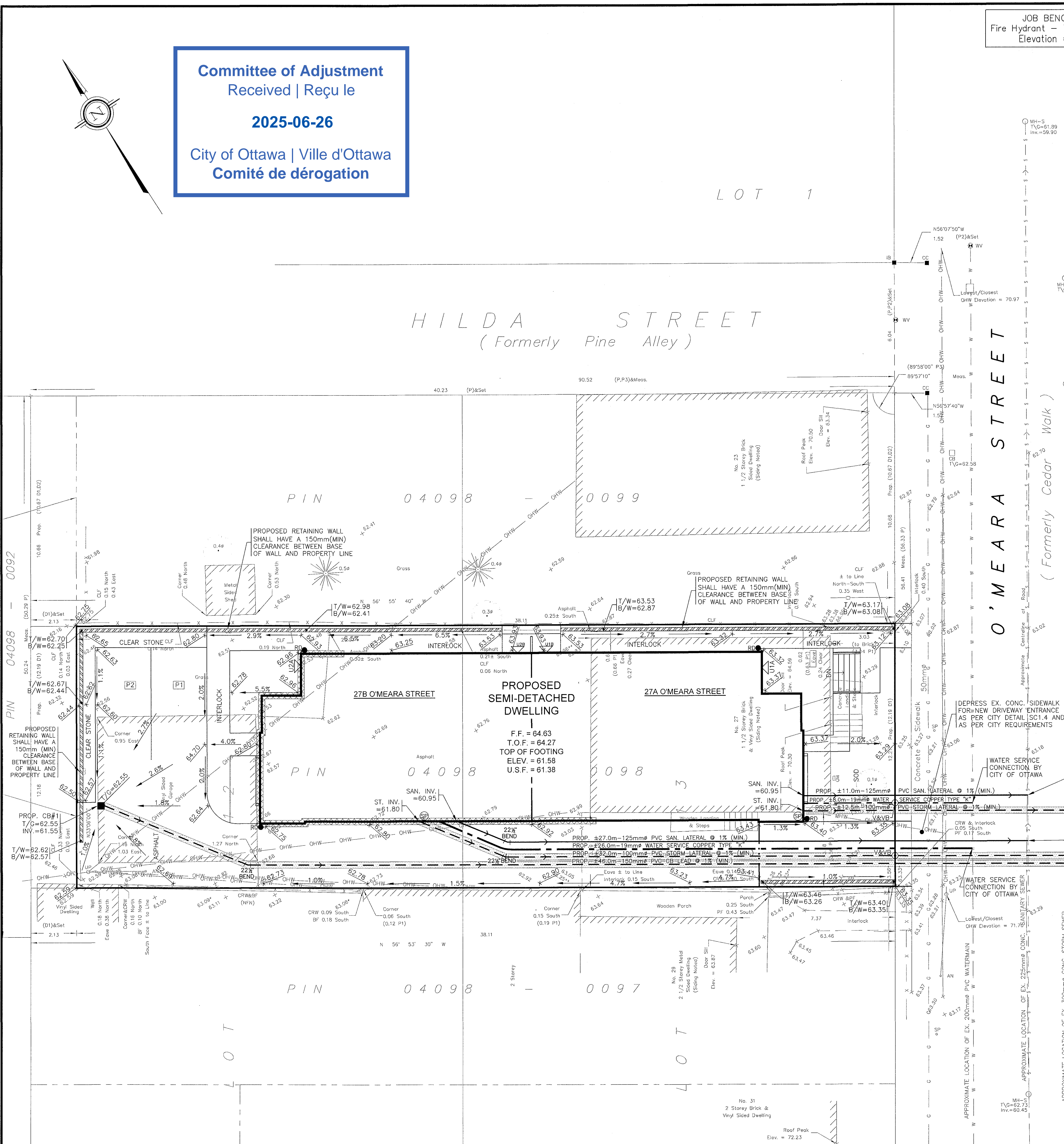
LEGEND

- PROPOSED ELEVATION
EXISTING ELEVATION
F.F.
T.O.F.
U.S.F.
D/W
S
ST
W
EXISTING SANITARY SEWER
EXISTING STORM SEWER
EXISTING WATERMAIN
PROPOSED 125mm PVC SANITARY LATERAL SERVICE /
150mm PVC CB LEAD @ 1% (MIN.) SLOPE
PROPOSED 100mm PVC STORM LATERAL SERVICE
@ 1% (MIN.) SLOPE
PROPOSED 19mm WATER SERVICE (COPPER TYPE "K")
EXISTING SANITARY MANHOLE
EXISTING STORM MANHOLE
EXISTING CATCH BASIN
EXISTING WATER VALVE
EXISTING FIRE HYDRANT
EXISTING UTILITY POLE
EXISTING OVERHEAD WIRES
PROPOSED VALVE AND VALVE BOX (V&VB)
PROPOSED GENERAL DIRECTION OF LOT GRADING
AND SURFACE FLOW
PROPOSED RETAINING WALL
PROPOSED TOP OF RETAINING WALL ELEVATION
PROPOSED BOTTOM OF RETAINING WALL ELEVATION
PROPOSED ROOF DOWNSPOUT LOCATION
PROPOSED PRECASTED CATCH BASIN (600mmX600mm)
C/W HEATING CABLE/HEAT TRACING WIRING
PROPOSED HIGH RIDGE LINE
PROPOSED RIGID STYROFOAM INSULATION 75mm
THICK (MIN.) FOR SERVICE LATERALS AND CB LEAD
PROPOSED WEEPING TILE SUMP PIT LOCATION
C/W DUPLEX SUMP PUMPS (REFER TO
ARCHITECTURAL DRAWINGS FOR DETAILS)
PROPOSED RIGID STYROFOAM INSULATION 50mm
THICK (MIN.) FOR BUILDING FOUNDATIONS AND FOOTINGS



