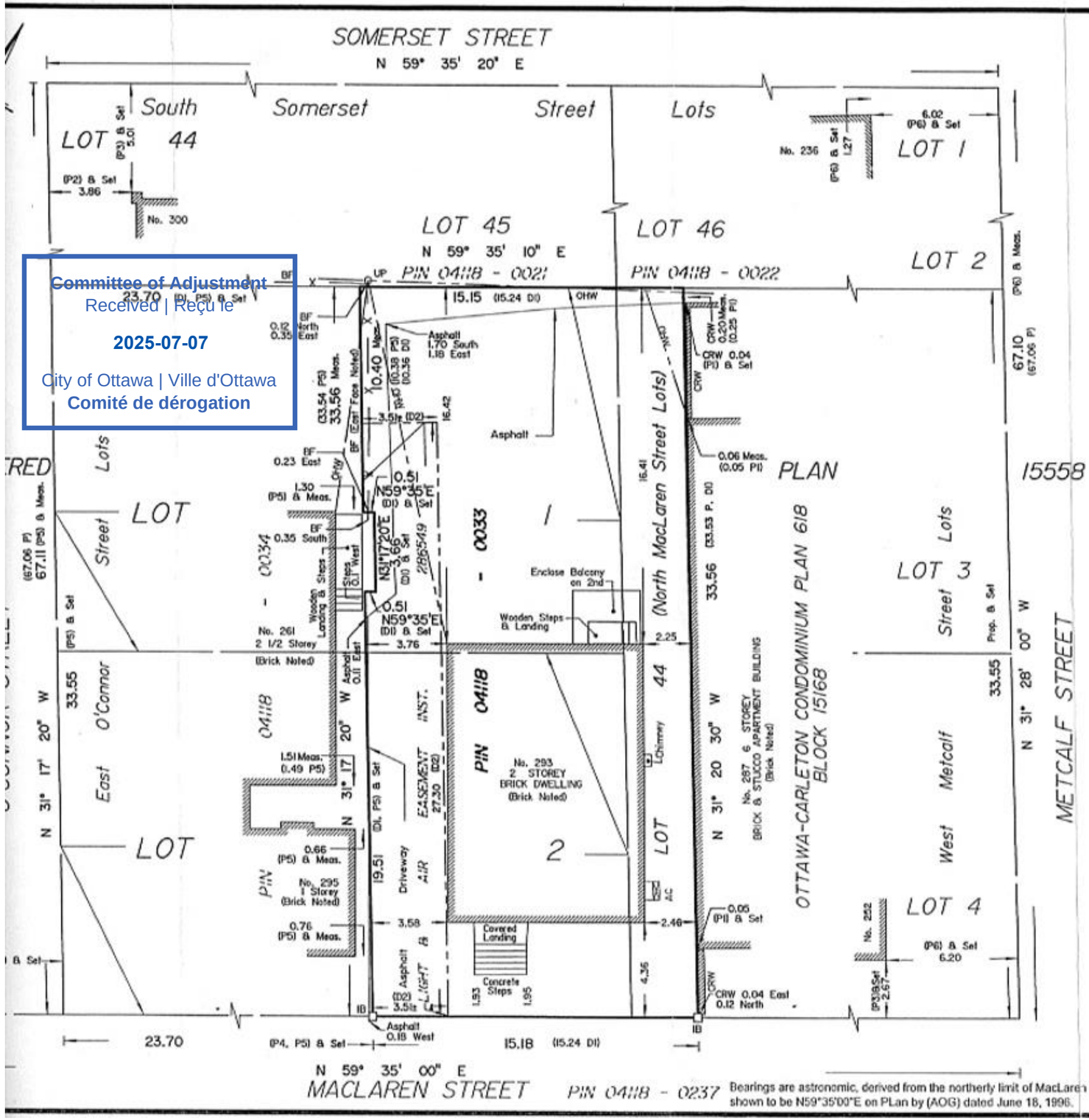


SURVEYOR'S REAL PROPERTY REPORT

PART 1 Plan of

PART OF LOTS 1 and 2
(East O'Connor Street Lots) AND
PART OF LOT 44 (North MacLaren Street Lots)
REGISTERED PLAN 15558
CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebekk Ltd.

Scale 1 : 200

8.0 6.0 4.0 2.0 0 4 8 Metres

Metric

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate

I CERTIFY THAT :

1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act, the Land Titles Act and the regulations made under them.
2. The survey was completed on the 16th day of December, 2011.

December 19/2011 — Edward M. Lancaster
Date — Edward M. Lancaster, Ontario Land Surveyor

PART 2

THIS PLAN MUST BE READ IN CONJUNCTION WITH SURVEY REPORT DATED: DECEMBER 19, 2011

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to Gibson LLP ("The Client"), their solicitors, mortgagees, and other related parties, permission to use original, signed, sealed copies of the Surveyor's Real Property Report in transactions involving The Client.

Notes & Legend

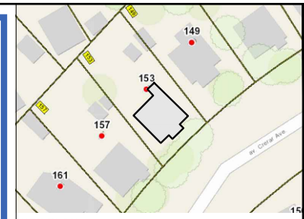
Denotes Survey Monument Planted
Survey Monument Found
SIB — Standard Iron Bar
SSIB — Short Standard Iron Bar
IB — Iron Bar
(WIT) — Witness
(AOG) — Annis, O'Sullivan, Vollebekk Ltd.
Meas. — Measured
(P) — Registered Plan 15558
(P1) — Ottawa-Carleton Condominium Plan 618
(P2) — (RWA) Plan, May 8, 1965
(P3) — (AOG) Plan, June 18, 1996
(P4) — (647) Plan, June 29, 1979
(P5) — (AOG) Plan, November 19, 1985
(P6) — (AOG) Plan, May 15, 2009
(D1) — Inst. NS119746
(D2) — Inst. No. 286549
BF — Board Fence
UP — Utility Pole
AC — Air Conditioner
CRW — Concrete Retaining Wall
OHW — Overhead Wires
Prop. — Proportion

ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
1825295
THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29 (3).

ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: Nepean@aovltd.com
Ontario Land Surveyors

Job No. 12564-II Gibsons Pt Lts 1 2 44 PL 15558 D F

PROPOSED REAR SIDE ADDITION
293 MACLAREN STREET, OTTAWA



KEY PLAN

GENERAL NOTES:

ANY DEVIATION FROM THE CONDITIONS SHOWN ON THE DRAWINGS SHALL BE SUBMITTED BY THE ENGINEER.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCING WORK.

DESIGN LOADS (SPECIFIED):

3.1 ROOF:
- DEAD = 1.0 kPa;
- LIVE = 1.0 kPa;
- SNOW = 2.32 kPa (OTTAWA, ON).

3.2 FLOOR:
- DEAD = 1.0 kPa;
- LIVE = 2.4 kPa.

3.3 WIND:
- q = 0.41 kPa (OTTAWA, ON)
- Ce = 0.9;
- CpCq AS PER NBCC.

3.4 MINIMUM SOIL BEARING CAPACITY: 75 Kpa

DESIGN DONE AS PER PART 9 OF THE 2012 ONTARIO BUILDING CODE (OBC) IN ACCORDANCE WITH:

4.1 CAN/CSA S16-01 LIMIT STATES DESIGN OF STEEL STRUCTURES;
4.2 CAN/CSA A23.3 DESIGN OF CONCRETE STRUCTURES;
4.3 CAN/CSA O86-09 ENGINEERING DESIGN IN WOOD;

EXCAVATION:

5.1 COMPLY WITH ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT.
5.2 TEMPORARY EXCAVATIONS SHALL NOT EXCEED 3.5 m DEEP.
5.3 DO NOT EXCAVATE BELOW A LINE EXTENDING DOWNWARD FROM ANY BEARING STRATA AT A SLOPE OF 1 VERTICAL TO 1.5 HORIZONTAL.

