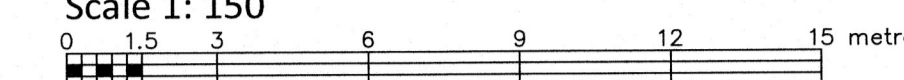


LOT 4  
REGISTERED PLAN 519  
CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2025

Scale 1: 150



**Metric Note**  
Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

**Distance Note**  
Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99990.

**Bearing Note**  
Bearings herein are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°13'00" counter-clockwise was applied to bearings on P1 & P2.

**Elevation Notes**

1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 :1978.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

**Utility Notes**

1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.
4. Not all overhead wires/transformers adjacent to the property have been located, the nearest overhead wire locations are shown on the plan.

**Notes**

All ties to water's edge are perpendicular to the traverse line unless otherwise noted.

**Notes & Legend**

- Denotes Survey Monument Planted
- Standard Iron Bar
- Short Standard Iron Bar
- Iron Bar
- Iron Pipe
- Witness
- Measured
- Registered Plan 519
- Plan by (SRK) dated November 27, 1986 (Ref. No. 35086)
- Plan by (1697) dated October 31, 2019 (File No. 19-11926)
- Plan by (1017) dated July 31, 2024 (File No. 24-2412)
- Overhead Wires
- Utility Pole
- Anchor
- Sign
- Diameter
- Rail Fence
- Timber Retaining Wall
- Underside of Eave
- Top of Foundation
- Centreline
- Location of Elevations
- Top of Retaining Wall Elevation
- Property Line
- C.H.S. Canadian Hydro Service (mean elevation of 58.31m as determined by measured water levels between 1915 and 1976).
- Deciduous Tree - The Symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.
- Coniferous Tree - The Symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

Site Area=±1715 sq.m.

Overhead Wire Information			
Overhead Wire Elevations at Location 1	Overhead Wire Elevations at Location 2	Overhead Wire Elevations at Location 3	Transformer Box near Location 3
Wire A = 72.1	Wire A = 71.4	Wire A = 72.3	Top = ±70.5
Wire B = 71.1	Wire B = 70.4	Wire B = 71.4	Bottom = ±69.8
Wire C = 70.9	Wire C = 70.3	Wire C = 71.2	
Wire D = 70.7	Wire D = 69.6	Wire D = 71.0	
Wire E = 69.6	Wire E = 68.9	Wire E = 68.7	

Committee of Adjustment  
Received | Reçu le  
2026-01-06  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

**Surveyor's Certificate**

- I certify that:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveys Act and the Regulations made under them.
  2. The survey was completed on the 5th day of May, 2025.

May 08/2025  
Date

Emad Alirefaai  
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-98783

FARLEY, SMITH & DENIS SURVEYING LTD.