NOTES

- EXISTING SERVICES AND UTILITIES SHOWN ON THIS DRAWING WERE TAKEN FROM THE BEST AVAILABLE RECORDS, BUT ARE INCOMPLETE. CONTRACTOR IS REQUIRED TO CHECK IN THE FIELD FOR LOCATION AND ELEVATION OF PIPES, AND CHECK WITH AUTHORITIES AND UTILITIES TO HIS OR HER SATISFACTION BEFORE DIGGING.
- CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS AS DEEMED NECESSARY, BEFORE POURING OF CONCRETE FOOTING AND FOUNDATION. THE OWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE SUBGRADE ON THIS LOT IS SUFFICIENT TO SUPPORT PROPOSED RESIDENTIAL BUILDING.
- SITING DETAILS FOR PROPOSED DWELLINGS WERE PROVIDED BY EVOLUTION DESIGN AND DRAFTING, AS DETAILED ON THEIR SITE PLAN FOR THE SEMI-DETACHED DWELLING DWG. #A0.1 REV. #0 RECEIVED ON SEPTEMBER 3, 2020. BUILDING ELEVATIONS THAT ARE SHOWN (TOP OF FINISHED FLOOR, TOP OF FOUNDATION, AND USF) ARE REFERENCED FROM HOUSE DESIGNER'S ELEVATIONS 1 AND ELEVATIONS 2 REV. #0 OF BOTH DRAWINGS RECEIVED ON SEPTEMBER 3, 2020.
- EXISTING HORIZONTAL AND VERTICAL SURVEY DATA SHOWN ON THIS PLAN INCLUDING SITE BENCHMARK, ROAD ELEVATIONS, SEWER INVERTS, SEWER LOCATIONS, AND TOPOGRAPHICAL INFORMATION OF THE LOT WERE PROVIDED BY ANNIS O'SULLIVAN VOLLEBEK LTD. AS DEPICTED ON THEIR TOPOGRAPHICAL SURVEY PLAN JOB #2019-047 COMPLETED ON JUNE 25, 2019. T.L. MAK ENGINEERING CONSULTANTS LTD. DOES NOT TAKE ANY RESPONSIBILITY FOR THE SURVEY INFORMATION SHOWN HERE. FOR ADDITIONAL INFORMATION ABOUT STORM AND SANITARY INVERT ELEVATION AT MANHOLES, AND SEWER AND WATERMAIN LOCATION AND SIZE, CONTRACTOR SHALL ALSO REFER TO CITY OF OTTAWA PLAN AND PROFILE DRAWINGS ENTITLED O'MEARA STREET - PLAN #2704 SHEET 7 OF 7 (CONTRACT #94C2704) DATED NOVEMBER 30, 1994.
- ALL GRADING SHALL BE DONE TO THE SATISFACTION OF CITY OF OTTAWA.
- ALL GRADES SHOWN ARE GEODETIC AND METRIC.
- ALL WATERWORKS SHALL BE CONSTRUCTED TO CITY OF OTTAWA'S LATEST REVISED STANDARDS AND ON APPROVAL BY CITY OF OTTAWA. CITY OF OTTAWA REQUIRES 0.3m MINIMUM CLEARANCE BETWEEN EXISTING WATERMAIN AND PROPOSED SANITARY LATERAL.
- CONSTRUCT ALL SANITARY AND STORM PIPES IN ACCORDANCE WITH CITY OF OTTAWA'S LATEST REVISED STANDARD, OTHERWISE AS PER OPSIS AND OPSD SPECIFICATIONS.
- ALL WORKS CONSTRUCTED BY CONTRACTOR SHALL MEET CITY OF OTTAWA'S CURRENT ENGINEERING STANDARDS AND AS PER CITY OF OTTAWA'S REQUIREMENTS.
- CONTRACTOR SHALL CONSTRUCT AND ENSURE THAT THE 19mm WATER SERVICE ON THIS LOT SHALL HAVE A MINIMUM OF 2.4m OF GROUND COVER. OTHERWISE INSULATE WITH RIGID S/M STYROFOAM IN ACCORDANCE WITH SITE SOILS ENGINEER'S REQUIREMENTS AND CITY DETAIL W22. WATER SERVICE INSTALLATION SHALL BE COPPER TYPE K AND CONSTRUCTED IN ACCORDANCE WITH LATEST CITY OF OTTAWA STANDARDS.
- THIS LOT GRADING DESIGN PLAN WAS PREPARED FOR THE OWNERS FOR BUILDING PERMIT ISSUANCE. ALL WORKS CONSTRUCTED BY CONTRACTOR SHALL MEET CITY OF OTTAWA'S CURRENT ENGINEERING STANDARDS AND AS PER CITY OF OTTAWA'S REQUIREMENTS. THIS GRADING PLAN SHALL NOT BE USED FOR BUILDING CONSTRUCTION LAYOUT PURPOSES. REFER TO HOUSE DESIGNER'S APPROVED SITE PLAN FOR EXACT DIMENSIONS REGARDING BUILDING LOCATION LAYOUT.