STRUCTURAL:

1 - STEEL, TIMBER AND BUILT-UP TIMBER COLUMNS FROM ALL LEVELS SHALL BE CARRIED DOWN TO THE FOUNDATION OR TO SUPPORTING BEAMS. PROVIDE BLOCKING WHERE REQUIRED.
2 - ALL LOAD BEARING WALLS IN THE STOREY IMMEDIATELY BELOW A FLOOR ASSEMBLY SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED FLOOR ASSEMBLY.
3 - PRE-ENGINEERED TIMBER TRUSSES TO BE DESIGNED BY TRUSS MANUFACTURER, RESPONSIBILITY FOR THE DESIGN RESTS WITH THE CONTRACTOR. SUBMIT SHOP DRAWINGS FOR REVIEW.
4 - FLOOR FRAMING SYSTEM TO BE AS PER MANUFACTURE STANDARD DETAILS AND SPECIFICATIONS.

- SITEWORK:

1 - DRAINAGE: MAINTAIN EXISTING OVERALL SITE DRAINAGE AWAY FROM PERIMETER OF NEW FOUNDATIONS. WATERPROOFING TO BE 3mm RUBBERIZED ASPHALT APPLIED TO EXTERIOR FACE OF FOUNDATION WALLS TO EXTEND FROM GRADE TO TOP OF FOOTING (2 COATS).

- CONCRETE:

1 - CONCRETE TO BE 20 MPa @ 28 DAYS FOR FOOTINGS AND WALLS. CONCRETE FOR ENTRANCE SLAB TO 32 MPa(MIN.) @ 28 DAYS 6 % (+/- 1%) AIR ENTRAINMENT 0.45 WATER / CEMENT RATIO BROOM FINISH. BASEMENT CONCRETE SLAB 25 MPa @ 28 DAYS.
2 - FOUNDATION WALL DRAINAGE AS PER O.B.C. 9.14.
3 - MINIMUM BEARING CAPACITY USED IN FOOTING DESIGN IS 75 kPa. BEARING SURFACE TO BE INSPECTED BY THE SOILS ENGINEER PRIOR TO THE PLACEMENT OF CONCRETE.
4 - TYPICAL FOUNDATION WALL TO HAVE 2-10m BARS 4" FROM TOP & BOTTOM OF FOUNDATION.

- METALS:

1 - REINFORCING STEEL YIELD STRENGTH TO BE 60 K.S.I.

- WOOD (FRAMING) AND PLASTICS:

1 - LUMBER TO BE SPF #2 OR BETTER. EXCEPT PORCH POST TO BE PRESSURE TREATED PINE.
2 - ALL BEAMS TO BE FLUSH EXCEPT AS NOTED.
3 - BEAMS NOTED AS 'LVL' ARE LAMINATED VENEER LUMBER. SIZES ARE BASED ON THE USE OF TRUSS. JOIST PRODUCTS AND ALTERNATES ARE ACCEPTABLE IF CAPACITY MEETS THOSE SPECIFIED ON THESE DRAWINGS.
4 - NOTCHING AND DRILLING SHALL COMPLY TO 9.23.5 O.B.C.
5 - FLOOR JOISTS OR BLOCKING UNDER ALL PARALLEL PARTITIONS.
6 - SUB-FLOOR TO BE 19.0mm (3/4") T&G PLYWOOD GLUED AND SCREWED.
7 - CUSHION FLOORING TO HAVE 6.5mm (1/4") POPLAR UNDERLAY.
8 - PROVIDE BLOCKING FOR FUTURE GRAB BARS IN MAIN BATHROOM AT TOILET AND TUB IN LOCATIONS REQUIRED BY O.B.C. 3.8.3.8 (1)(d) AND 3.8.3.13 (1)(f).
9 - EXTERIOR WINDOW AND DOOR LINTEL TO BE 3-2x10. EXCEPT AS NOTED.
10 - ALL INTERIOR PARTITIONS TO BE 12.8mm (1/2") GYPSUM BOARD ON BOTH SIDES OF 38mm x 98mm (2" x 4") OR 38mm x 150mm (2" x 6") STUDS @ 490mm (19.2") O.C. LOAD BEARING, 610mm (24") NON-LOAD BEARING. FINISHED WITH TAPE AND PLASTERED JOINTS, UNLESS NOTED OTHERWISE.
11 - STAIRS: MAX. 200mm (7 7/8") RISE. MIN. 210mm (8 1/4") RUN, MIN. 235mm (9 1/4") TREAD.
12 - HANDRAILS TO BE 865mm (2'-10") TO 965mm (3'-2") HIGH.
13 - PROVIDE MIN. 1.950mm (6'- 5") HEADROOM CLEARANCE ON STAIRS.

- FINISHES:

1 - FOR CERAMIC TILE FLOORING PROVIDE CERAMIC TILE ADHESIVE AS PER MANUFACTURERS RECOMMENDATIONS ON 15.9mm (5/8") PLYWOOD UNLAY.
2 - FINISH FLOORING IN BATHROOMS, KITCHENS, LAUNDRY ROOMS AND ENTRANCES SHALL BE WATER RESISTANT.
3 - FINISHES, FIXTURES, MILLWORK AND WOOD STAIRS TO CLIENTS REQUIREMENTS.
4 - ALL WALL CABINETS IN KITCHEN/LAUNDRY TO HAVE DROPPED BULKHEADS ABOVE UNLESS NOTED.
5 - INTERIOR TRIM, BASEBOARDS, CASING AND ALL SWING DOORS TO BE COLONIAL.
6 - GYPSUM BOARD AT BATHTUB AND SHOWER WALLS TO BE WATER RESISTANT.

- THERMAL AND MOISTURE PROTECTION:

1 - MOISTURE BARRIER SHALL BE PROVIDED IN ALL AREAS WHERE WOOD IS IN CONTACT WITH CONCRETE OR UNIT MASONRY.
2 - ALL POLY VAPOR / AIR BARRIER TO CONFORM TO CGSB-51.34 CAULK AND SEAL ALL JOINTS W/ 100mm (4") MIN. LAP JOINTS.
3 - CAULK PERIMETERS, INSIDE AND OUTSIDE OF EXTERIOR DOORS AND WINDOWS.
4 - SERVICES PENETRATING A FIRE SEPARATION (RATED ASSEMBLY) SHALL CONFORM TO 9.10.9.6 AND 9.10.9.7.O.B.C
5 - FLASHING TO BE PRE-FINISHED METAL. APPLY AT EXPOSED DOOR / WINDOW HEADS AND SILLS. ROOF VALLEYS, CHIMNEY / ROOF CONNECTIONS, HIGH WALL / ROOF CONNECTIONS. CHIMNEY CAPS, SKYLIGHT PERIMETERS, U/S OF BRICK AND AS SHOWN ON DRAWINGS.
6 - FIRE BLOCKING SHALL CONFORM TO SECTIONS 9.10.16. O.B.C.

