

December 17, 2025

Committee of Adjustment
 City of Ottawa
 101 CentrepoinTE Drive

Re: Application for Minor Variance for 330 Old Quarry Road

Dear Sir/Madam,

This application requests a Minor Variance to permit a slight reduction to the water setback for a new detached dwelling at 330 Old Quarry Road. All other provisions of the Zoning By law are met.

The subject property is located in Rural Residential Zone – RR15 Subzone with a Rural Exception [343r] – ‘minimum front yard setback for lots abutting watercourses: 3 metres.’ It is within the Mississippi Valley Conservation Authority regulated area, on the Ottawa River shoreline.

Water setback: Zoning By-law 2008-250, Section 69(2)(a) - 30.0 m to a watercourse or waterbody.



Location map (GeoOttawa)

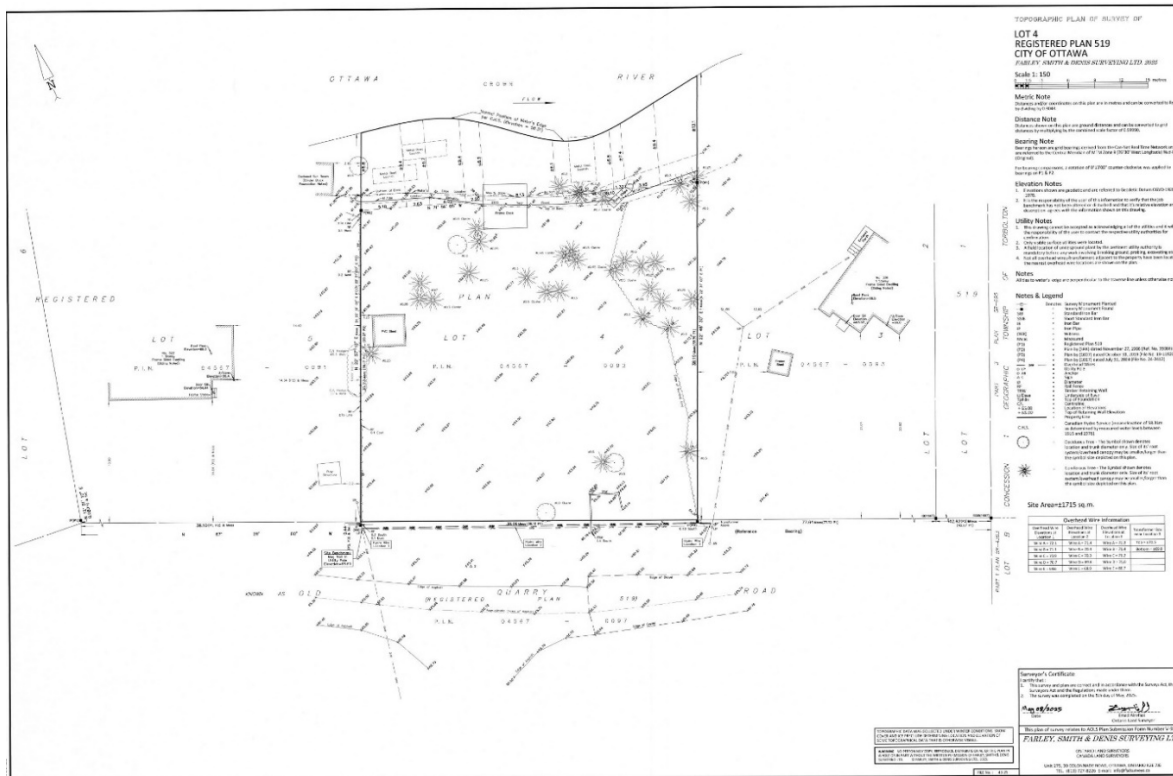
Overview:

The proposal places a new one to two storey dwelling on the existing vacant lot. The front yard is constrained

by Hydro Overhead wire clearance requirement, which prevents the use of the 3.0 m minimum front yard setback and shifts the house slightly toward the water. The requested reduction of 1.8 m enables a workable main floor plan and a comfortable dining area while respecting all other zoning requirements.