- WHERE ROOF DRAINS ARE INSTALLED, ROOF DOWNSPOUTS SHALL BE DIRECTED TO OUTLET DISCHARGE TO FRONT AND REAR YARD ONLY, WHERE POSSIBLE, AND NOT TO SIDE YARDS.
- ALL WATERMAIN SERVICE AND FITTINGS SHALL CONFORM TO APPROVED ANWA AND/OR CSA STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS TO COMPLETE THE WORKS.
- EXISTING LOCATION OF O'MEARA STREET WATERMAIN AND SANITARY AND STORM SEWER SHOWN ON THIS PLAN IS APPROXIMATE. CONTRACTOR SHALL VERIFY IN THE FIELD TO CONFIRM EXACT LOCATIONS BEFORE EXCAVATION (SEE NOTE 24).
- PROPOSED SURFACE GRADE SHALL BE 7% MAXIMUM, WHERE THE GROUND DROPS OFF STEEPLY, TERRACE THE GROUND AT 3% MAXIMUM TO 1% AS NECESSARY TO MEET CITY OF OTTAWA'S GRADING REQUIREMENTS.
- WATER SERVICE CONNECTION ON O'MEARA STREET SHALL BE DONE BY CITY OF OTTAWA. ALL CONNECTIONS AND OTHER RELATED WORKS TO WATERMAIN SHALL BE MADE BY CITY OF OTTAWA, AND EXCAVATION, BACKFILLING, AND REINSTATEMENTS BY CONTRACTOR. ALL WATERWORKS SHALL BE CARRIED OUT TO CITY OF OTTAWA'S SATISFACTION.
- IF WATER SERVICE IS LESS THAN 2.4m FROM SEWER, MANHOLE, OR CATCH BASIN, CONTRACTOR IS REQUESTED TO INSULATE BETWEEN THEM WITH S/M RIGID INSULATION (AS PER CITY DETAIL W22 AND W23).
- PIPE SIZES SHOWN ON THIS PLAN ARE METRIC.
- WATER SERVICE AND WATERMAIN TRENCH DETAILS AS PER CITY W17 DETAIL.
- PROPOSED SANITARY AND STORM SERVICE LATERALS INCLUDING THE 150mm DIAMETER CB LEAD SHALL BE PVC DR-28 OR EQUIVALENT.
- SANITARY AND STORM SERVICE BENDS AND RISERS USED MUST BE CONSTRUCTED TO CITY OF OTTAWA'S SATISFACTION.
- BEDDING FOR SEWERS AND WATERMAIN INSTALLATION SHALL BE TYPE B COMPACTED TO 95% DRY PROCTOR DENSITY. FOR SEWER LATERALS, USE 300mm THICK APPROVED GRANULAR COVER MATERIAL COMPACT TO 95% DRY PROCTOR DENSITY. TRENCH BACKFILL WITH NATIVE MATERIAL AND COMPACT TO 90% DRY PROCTOR DENSITY MINIMUM. NO FROZEN MATERIALS ARE TO BE USED AS BACKFILL IN SERVINGING TRENCHES.
- DETAILS OF EXISTING SEWERS AND WATERMAIN SHOWN ON O'MEARA STREET FROM THE CITY OF OTTAWA MAY NOT BE CURRENT. CONTRACTOR SHALL REFER TO CITY OF OTTAWA'S SEWER AND WATERMAIN DRAWINGS FOR DETAILS BEFORE BEGINNING. CONTRACTOR IS ADVISED TO EXCAVATE AND INVESTIGATE SEWER ELEVATIONS IN FRONT OF THIS PROPERTY FIRST TO ENSURE THAT 1% MINIMUM PIPE SLOPE OF SANITARY AND STORM LATERALS CAN BE ACHIEVED USING PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION. IF 1% MINIMUM SLOPE IS NOT POSSIBLE FROM THE HOUSE TO THE SEWER, THEN CONTRACTOR SHOULD INFORM OWNER'S PROJECT MANAGER AND CITY OF OTTAWA ACCORDINGLY FOR FURTHER DIRECTION.