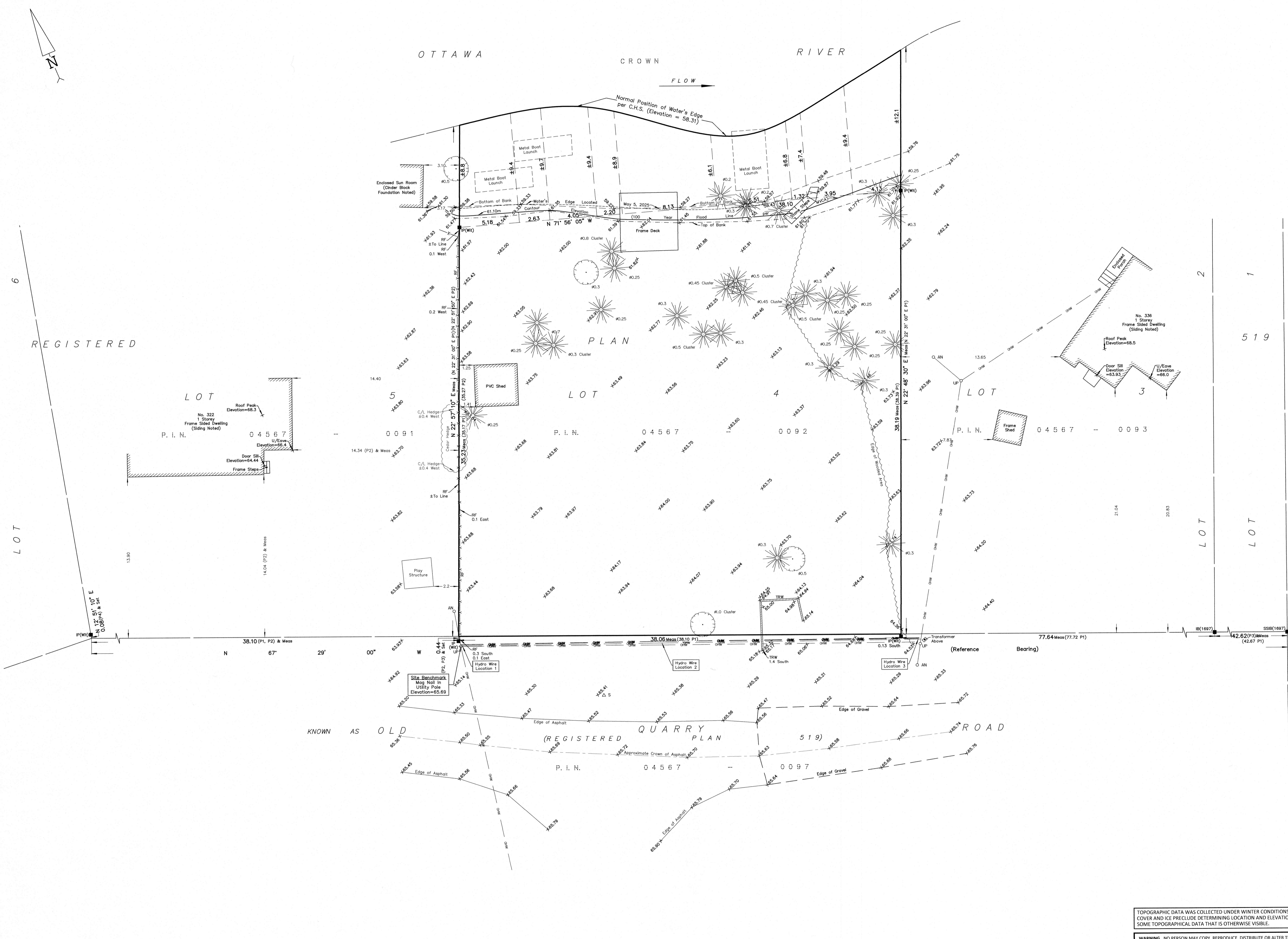
ONTARIO LAND SURVEYORS  
CANADA LAND SURVEYORS

Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6  
TEL: (613) 727-8226 E-mail: info@fsdsurveys.ca