Background:

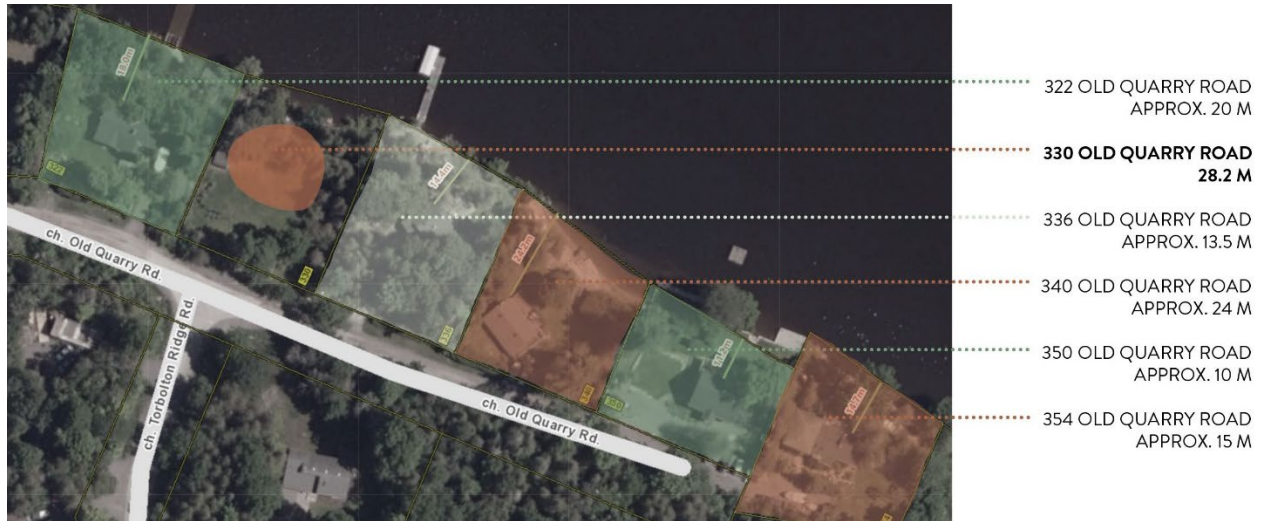
This property is municipally known as 330 Old Quarry Road and is legally described as Lot 4, Plan 519. The lot area is 1,715 m², with a frontage of 38.10 m and depth of 35.17 m (38.39 m) as shown on the attached recent Survey plan. The site fronts Old Quarry Road and slopes down toward the Ottawa River, and it lies within the Mississippi Valley Conservation Authority regulated area. Existing grades fall from the road toward the river, there is no storm or sanitary infrastructure, and Hydro clearance at the front limits the use of the 3.0 m minimum front yard setback, which informs the building placement. Private well and septic are proposed. This property is not within the Heritage Overlay.



Survey plan (Farley, Smith & Dennis Surveying Ltd., 2025)

The surrounding context is rural residential in character, and nearby shoreline setbacks vary; see Figure below for illustration of several adjacent lots below where dwellings sit approximately 10–24 m from the water (measurements approximate from GeoOttawa, for context only). To the west, and east are rural lots zoned RR15 with the same rural exception as subject property and a treed shoreline along the river, and to the south is the Old Quarry Road with rural and rural residential uses across the street. Paterson Group has prepared a Geotechnical Investigation and Slope Stability Assessment, a preliminary grading concept that directs drainage away from the building, and a preliminary septic layout confirming fit. MVCA has reviewed the siting and Slope Stability Report in detail and has no concerns with the proposal. A detached dwelling previously

occupied the lot and was demolished circa 2001; historic aerials suggest it sat closer to the water than the current proposal.



Context of Existing Shoreline Setbacks (GeoOttawa)



Context of Existing Shoreline Setbacks (GeoOttawa)

Proposal:

The proposal is to construct a new detached dwelling on a vacant lot, with an attached garage and a small storage room accessible from the water side. The main living spaces, including the primary bedroom, are on one level to support accessibility, with two guest bedrooms on a compact second floor. A split-level entry follows the existing grade, the backyard connects directly to the main living area, and the design addresses both the street and the shoreline. By following the existing topography the proposal limits import of fill, keeps the underside of foundations largely on existing bedrock, and allows the driveway approach to resolve the elevation difference between the road and the lot. The reduced water setback is limited to the dining area corner. All other zoning provisions are met. Because Hydro clearance prevents using the 3.0 m front yard minimum, the house sits about 4.75 m from the front property line; the requested water-side relief simply balances that shift.