SHEET INDEX

MECHANICAL VENTILATION

DUCT ALL MECHANICAL VENTILATION TO OUTSIDE AIR AND INSULATE THROUGH UNHEATED SPACE. PROVIDE BACK FLOW DAMPERS AT DUCT END OF FAN.

INSTALL A HEAT RECOVERY VENTILATOR (H.R.V) CONNECTED TO A FORCED FLOW FURNACE COMPLETE WITH VENTILATION AND CIRCULATION FAN SWITCHES.

WHERE THE PRINCIPAL EXHAUST FAN CAPACITY EXCEEDS THE REQUIRED VENTILATION CAPACITY BY MORE THAN 50%. THE PRINCIPAL EXHAUST FAN CONTROL DEVICE SHALL INCLUDE PROVISION TO ALLOW REDUCTION OF THE AIR FLOW TO WITHIN +/- 10% OF THE MINIMUM CAPACITY.

ALL WORK TO BE PERFORMED SHALL MEET O.B.C SECTION 9.33 & SECTION 6.2.4. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE WORK OF THE MECHANICAL CONTRACTORS.

NATURAL VENTILATION

INSULATION SHALL BE INSTALLED AND OTHER CONSTRUCTION WORK UNDERTAKEN IN A MANOR WHICH WILL NOT REDUCE THE FLOW OF AIR THRU VENTS OR THRU ANY PORTION OF THE ROOF SPACE OR ATTIC WHERE NECESSARY TO INSURE EFFECTIVE AIR CIRCULATION SPECIAL VENTING DEVICES SUCH AS DUCTS OR BAFFLES SHALL BE INSTALLED.

ROOF SPACE OR ATTICS ABOVE INSULATED CEILINGS SHALL BE VENTILATED WITH OPENINGS TO THE EXTERIOR HAVING A TOTAL UNOBSTRUCTED AREA OF NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA (OF WHICH 1/2 IS TO BE LOCATED IN THE SOFFIT) SUCH VENTS SHALL BE LOCATED SO AS TO PROVIDE MAXIMUM EFFECTIVE AIR CIRCULATION AND IN RIDGE ROOFS APPROX. HALF OF THE TOTAL VENT AREA SHALL BE LOCATED AT OR NEAR THE RIDGE.

PLUMBING

ROUGH IN NEW FIXTURES CONNECTING TO EXISTING SERVICES. CONTRACTOR TO OBTAIN PLUMBING PERMIT ON BEHALF OF OWNER. ALL WORK TO BE PERFORMED BY A LICENSED PLUMBER.

ELECTRICAL

BRING POWER SUPPLY FROM NEW SERVICE TO NEW OUTLETS. ALL WORK TO BE PERFORMED SHALL MEET O.B.C. SECTION 9.34

ALL NEW POWER RECEPTACLES (DUPLEX RECEPT, SWITCHES ETC.) TO STYLE SELECTED BY OWNERS.

ROUGH IN NEW SWITCHES & LIGHT BOXES AS INDICATED ON DRAWINGS.

CONTRACTOR TO OBTAIN AND PAY FOR ELECTRICAL PERMIT ON BEHALF OF OWNER. ALL WORK TO BE PERFORMED BY A LICENSED ELECTRICIAN.

PRODUCTS OF COMBUSTION DETECTORS

ONTARIO BUILDING CODE 9.10.19

1. A PRODUCT OF COMBUSTION DETECTOR OR DETECTORS OF THE SINGLE STATION ALARM TYPE SHALL BE INSTALLED AT THE CEILING IN EACH BEDROOM OR SLEEPING AREA AND BETWEEN BEDROOMS OR SLEEPING AREAS AND THE REMAINDER OF THE DWELLING UNIT SUCH AS IN HALLWAY OR CORRIDOR SERVING SUCH BEDROOMS OR SLEEPING AREAS AS SHOWN ON PERMIT PLANS.

2. THE PRODUCTS OF COMBUSTION DETECTORS AND ALARMS SHALL BE:
2.1 UNDERWRITERS LABORATORIES OF CANADA LISTED AND LABELED:
2.2 OF THE SINGLE STATION ALARM TYPE:
2.3 AN IONIZATION P.O.C. DETECTOR OR SPOT TYPE PHOTOELECTRIC SMOKE DETECTOR.
2.4 EQUIPPED WITH VISUAL INDICATION THAT THEY ARE IN OPERATING CONDITION.
2.5 CONNECTED TO THE BUILDING ELECTRICAL SUPPLY WITHOUT A DISCONNECT SWITCH.
2.6 PERMANENTLY MOUNT TO A STANDARD ELECTRICAL OUTLET OR JUNCTION BOX ON THE CEILING.
2.7 SEVERED BY A CIRCUIT NOT INTERCONNECTED TO ANY OUTLET AND
2.8 AUDIBLE WITHIN BEDROOMS WHEN INTERVENING DOORS ARE CLOSED.

3. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED IN A DWELLING UNIT THE SMOKE ALARMS ALL BE WIRED SO THAT THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS WITHIN THE DWELLING UNIT TO SOUND.

WINDOW SCHEDULE

Maximum U-value for all windows = 1.6
Material: PVC (See elevations for sizes)

PROPERTY INFO:

ZONING:
MAX. HEIGHT =
MIN. FRONT YARD SETBACK =
MIN. REAR YARD SETBACK =
MIN. INTERIOR SIDE YARD =

DOOR SCHEDULE

GENERAL NOTES

1. DO NOT SCALE DRAWINGS.

2. ALL DIMENSIONS SHALL BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO DESIGNERS ATTENTION.

3

4. ALL TEMPORARY SHORING SHALL REMAIN IN PLACE UNTIL NEW STRUCTURAL MEMBERS ARE INSTALLED.

5. ALL EXISTING SITE GRADING TO REMAIN. BACK AT NEW ADDITION TO MATCH EXISTING BUILDING SLOPE.

6. PROTECT EXISTING ASPHALT DRIVEWAY FROM DAMAGE.

Ontario Building Code Matrix Parts 3 & 9				OBC Reference
Project Description:		New ☐		☒ Part 9
	Change of Use ☐	Addition ☒	Alteration	1.1.2 [A] & 9.10.1.3
Major Occupancy(s):	Group C - Residential			9.10.2
Building Area (sm)	Existing: m²	New: m²	Total: m²	1.4.1.2.[A]
Gross Area (sm)	Existing: m²	New: m²	Total m²	1.4.1.2.[A]
Number of Storeys	Above Grade: 2	Below Grade:		1.4.1.2.[A] & 9.10.4
Number of Streets/Fire Fighter Access: 1				9.10.2
Building Classification:	Residential Occupancy			9.10.2
Sprinkler System Proposed:	Not required ☒			9.10.8.2
Standpipe Required	Yes ☐	No ☒		N/A
Fire Alarm Required	Yes ☐	No ☒		9.10.18
Water Service/Supply is Adequate	Yes ☒	No ☐		N/A
High Building	Yes ☐	No ☒		N/A
Construction Restrictions	☐ Combustible permitted	☐ Non-combustible permitted	☒ Both	9.10.6
Actual Construction	☐ Combustible	☐ Non-combustible	☒ Both	
Occupant load based on	sm/person ☒	design of building	9.9.1.3(a)	9.9.1.3 (a)
2 (per sleeping room) x 6 bedroom(Above Grade) 0 bedroom (Below Grade) = Occupant load of 12 (Above Grade)				
Barrier-free Design	Yes ☐	No (Explain) ☒	Not required	9.5.2
Hazardous Substances	Yes ☐	No ☒		9.10.1.3.(4)