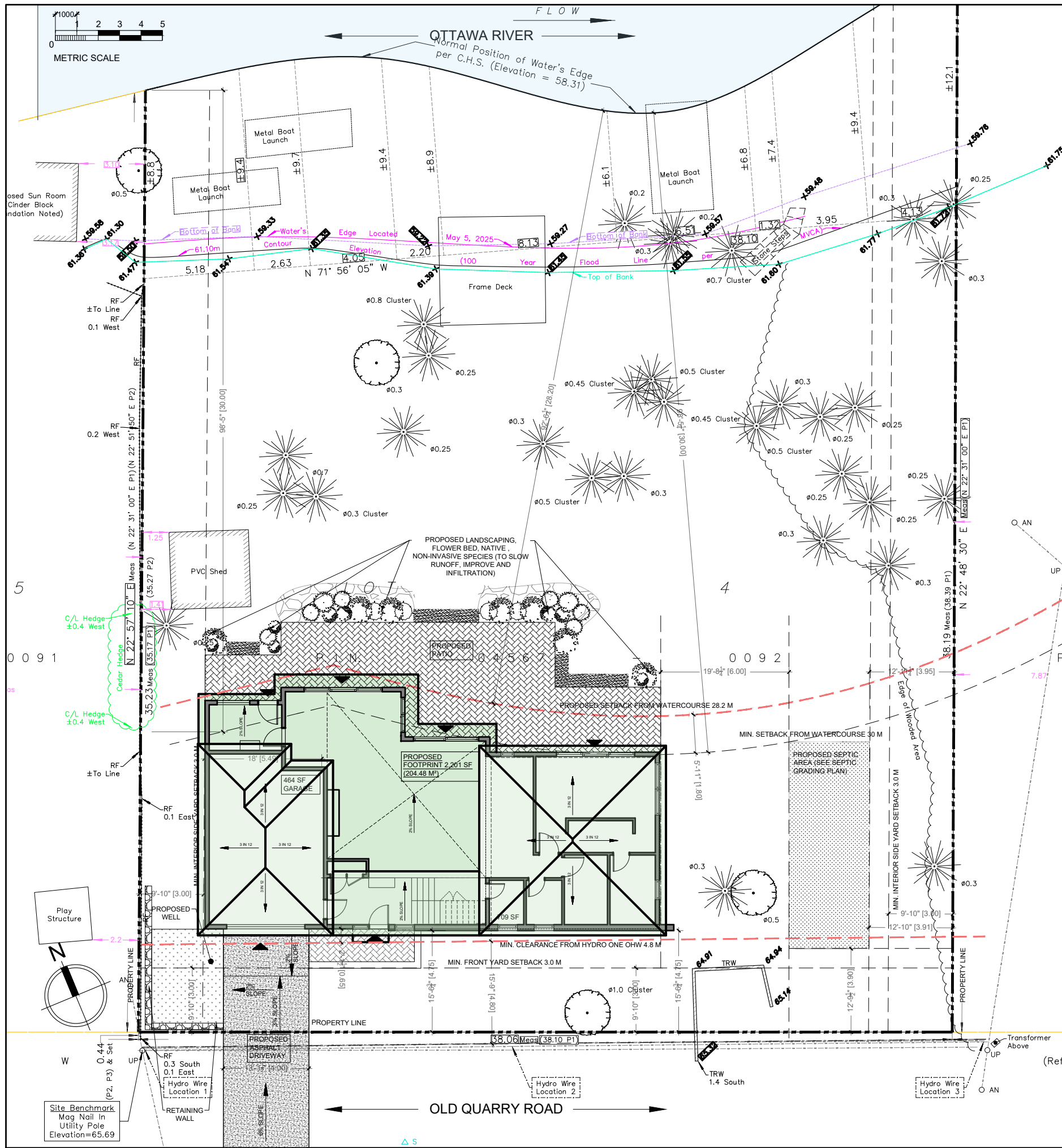
TOPOGRAPHIC DATA WAS COLLECTED UNDER WINTER CONDITIONS. SNOW COVER AND ICE PRECLUDE DETERMINING LOCATION AND ELEVATION OF SOME TOPOGRAPHICAL DATA THAT IS OTHERWISE VISIBLE.

WARNING: NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF FARLEY, SMITH & DENIS SURVEYING LTD. © FARLEY, SMITH & DENIS SURVEYING LTD., 2025.

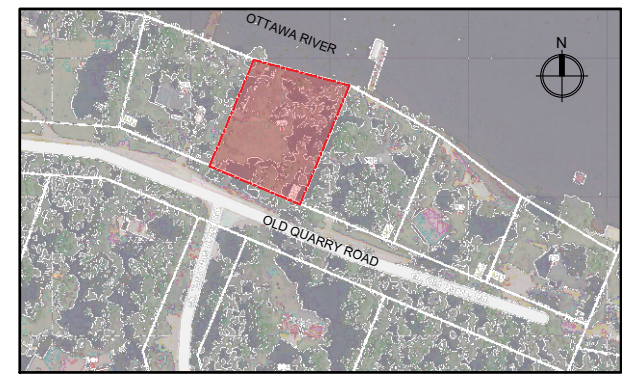
FILE NO.: 43-25



This document is presented in the language it was provided.  
Ce document est présenté dans la langue dans laquelle il a été fourni.