Photo of the rear yard looking towards Old Quarry Road



Photo of the property from Old Quarry Road

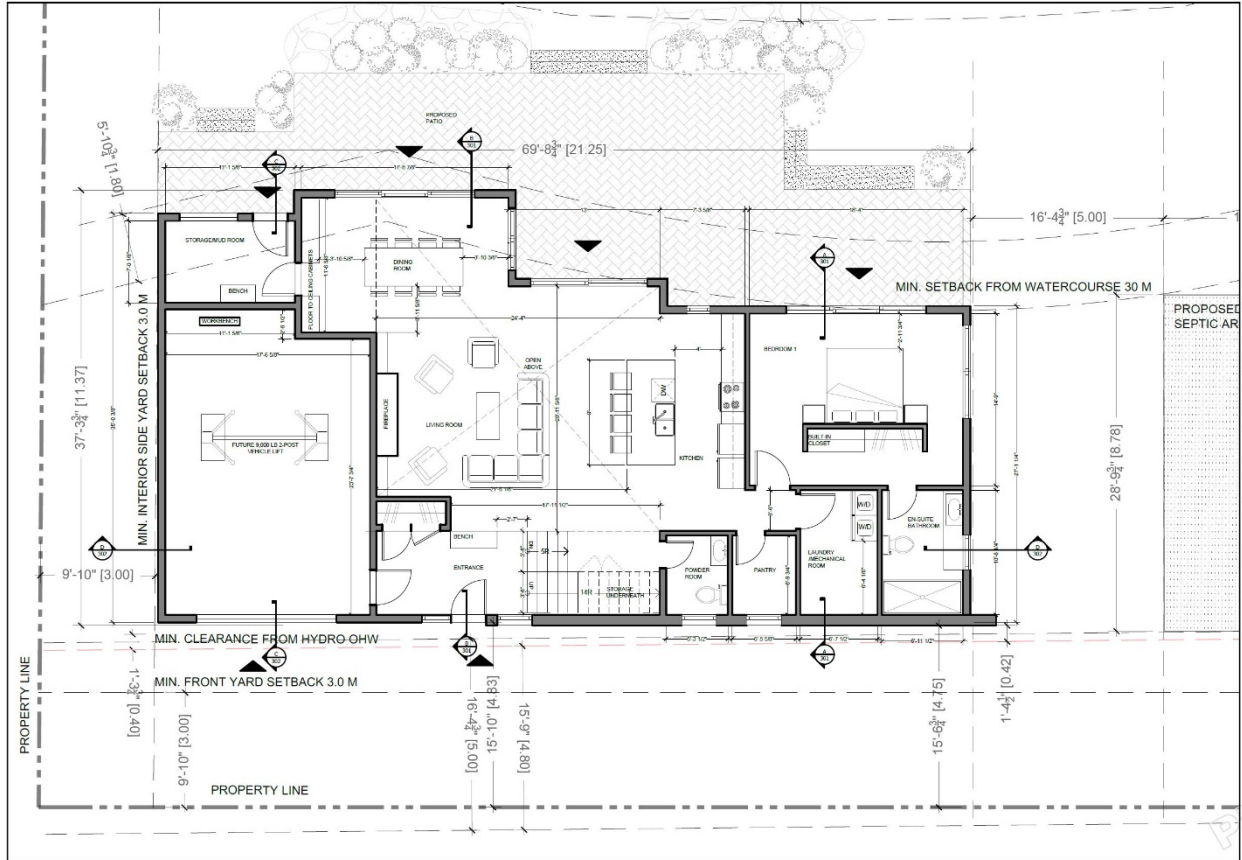
Photo of the rear yard looking towards west neighbour