REVISION	DESCRIPTION	DATE
1		

CONSULTANT:
ROCKVILLE ENG INC
323 COVENTRY RD
UNIT 7, OTTAWA K1K 3X6
TEL 613-710-7727
INFO@ROCKVILLEENGINC.COM
WWW.ROCKVILLEENGINC.COM

CLIENT:

PROJECT: PROPOSED REAR SIDE BUILDING ADDITION

SITE: 293 MACLAREN ST, OTTAWA

DRAWING: COVER PAGE

PROJECT NO.	DESIGN:	DRAWN:	APPROVED:
	C.ENENDU	N.ECKERT	C.ENENDU
SCALE AT A1:	DATE:	DRAWING NO:	SHEET:
N.T.S.	01/06/2025	A0	1 of 6

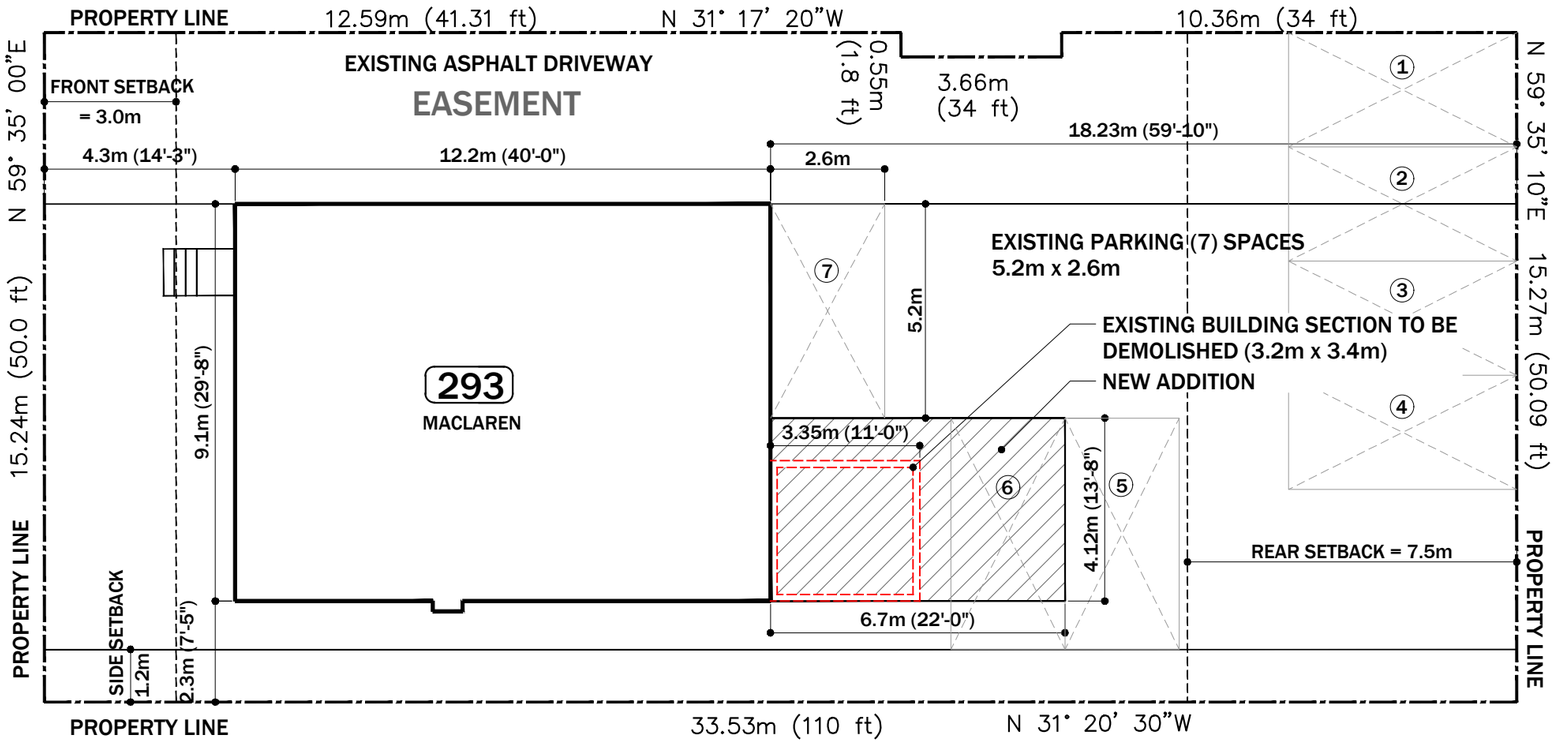
PROPOSED REAR SIDE ADDITION

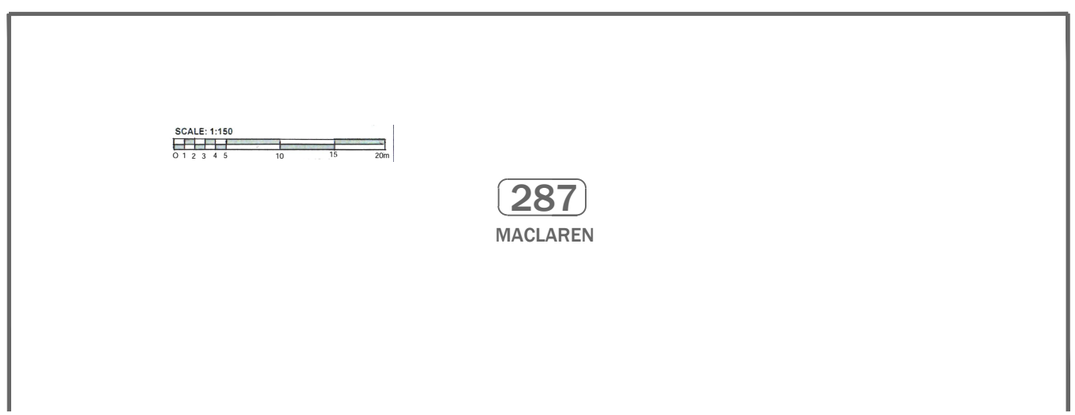
293 MACLAREN STREET, OTTAWA

Committee of Adjustment
Received | Reçu le

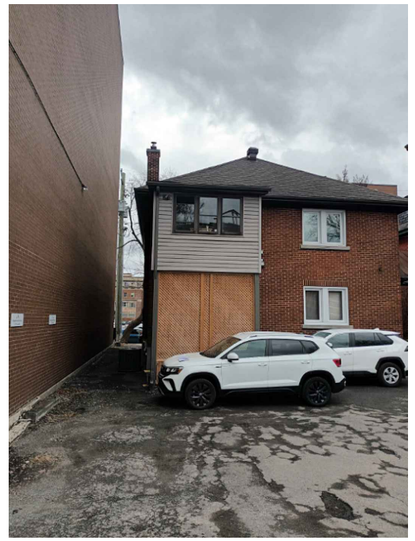
2025-07-07

City of Ottawa | Ville d'Ottawa
Comité de dérogation





1 / A1 SITE PLAN
SCALE: 1: 64



EXISTING

KEY PLAN

GENERAL NOTES:

1. EXISTING GRADE ELEVATIONS TO BE MAINTAINED POST CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
3. DO NOT SCALE DRAWINGS.