ZONING INFO - 330 OLD QUARRY ROAD		
LEGAL DESCRIPTION: PIN 04567-0092, LOT 4, REGISTERED PLAN 519		
ZONING	RR15 [343r]	
PRINCIPAL DWELLING TYPE	DETACHED DWELLING	
ZONING REQUIREMENTS	REQUIRED	PROPOSED
MINIMUM LOT WIDTH	30 M	38.06 M
MINIMUM LOT AREA	1,600 M <sup>2</sup>	1,715 M <sup>2</sup>
MAXIMUM BUILDING HEIGHT	11 M	7 M
MINIMUM FRONT YARD SETBACK	3 M (EXCEPTION [343r])	4.75 M
MINIMUM CORNER YARD SETBACK	N/A	N/A
MINIMUM REAR YARD SETBACK (WATER SETBACK)	30 M (7.5 M -REAR YARD)	28.2 M
MINIMUM INTERIOR SIDE YARD SETBACK	3 M	3 M
MAXIMUM LOT COVERAGE	25 %	11.9 %
SCHEDULE 1	AREA D, RURAL	
SCHEDULES 1A	AREA D	
WARD	WARD 5 (WEST CARLETON-MARCH), CLARKE KELLY, FITZROY NEIGHBOURHOOD	



**01 SITE PLAN**  
1:200

# NEW DETACHED DWELLING

330 Old Quarry Road,  
Ottawa, ON K0A 3M0

Client:  
Brian & Maureen O'Higgins  
27 Palisade Street,  
Ottawa, ON K2G 5M6  
b.ohiggins@icloud.com  
maureen.ohiggins@icloud.com  
613.xxx.xxxx

Consultants:  
SURVEYOR  
FARLEY SMITH & DENIS SURVEYING LTD.  
30 Colonnade Rd,  
Nepean, ON K2E 7J6  
613.727.8226  
info@fstdsurveys.ca

Architect:  
**kesler ARCHITECT**  
26 STACEY DRIVE, Burnstown, Ontario, K0J 1G0  
613.869.7174  
keslerarchitect.com  
zuzana@keslerarchitect.com

#	REVISION	DATE
05		
04		
03	ISSUED FOR CoFA - MINOR VARIANCE	12/17/2025
02	ISSUED FOR REVIEW	08/27/2025
01	ISSUED FOR REVIEW	06/06/2025

NOTE:  
1. DO NOT SCALE DRAWINGS.  
2. All dimensions are to be checked onsite. ALL errors and omissions and discrepancies or ambiguities on the drawings, specifications and any other contract documents, must be forwarded in writing to the Architect within two (2) days, upon discovery and prior to work on site or ordering materials.  
3. All work must comply with Ontario Building Code.  
4. All dimensions include thickness of gypsum board on stud walls.  
5. Drawings to be read in conjunction with structural drawings.

Drawing Title:  
**SITE PLAN**

Reviewed By:	Project Start Date: FEBRUARY, 2025
Scale: AS INDICATED	Drawn By: ZK
Job No.: 2501	Sheet No.: <b>A-100</b> OF ##

# NEW DETACHED DWELLING

330 Old Quarry Road,  
Ottawa, ON K0A 3M0

Client:

Brian & Maureen O'Higgins  
27 Palisade Street,  
Ottawa, ON K2G 5M6  
b.ohiggins@icloud.com  
maureen.ohiggins@icloud.com  
613.xxx.xxxx

Consultants:

SURVEYOR  
FARLEY SMITH & DENIS SURVEYING LTD.  
30 Colonnade Rd,  
Nepean, ON K2E 7J6  
613.727.8226  
info@fstdsurveys.ca

Architect:



26 STACEY DRIVE, Burnstown, Ontario, K0J 1G0

613.869.7174  
kesslerarchitect.com  
zuzana@kesslerarchitect.com

05		
04		
03	ISSUED FOR CoFA - MINOR VARIANCE	12/17/2025
02	ISSUED FOR REVIEW	08/27/2025
01	ISSUED FOR REVIEW	06/06/2025
#	REVISION	DATE

- NOTE:
- DO NOT SCALE DRAWINGS.
  - All dimensions are to be checked onsite. ALL errors and omissions and discrepancies or ambiguities on the drawings, specifications and any other contract documents, must be forwarded in writing to the Architect within two (2) days, upon discovery and prior to work on site or ordering materials.
  - All work must comply with Ontario Building Code.
  - All dimensions include thickness of gypsum board on stud walls.
  - Drawings to be read in conjunction with structural drawings.