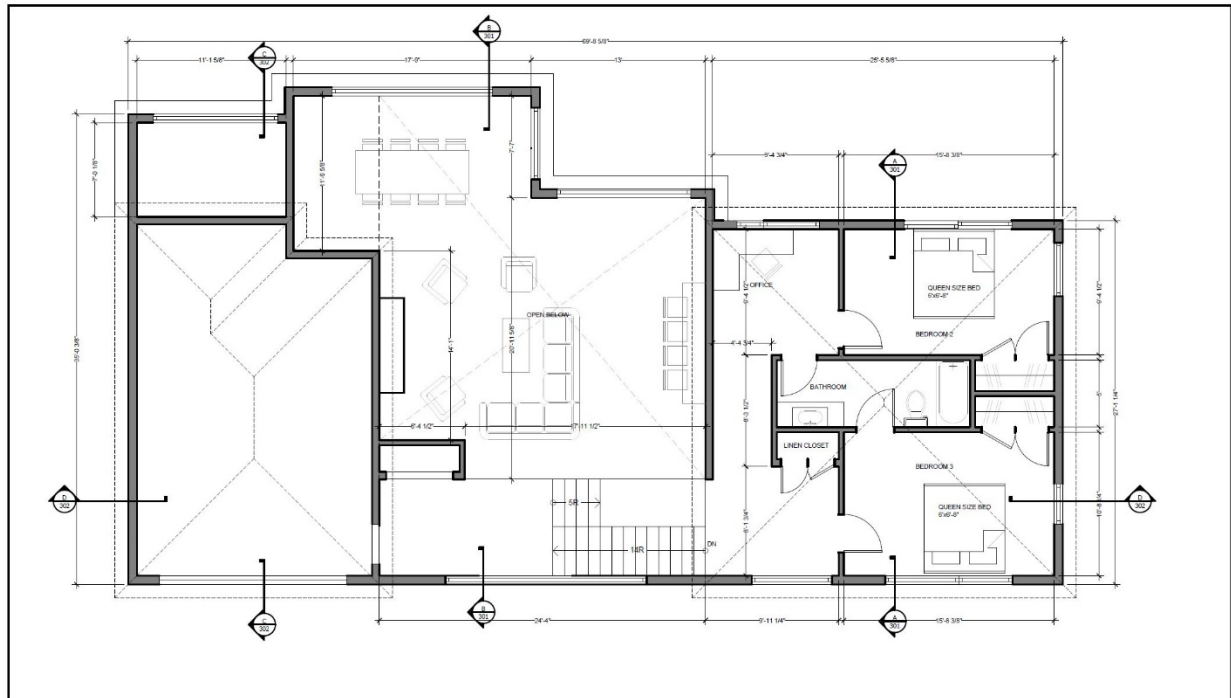
Conceptual rendering of the proposed dwelling, view from Old Quarry Road



Conceptual 3D model of the proposed dwelling, view from Ottawa River



Proposed Ground floor (Not to scale)



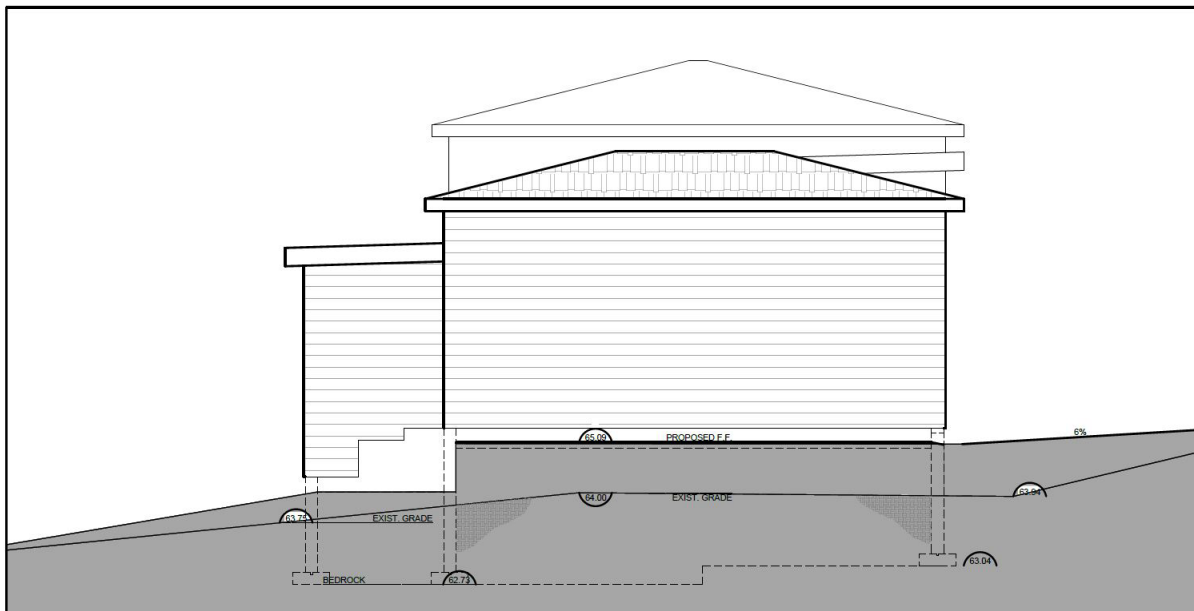
Proposed Second floor (Not to scale)