- FOR DEVELOPMENT OF THIS LOT, CONTRACTOR MUST FIRST CONSTRUCT UNDERGROUND SANITARY, STORM, AND WATER SERVICES FROM SEWER AND WATERMAIN TO THE PROPERTY. BEFORE HOUSE CONCRETE FOUNDATION POURING, CONTRACTOR SHALL VERIFY SEWER DEPTHS TO ENSURE THAT SEWER LATERALS CAN ACHIEVE A SLOPE OF 1% MINIMUM AND STILL BE BELOW PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION. IF THIS IS FOUND TO BE NOT POSSIBLE, CONTRACTOR SHALL CONTACT OWNER AND HIS OR HER PROJECT MANAGER TO REPORT THE FINDING IN ORDER TO ADJUST HOUSE FOUNDATION GRADES BEFORE CONCRETE POURING.
- INSULATE HOUSE SERVICE LATERALS WITHIN PRIVATE PROPERTY AND ROAD RIGHT OF WAY WHERE GROUND COVER FOR FROST PROTECTION IS LESS THAN 2.4m FOR SANITARY AND STORM GRAVITY SEWERS. MINIMUM GROUND COVER OVER HOUSE SERVICE PIPES SHALL NOT BE LESS THAN 2m. EXACT INSULATION THICKNESS SHALL BE DETERMINED BY CITY INSPECTOR ON SITE AND/OR OWNER'S SOILS ENGINEER. ALL INSULATION WORKS SHALL BE CARRIED OUT AS PER CITY OF OTTAWA'S CURRENT ENGINEERING STANDARDS DETAIL W22 AND W23.
- WHERE FROST COVER FROM UNDERSIDE OF HOUSE CONCRETE FOOTING TO PROPOSED FINISHED GROUND ELEVATION IS LESS THAN 1.5m, IT IS RECOMMENDED THAT INSULATION (30mm THICK MINIMUM) BE INSTALLED AT BUILDING FOOTING AND FOUNDATION OF HOUSE TO PROVIDE SUFFICIENT FROST COVER FOR FOUNDATION STRUCTURES. INSULATION REQUIREMENTS SHALL BE REVIEWED AND RECOMMENDED BY OWNER'S SOILS ENGINEER. EXACT INSULATION REQUIREMENTS SHALL BE CONFIRMED BY OWNER'S HOUSE DESIGNER AND SITE SOILS ENGINEER TO CONTRACTOR BEFORE INSTALLATION.
- A BACKWATER VALVE MUST BE INSTALLED FOR THE NEW STORM LATERAL SERVICE AND A FULL PORT BACKWATER VALVE MUST BE INSTALLED FOR THE NEW SANITARY SERVICE LATERAL SERVICE PROPOSED TO SERVICE THE DWELLING UNDER THE CURRENT REGULATION OF THE ONTARIO PLUMBING CODE AND AS PER CITY DETAILS S14, S14.1, AND S14.2.
- EXISTING HOUSE LATERALS AND WATER SERVICE PIPING HAVE BEEN AND/OR SHALL BE ABANDONED. WATER SERVICE SHALL BE BLANKED AND CAPPED AT THE MAIN AS PER CITY OF OTTAWA'S REQUIREMENTS. SEWER LATERAL(S) SHALL BE CAPPED AND/OR PLUGGED AT FRONT PROPERTY LINE. ALL WATER AND SEWER LATERAL WORKS SHALL BE CARRIED OUT TO CITY OF OTTAWA'S SATISFACTION AND AS PER CITY DETAIL S11.1 FOR CAPPING SERVICES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REINSTATEMENT OF ALL AREAS DISTURBED DURING CONSTRUCTION, AND SUCH REINSTATEMENT MUST BE UNDERTAKEN IN ACCORDANCE WITH CURRENT CITY OF OTTAWA STANDARDS AND SPECIFICATIONS.
- UPON COMPLETION OF NEW SERVICE LATERALS FOR PROPOSED DWELLING AND NEW DRIVEWAY, CONTRACTOR SHALL RESTORE EXISTING ROYAL BOULEVARD DRAINAGE ACROSS THIS LOT TO DRAIN POSITIVELY TO ITS EXISTING OUTLET. WORKS SHALL BE CARRIED OUT TO SATISFACTION OF CITY OF OTTAWA.
- AT THE TIME OF CONSTRUCTION OF DRIVEWAY FOR NEW HOUSE, REGRADE ROADWAY BOULEVARD TO OUTLET INTO EXISTING STORM OUTLET TO CITY OF OTTAWA'S SATISFACTION AND REQUIREMENTS.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES REGARDING LOCATION OF EXISTING OVERHEAD UTILITY WIRES FOR RELOCATION AND POSSIBLE CLEARANCE BEFORE CONSTRUCTION.