PROPERTY INFORMATION:

ZONING: R5B (491) H(19)
MIN. FRONT YARD SETBACK: 3m
MIN. REAR YARD SETBACK: 7.5m
MIN. INTERIOR SETBACK: 1.2m
PIN: 04118

EXISTING ADDITION (TO BE DEMOLISHED):

GROUND FLOOR: 13m² (140 ft²)
SECOND FLOOR: 13m² (140 ft²)
26m² (280 ft²)
EXISTING GFA: 248m² (2670 ft²)

PROPOSED ADDITION:

GROUND FLOOR: 14m² (150 ft²)
SECOND FLOOR: 28m² (300 ft²)
TOTAL: 42m² (450 ft²)

SCALE: 1:150
O 1 2 3 4 5 10 15 20m

LICENSED PROFESSIONAL ENGINEER
J. C. ENENDU
100111092
PROVINCE OF ONTARIO

REVISION	DESCRIPTION	DATE
1		

CONSULTANT:
ROCKVILLE ENG INC
323 COVENTRY RD
UNIT 7, OTTAWA K1K 3X6
TEL 613-710-7727
INFO@ROCKVILLEENGINC.COM
WWW.ROCKVILLEENGINC.COM

CLIENT:

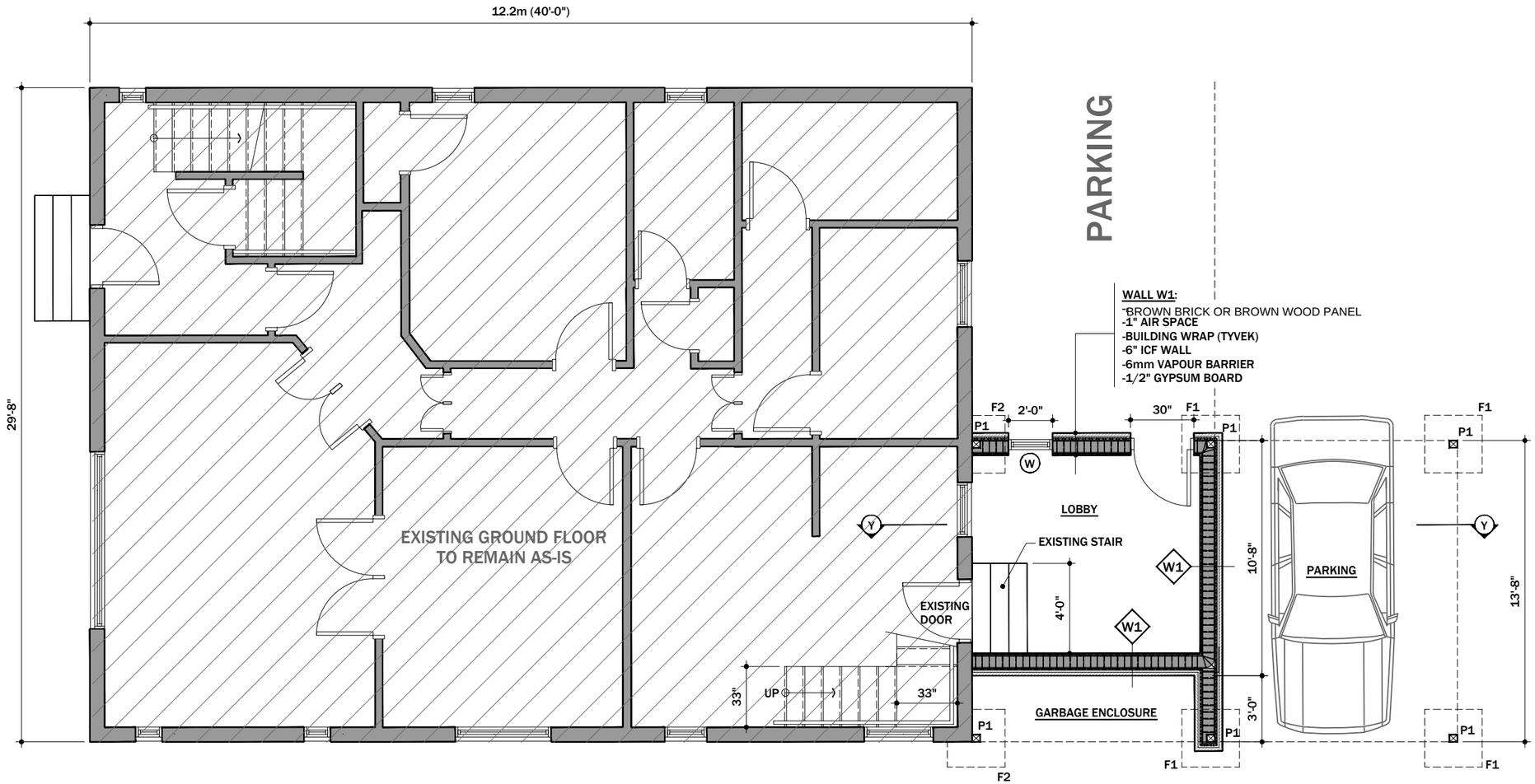
PROJECT: PROPOSED REAR SIDE BUILDING ADDITION

SITE: 293 MACLAREN ST, OTTAWA

DRAWING: SITE PLAN

PROJECT NO.	DESIGN:	DRAWN:	APPROVED:
	C.ENENDU	N.ECKERT	C.ENENDU
SCALE AT A1:	DATE:	DRAWING NO:	SHEET:
3/16"=1'-0"	01/06/2025	A1	2 of 6

KEY PLAN



1 A2.1 PROPOSED GROUND FLOOR LAYOUT WITH NEW ADDITION

SCALE: 1/2"=1'-0"

REVISION	DESCRIPTION	DATE
1		

CONSULTANT:
ROCKVILLE ENG INC
323 COVENTRY RD
UNIT 7, OTTAWA K1K 3X6
TEL 613-710-7727
INFO@ROCKVILLEENGINC.COM
WWW.ROCKVILLEENGINC.COM

CLIENT:

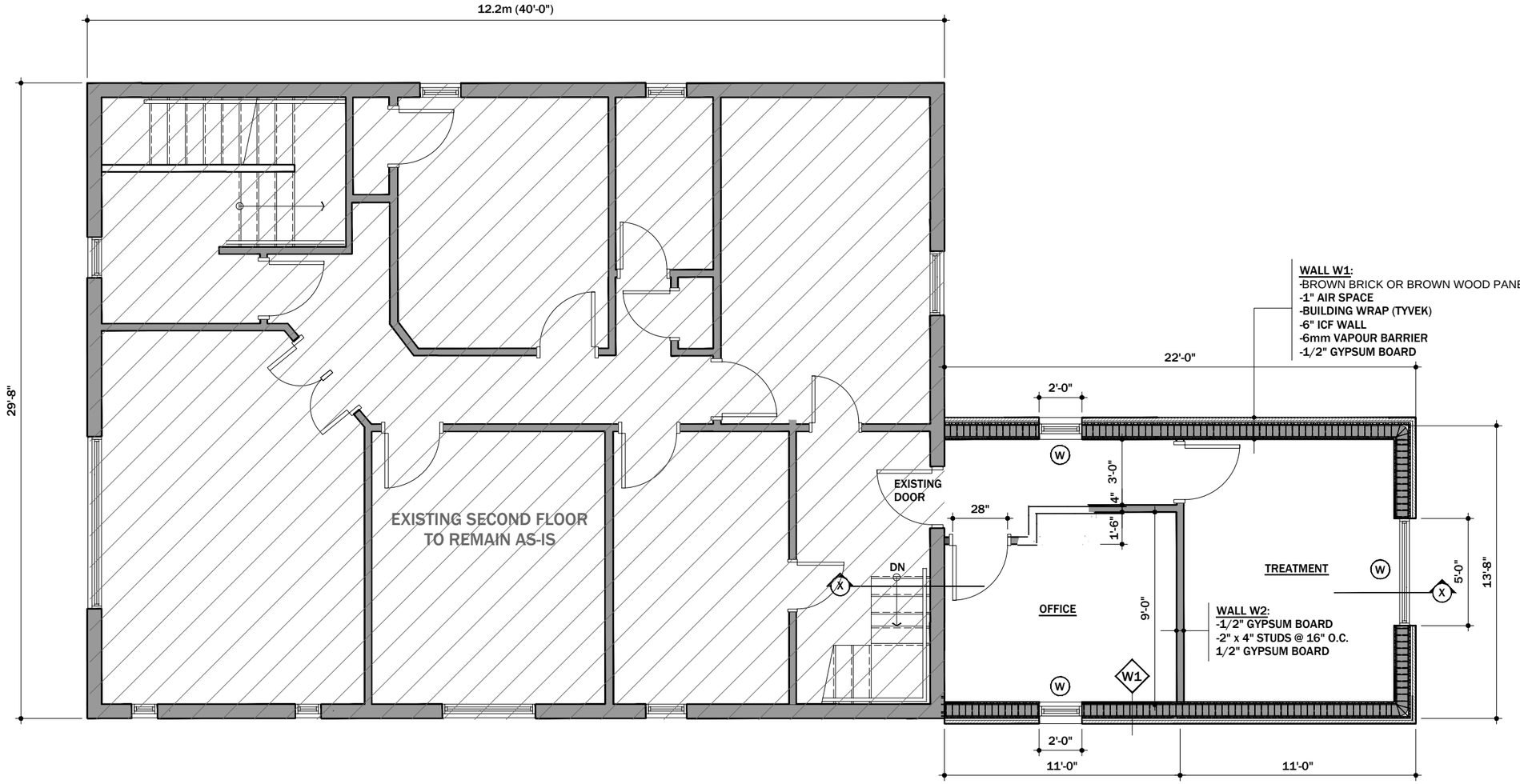
PROJECT: HOME ADDITION & REMODELLING

SITE: 293 MACLAREN ST, OTTAWA

DRAWING: PROPOSED GROUND FLOOR LAYOUT WITH NEW ADDITION

PROJECT NO.	DESIGN:	DRAWN:	APPROVED:
	C.ENENDU	N.ECKERT	C.ENENDU
SCALE AT A1:	DATE:	DRAWING NO:	SHEET:
3/8"=1'-0"	01/06/2025	A2.1	4 of 6

KEY PLAN



WALL W1:
-BROWN BRICK OR BROWN WOOD PANEL
-1" AIR SPACE
-BUILDING WRAP (TYVEK)
-6" ICF WALL
-6mm VAPOUR BARRIER
-1/2" GYPSUM BOARD

1 A2.2 PROPOSED SECOND FLOOR LAYOUT WITH NEW ADDITION

SCALE: 3/8"=1'-0"

REVISION	DESCRIPTION	DATE
1		

CONSULTANT:
ROCKVILLE ENG INC
323 COVENTRY RD
UNIT 7, OTTAWA K1K 3X6
TEL 613-710-7727
INFO@ROCKVILLEENGINC.COM
WWW.ROCKVILLEENGINC.COM

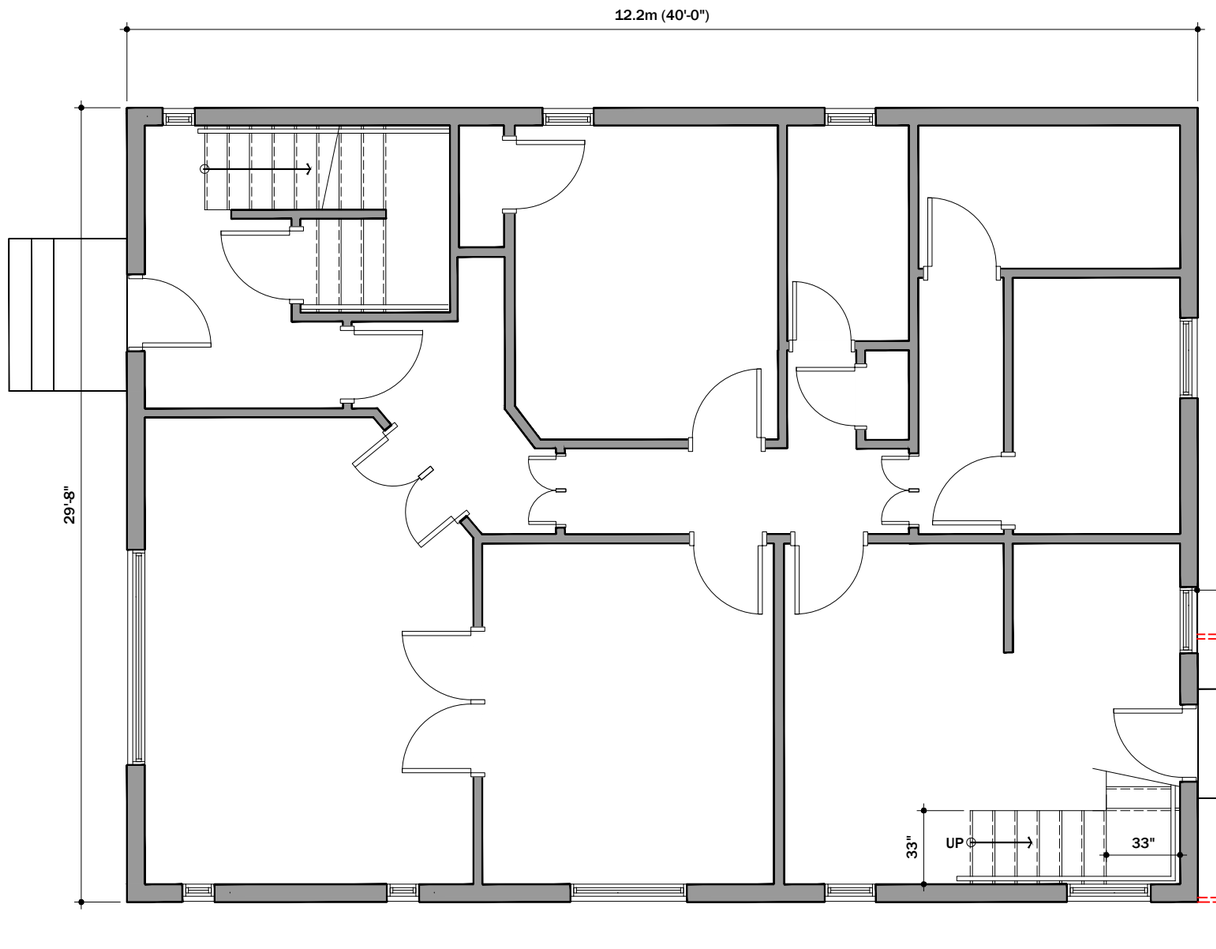
CLIENT:

PROJECT: **HOME ADDITION & REMODELLING**

SITE: **293 MACLAREN ST, OTTAWA**

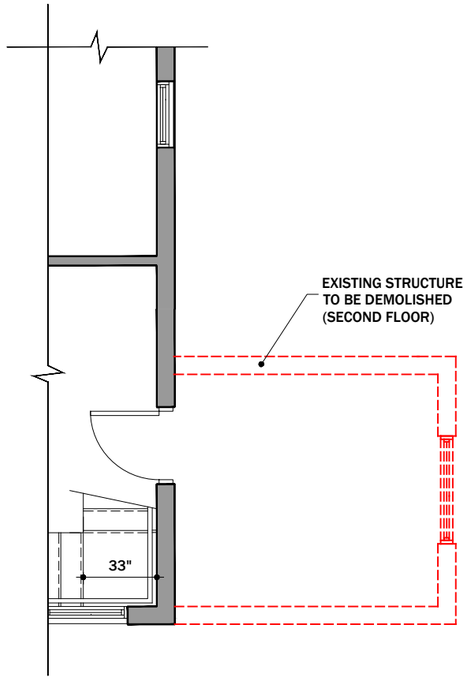
DRAWING: **PROPOSED SECOND FLOOR LAYOUT WITH NEW ADDITION**

PROJECT NO.	DESIGN:	DRAWN:	APPROVED:
	C.ENENDU	N.ECKERT	C.ENENDU
SCALE AT A1:	DATE:	DRAWING NO:	SHEET:
3/8"=1'-0"	01/06/2025	A2.2	5 of 6



1 / A2 EXISTING GROUND FLOOR LAYOUT & EXISTING ADDITION

SCALE: 3/8"=1'-0"



2 / A2 EXISTING SECOND FLOOR LAYOUT (EXISTING ADDITION)

SCALE: 3/8"=1'-0"

KEY PLAN

REVISION	DESCRIPTION	DATE
1		

CONSULTANT:
ROCKVILLE ENG INC
323 COVENTRY RD
UNIT 7, OTTAWA K1K 3X6
TEL 613-710-7727
INFO@ROCKVILLEENGINC.COM
WWW.ROCKVILLEENGINC.COM

CLIENT:

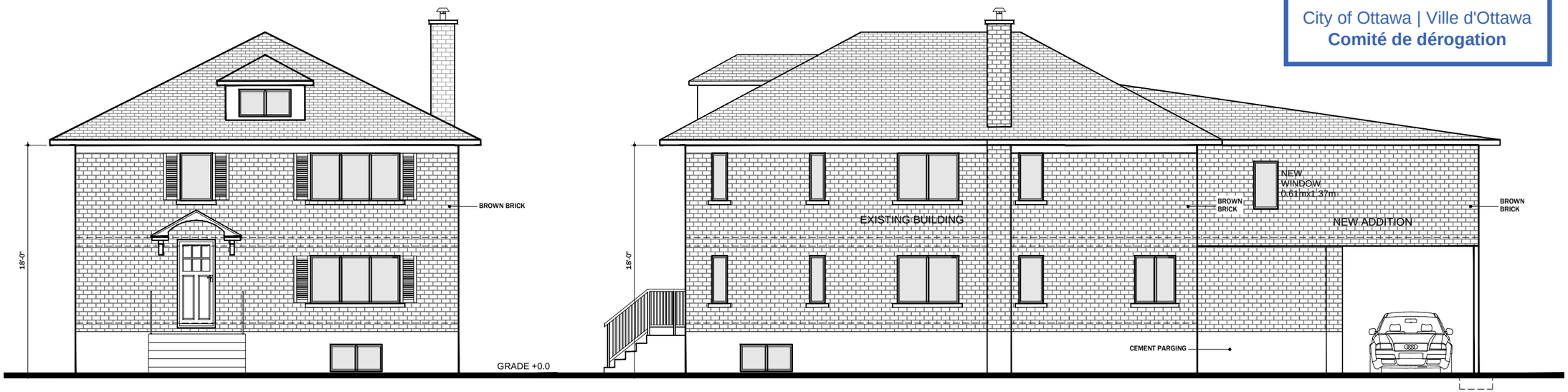
PROJECT: HOME ADDITION & REMODELLING

SITE: 293 MACLAREN ST, OTTAWA

DRAWING: EXISTING GROUND FLOOR LAYOUT

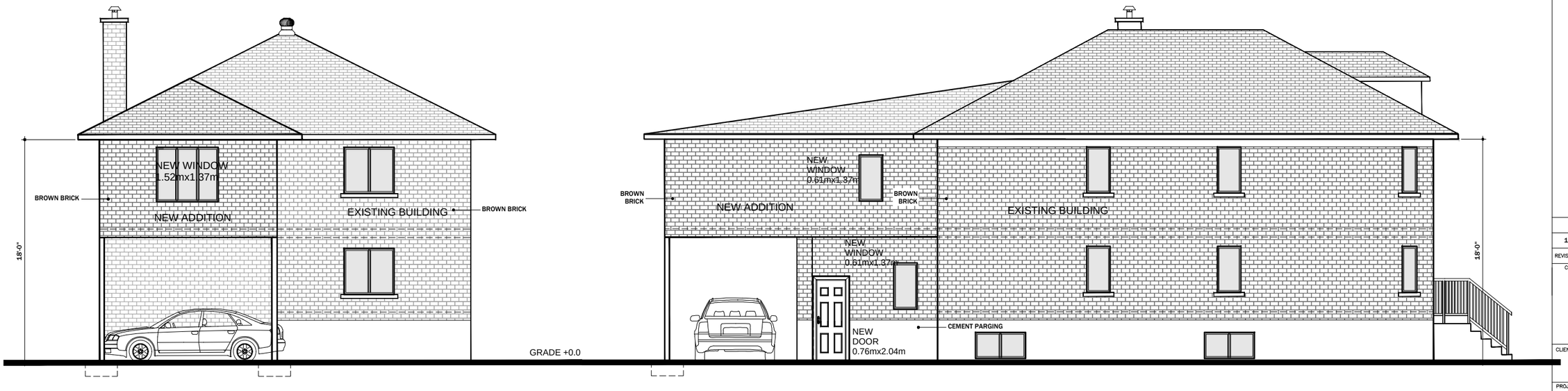
PROJECT NO.	DESIGN: C.ENENDU	DRAWN: N.ECKERT	APPROVED: C.ENENDU
SCALE AT A1: 3/8"=1'-0"	DATE: 01/06/2025	DRAWING NO: A2	SHEET: 3 of 6

KEY PLAN



1 / A3 **PROPOSED FRONT ELEVATION**
SCALE: 1/4"=1'-0"

2 / A3 **PROPOSED RIGHT SIDE ELEVATION**
SCALE: 1/4"=1'-0"



3 / A3 **PROPOSED REAR ELEVATION**
SCALE: 1/4"=1'-0"

4 / A3 **PROPOSED LEFT SIDE ELEVATION**
SCALE: 1/4"=1'-0"