Proposed South Elevation (Not to scale)



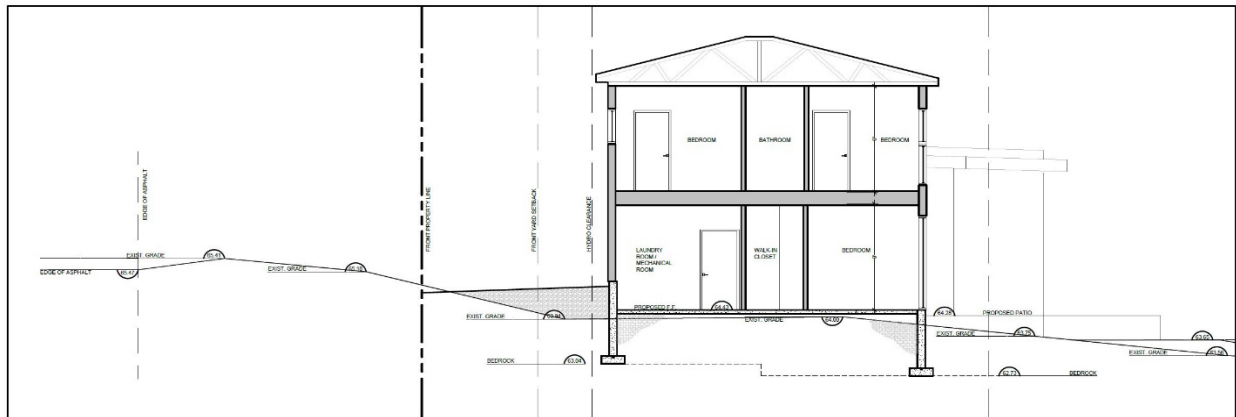
Proposed North Elevation (Not to scale)



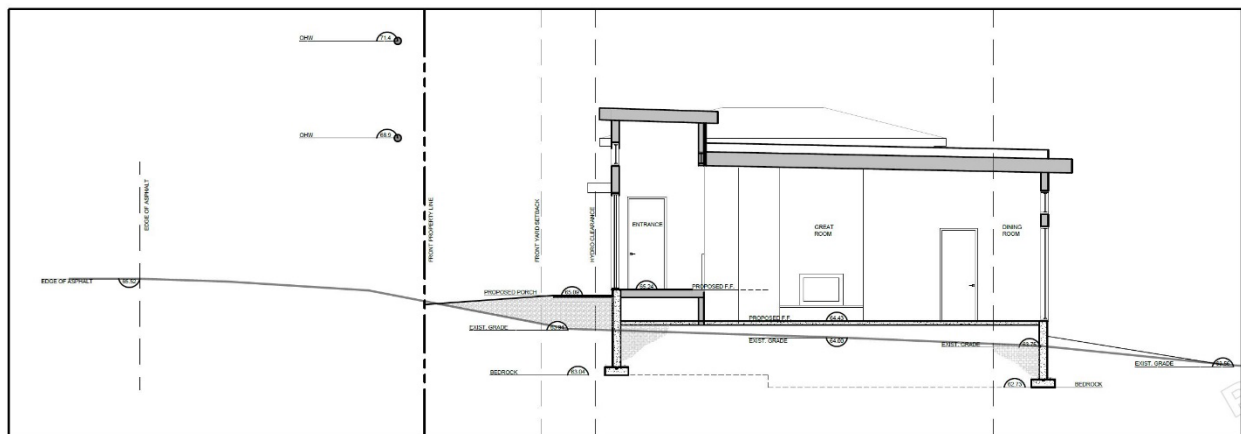
Proposed West Elevation (Not to scale)