DESIGN	T.L.M.
CHECKED	T.L.M.
DRAWN BY	P.M.
CHECKED	T.L.M.
APPROVED	T.L.M.

PROJECT	27 O'MEARA STREET PART OF LOTS 12 AND 13 REGISTERED PLAN 53 CITY OF OTTAWA
DRAWING TITLE	PROPOSED LOT GRADING PLAN

PROJECT No.	820-109	DATE	SEPTEMBER 2020	DRAWING No.	G-1
-------------	---------	------	----------------	-------------	-----

NO.	REVISION	DATE	BY
1	REVISIONS AS PER HOUSE DESIGNER'S COMMENTS OF SEPTEMBER 29, 2020 AND SEPTEMBER 30, 2020	09/30/20	TLM

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to _____ ("The Client"), their solicitors, mortgagees, and other related parties, permission to use original, signed, sealed copies of the Surveyor's Real Property Report in transactions involving The Client.

SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of



Surveyed by Annis, O'Sullivan, Vollebekk Ltd.

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

I CERTIFY THAT :


- Date _____ T. Hartwick
Ontario Land Surveyor

THIS PLAN MUST BE READ IN CONJUNCTION WITH
SURVEY REPORT DATED: _____

	Denotes	Survey Monument Planted
	"	Survey Monument Found
SIB	"	Standard Iron Bar
SSIB	"	Short Standard Iron Bar
IB	"	Iron Bar
Meas.	"	Measured
(AOG)	"	Annis, O'Sullivan, Vollebekk Ltd.
(PI)	"	(AOG) Plan dated July 9,2019
CRW	"	Concrete Retaining Wall

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM

V-22585



THIS PLAN IS NOT VALID UNLESS
IT IS AN EMBOSSED ORIGINAL
COPY ISSUED BY THE SURVEYOR

In accordance with
Regulation 1026, Section 29 (3).

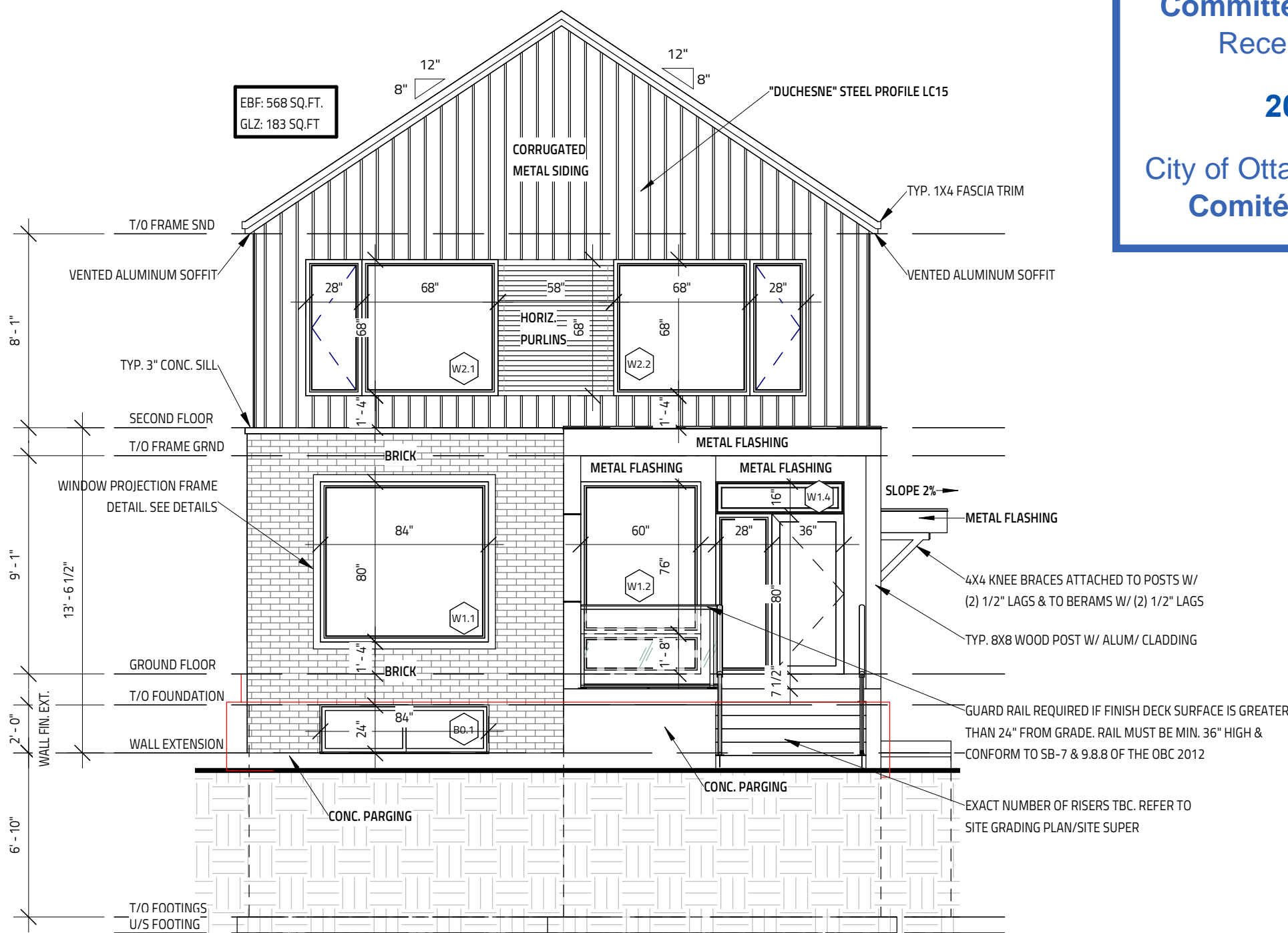
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ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
 14 Concourse Gate, Suite 500
 Nepean, Ont. K2E 7S6
 Phone: (613) 727-0850 / Fax: (613) 727-1079
 Email: Nepean@aovdt.com