Drawing Title:

PROPOSED FLOOR PLAN

Reviewed By:

Project Start Date:  
FEBRUARY, 2025

Scale:  
AS INDICATED

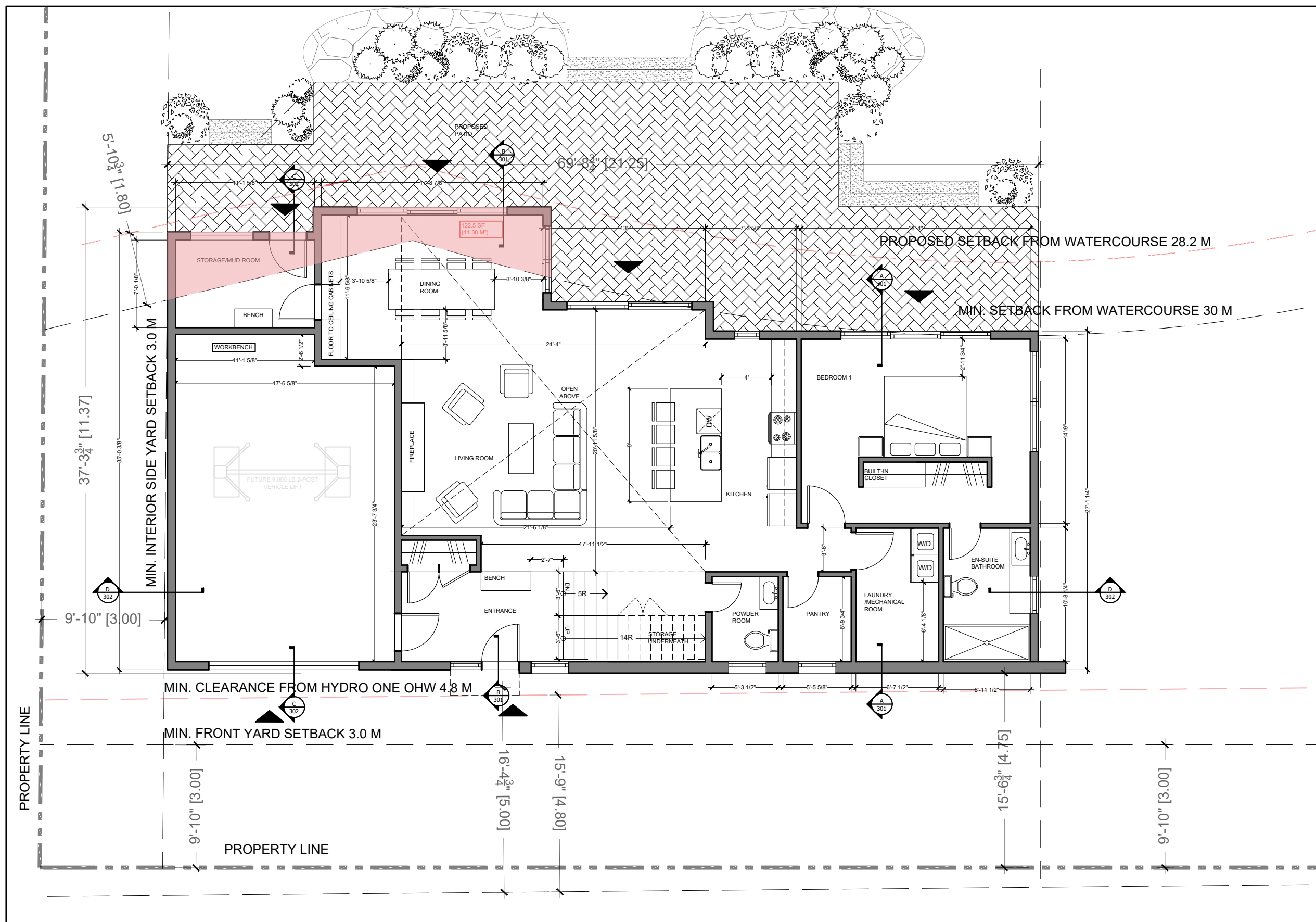
Drawn By:  
ZK

Job No.:  
2501

Sheet No.:

**A-101**

OF ##



**01** GROUND FLOOR  
A-101 1/8"=1'-0"

# NEW DETACHED DWELLING

330 Old Quarry Road,  
Ottawa, ON K0A 3M0