Proposed East Elevation (Not to scale)



Proposed Section through two - storey part of the house (Not to scale)



Proposed Section through Main level (Not to scale)

Rationale:

As noted earlier, the dwelling is sited to work with existing grade, and the only relief sought is a small decrease to the water setback at the dining area corner. All other zoning provisions are met.

The following describes the requested variance:

- a) **Reduce the minimum water setback from 30.0 m to 28.2 m for the principal dwelling**, under By-law 2008-250, Section 69(2)(a).

Four tests (Planning Act s.45(1))**1. Minor in nature**

The change is 1.8 m (6%), from 30.0 m to 28.2 m, and it applies only to one corner of the main floor. Functional and visual effects are limited. The building remains outside the stable slope hazard confirmed by geotechnical review. Drainage can be directed away from the building with a defined overland flow path and without off-site impact. The reduction compensates for the increased front yard imposed by Hydro clearance, rather than advancing the overall building envelope toward the water.

2. Desirable for the appropriate development of the land

The variance enables a workable, largely single-level plan that supports accessibility and comfortable circulation at the dining area. It avoids unnecessary fill and tall retaining at the street. The massing sits low, follows the topography, and maintains a simple rural character toward Old Quarry Road and the river. The maximum lot coverage according to the zoning by-law is 25% and the new proposal covers overall 11.9% of the property.

3. Maintains the intent and purpose of the Zoning By-law

The intent of the water setback is shoreline protection and hazard avoidance. At 28.2 m, a substantial natural buffer is maintained. No construction is proposed within the hazard. Paterson's preliminary grading directs stormwater away from the building and establishes a clear overland route to the side and rear, preserving the shoreline function.

4. Maintains the intent and purpose of the Official Plan

The project respects existing landform, limits site alteration, and relies on private services confirmed as feasible. Planting beds with native, non-invasive species are shown between the development and the water to slow runoff, improve infiltration, and stabilize soils, consistent with OP Section 4.9.3 policy 7) a).

Technical input and coordination

Paterson Group prepared a Slope Stability Report and refined the grading concept. Paterson also consulted City civil engineering staff on the driveway and grading approach, and staff confirmed the concept can be within general conformity at this stage. MVCA engineering staff reviewed the Slope Stability Assessment and confirmed it addresses their comments; formal comments will follow their technical review.

Conclusion:

The requested relief is small, technically supported, and improves site fit by working with existing grade rather than introducing extensive fill. The proposal meets the four tests of the Planning Act, maintains the intent of the Zoning By-law and the Official Plan, and represents appropriate development for this property. Approval is requested to permit a 28.2 m setback to the principal dwelling while respecting all other zoning standards.

We consulted Minor Variance Planner Wendy Yang to review the proposal and get the advice of the City of Ottawa Planning department. We contacted Mississippi Valley Conservation Authority to seek their support for the proposed development. Paterson Group coordinated with City civil engineering staff on the driveway and grading concept. The owners presented the proposal to the neighbours and discussed any concerns with them.

Submission materials (attachments):

- Cover Letter
- Complete Minor Variance Application Form
- Signed Minor Variance Authorization Form
- Application fee
- Survey Plan
- Site Plan
- Elevation Drawings
- Lot Grading Plan
- Geotechnical Investigation and Slope Stability Assessment

If you wish additional information, do not hesitate to contact me.

Yours truly,

A handwritten signature in black ink that reads 'Zuzana Keslerova'.

Zuzana Keslerova, M.Arch., OAA, MRAIC