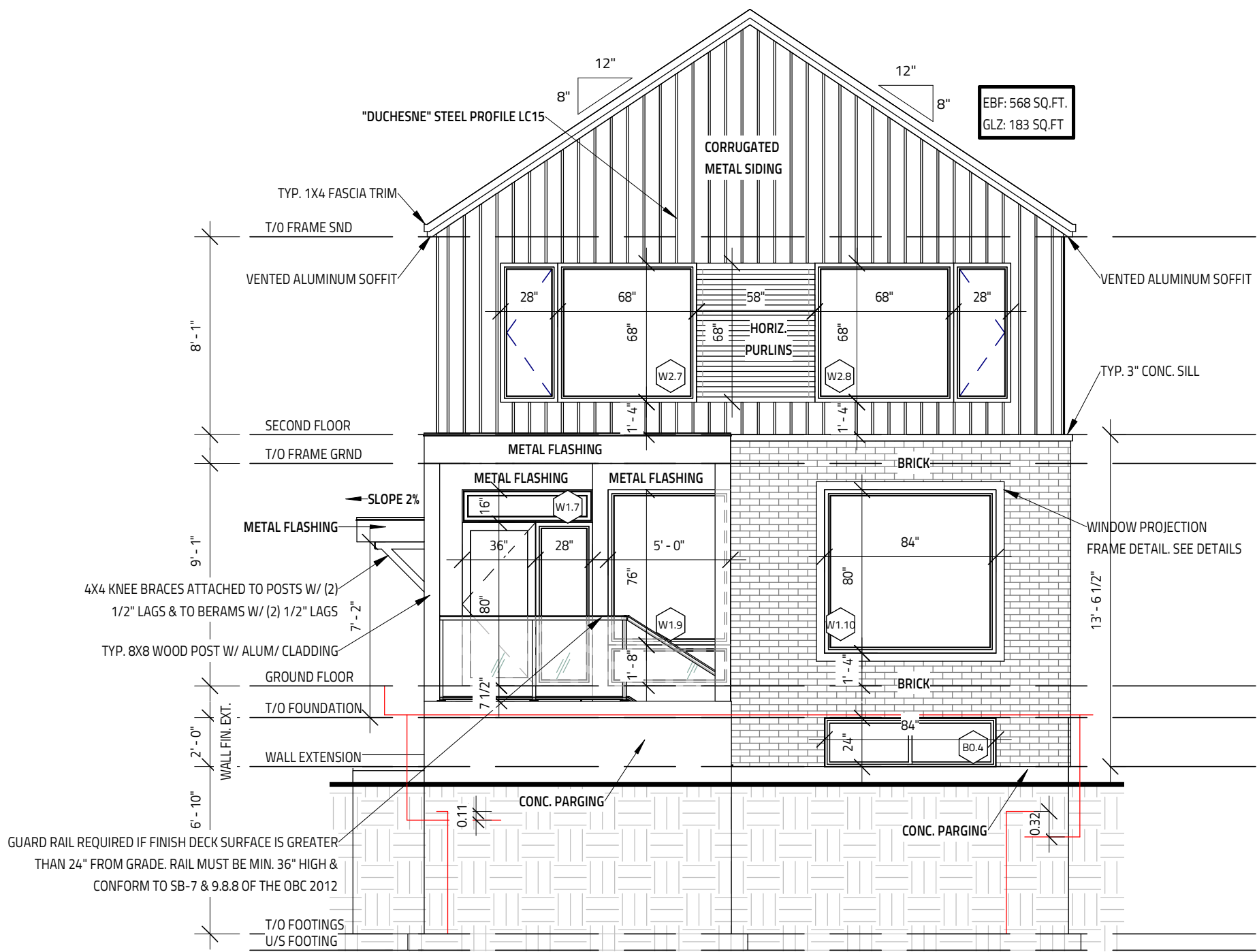
Committee of Adjustment
Received | Reçu le