Client:

Brian & Maureen O'Higgins  
27 Palisade Street,  
Ottawa, ON K2G 5M6  
b.ohiggins@icloud.com  
maureen.ohiggins@icloud.com  
613.xxx.xxxx

Consultants:

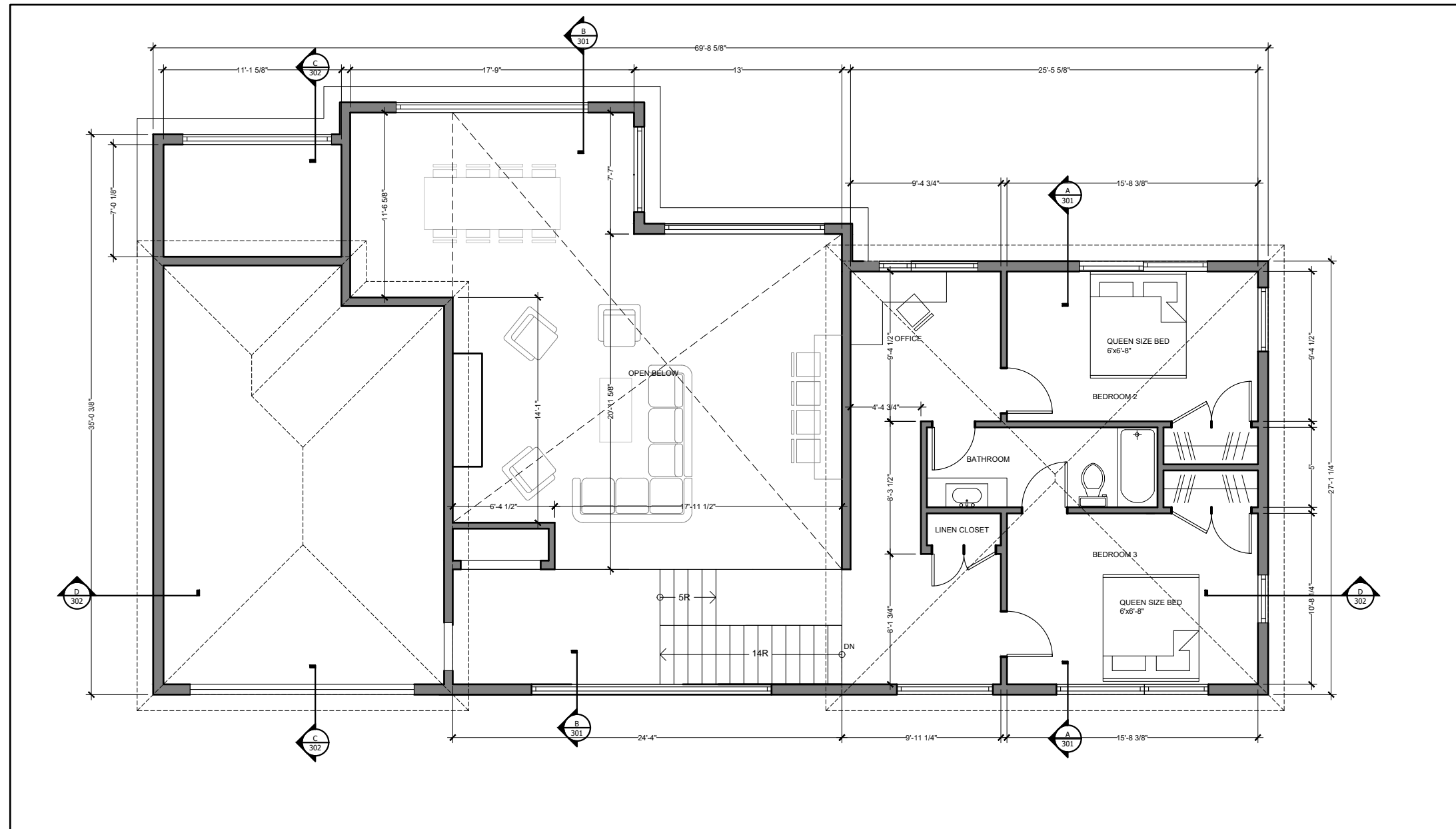
SURVEYOR  
FARLEY SMITH & DENIS SURVEYING LTD.  
30 Colonnade Rd,  
Nepean, ON K2E 7J6  
613.727.8226  
info@fstdsurveys.ca