REVISION	DESCRIPTION	DATE
1		

CONSULTANT:
ROCKVILLE ENG INC
323 COVENTRY RD
UNIT 7, OTTAWA K1K 3X6
TEL 613-710-7727
INFO@ROCKVILLEENGINC.COM
WWW.ROCKVILLEENGINC.COM

CLIENT:

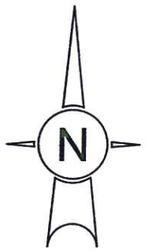
PROJECT: **HOME ADDITION & REMODELLING**

SITE: **293 MACLAREN ST, OTTAWA**

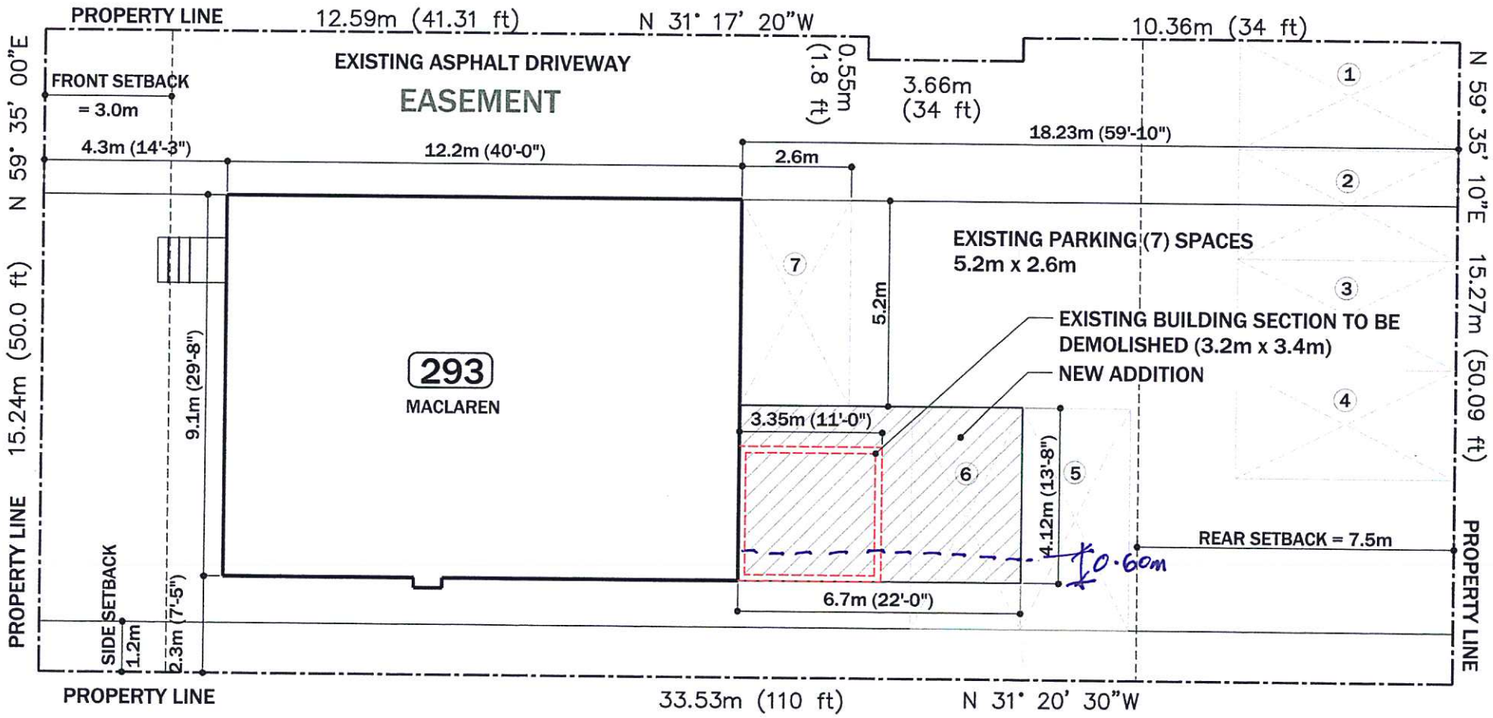
DRAWING: **PROPOSED ELEVATIONS**

PROJECT NO.	DESIGN:	DRAWN:	APPROVED:
	C.ENENDU	N.ECKERT	C.ENENDU
SCALE AT A1:	DATE:	DRAWING NO:	SHEET:
1/4"=1'-0"	01/06/2025	A3	6 of 6

PROPOSED REAR SIDE ADDITION
293 MACLAREN STREET, OTTAWA

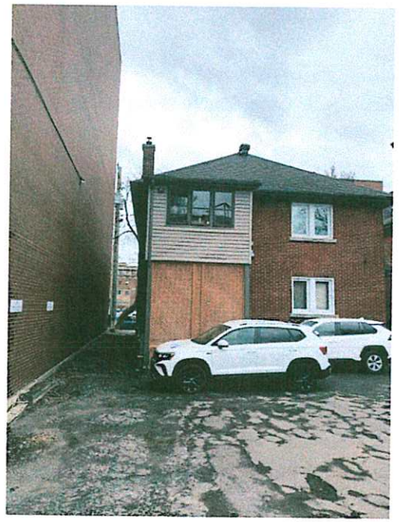


MACLAREN STREET



1 / A1 **SITE PLAN**
SCALE: 1: 64

Committee of Adjustment
JUN 27 2025
City of Ottawa



EXISTING

GENERAL NOTES:

1. EXISTING GRADE ELEVATIONS TO BE MAINTAINED POST CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
3. DO NOT SCALE DRAWINGS.

PROPERTY INFORMATION:

ZONING: R5B (491) H(19)
MIN. FRONT YARD SETBACK: 3m
MIN. REAR YARD SETBACK: 7.5m
MIN. INTERIOR SETBACK: 1.2m
PIN: 04118

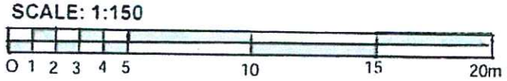
EXISTING ADDITION (TO BE DEMOLISHED):

GROUND FLOOR: 13m² (140 ft²)
SECOND FLOOR: 13m² (140 ft²)
26m² (280 ft²)
EXISTING GFA: 248m² (2670 ft²)

PROPOSED ADDITION:

GROUND FLOOR: 14m² (150 ft²)
SECOND FLOOR: 28m² (300 ft²)
TOTAL: 42m² (450 ft²)

SCALE: 1:150



LICENSED PROFESSIONAL ENGINEER
J. C. ENENDU
100111092
06123.2025
PROVINCE OF ONTARIO

REVISION	DESCRIPTION	DATE
1		

CONSULTANT:
ROCKVILLE ENG INC
323 COVENTRY RD
UNIT 7, OTTAWA, K1K 3X6
TEL 613-710-7727
INFO@ROCKVILLEENGINC.COM
WWW.ROCKVILLEENGINC.COM

CLIENT:

PROJECT: PROPOSED REAR SIDE BUILDING ADDITION

SITE: 293 MACLAREN ST, OTTAWA

DRAWING: SITE PLAN

PROJECT NO.	DESIGN: C.ENENDU	DRAWN: N.ECKERT	APPROVED: C.ENENDU
SCALE AT A1: 3/16"=1'-0"	DATE: 01/06/2025	DRAWING NO: A1	SHEET: 2 of 6