2025-06-27

City of Ottawa | Ville d'Ottawa
Comité de dérogation



1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



2 REAR ELEVATION
SCALE: 3/16" = 1'-0"

I REVIEW & TAKE RESPONSIBILITY FOR
THE DESIGN WORK ON BEHALF OF A
FIRM REGISTERED UNDER SUBSECTION
3.2.4 OF THE OBC 2012. I AM QUALIFIED
& THE FIRM IS REGISTERED IN THE
APPROPRIATE CLASSES/CATEGORIES.

THIS DRAWING SHALL NOT BE USED
FOR CONSTRUCTION UNTIL SIGNED
AND DATED BY THE DESIGNER

FIRM BCIN: 45801
INDIVIDUAL BCIN: 41176
NOVEMBER 5, 2020

GENERAL NOTES:
- E. & O.E.
- DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS
ONLY TO BE USED
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO
CHECK & VERIFY ALL DIMENSIONS ON SITE &
REPORT ALL DISCREPANCIES
- GENERAL CONTRACTOR TO CONSTRUCT IN
ACCORDANCE w/ THE O.B.C. 2012, ANY MUNICIPAL
BY LAWS & ALL OTHER APPLICABLE CODES



STRUCTURAL
COMPONENTS ONLY

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK & VERIFY
THE WINDOW AND DOOR DIMENSIONS ALONG WITH WINDOW TYPE
AND SWING WITH THE DRAWINGS AND CONDITIONS ON SITE &
REPORT ALL DISCREPANCIES TO DESIGNER PRIOR TO PUTTING
WINDOW & DOOR ORDER INTO PRODUCTION

MATERIALS USED & CONSTRUCTION PROCEDURE MUST CONFORM TO:
1. SPECIFICATIONS & NOTES SHOWN ON THIS DRAWING
2. NOTES & DETAILS SHOWN ON STRUCTURAL DRAWINGS
3. PROVISIONS IN PART 9 OF O.B.C. 2012

2 PLY MOD BITUMINOUS FLAT ROOF MEMBRANE IS 'SOMPREMA RESISTO'
CONFORMING TO CCMC 13288-L

EXTERIOR FINISH EIFS IS 'ADEX-MFS' SYSTEM
CONFORMING TO CCMC 12913-R

EXTERIOR FINISH CEMENT BOARD PANELING IS HARDIE PANEL HZ5
CONFORMING TO CCMC 12678-R

NO.	REVISION	DATE
3	ISSUED FOR PERMIT	NOV 5, 2020
2	ISSUED FOR ROOF & FLOOR LAYOUTS	SEPT 28, 2020
1	ISSUED FOR STRUCTURAL REVIEW	SEPT 23, 2020

MODEL:
27 O'MEARA STREET
BASEMENT: 924 SQ.FT./UNIT
GROUND: 932 SQ.FT./UNIT
SECOND: 1040 SQ.FT./UNIT
OTTAWA, ON

Evolution
DESIGN & DRAFTING
613-884-7068 /// 613-808-7185

ELEVATIONS 1	
DATE DRAWN: JULY 29, 2020	SCALE: 3/16" = 1'-0"
DRAWN BY: MV	FILE NAME: 27 O'MEARA ST. - D1
CHECKED BY: SG	DWG. NO. A4.0