Architect:



26 STACEY DRIVE, Burnstown, Ontario, K0J 1G0

613.869.7174  
kesslerarchitect.com  
zuzana@kesslerarchitect.com



01 2ND FLOOR  
A-102 1/8"=1'-0"

05		
04		
03	ISSUED FOR CoFA - MINOR VARIANCE	12/17/2025
02	ISSUED FOR REVIEW	08/27/2025
01	ISSUED FOR REVIEW	06/06/2025
#	REVISION	DATE

- NOTE:
- DO NOT SCALE DRAWINGS.
  - All dimensions are to be checked onsite. ALL errors and omissions and discrepancies or ambiguities on the drawings, specifications and any other contract documents, must be forwarded in writing to the Architect within two (2) days, upon discovery and prior to work on site or ordering materials.
  - All work must comply with Ontario Building Code.
  - All dimensions include thickness of gypsum board on stud walls.
  - Drawings to be read in conjunction with structural drawings.

Drawing Title:

PROPOSED FLOOR PLAN

Reviewed By:

Project Start Date:  
FEBRUARY, 2025

Scale:  
AS INDICATED

Drawn By:  
ZK

Job No.:  
2501

Sheet No.:

A-102  
OF ##

# NEW DETACHED DWELLING

330 Old Quarry Road,  
Ottawa, ON K0A 3M0

Client:

Brian & Maureen O'Higgins  
27 Palisade Street,  
Ottawa, ON K2G 5M6  
b.ohiggins@icloud.com  
maureen.ohiggins@icloud.com  
613.xxx.xxxx

Consultants:

SURVEYOR  
FARLEY SMITH & DENIS SURVEYING LTD.  
30 Colonnade Rd,  
Nepean, ON K2E 7J6  
613.727.8226  
info@fstdsurveys.ca

Architect:



26 STACEY DRIVE, Burnstown, Ontario, K0J 1G0

613.869.7174  
keslerarchitect.com  
zuzana@keslerarchitect.com



**01 SOUTH ELEVATION**  
A-201 1/8"=1'-0"

05		
04		
03	ISSUED FOR CoFA - MINOR VARIANCE	12/17/2025
02	ISSUED FOR REVIEW	08/27/2025
01	ISSUED FOR REVIEW	06/06/2025
#	REVISION	DATE

- NOTE:
- DO NOT SCALE DRAWINGS.
  - All dimensions are to be checked onsite. ALL errors and omissions and discrepancies or ambiguities on the drawings, specifications and any other contract documents, must be forwarded in writing to the Architect within two (2) days, upon discovery and prior to work on site or ordering materials.
  - All work must comply with Ontario Building Code.
  - All dimensions include thickness of gypsum board on stud walls.
  - Drawings to be read in conjunction with structural drawings.

Drawing Title:

ELEVATIONS

Reviewed By:

Project Start Date:  
FEBRUARY, 2025

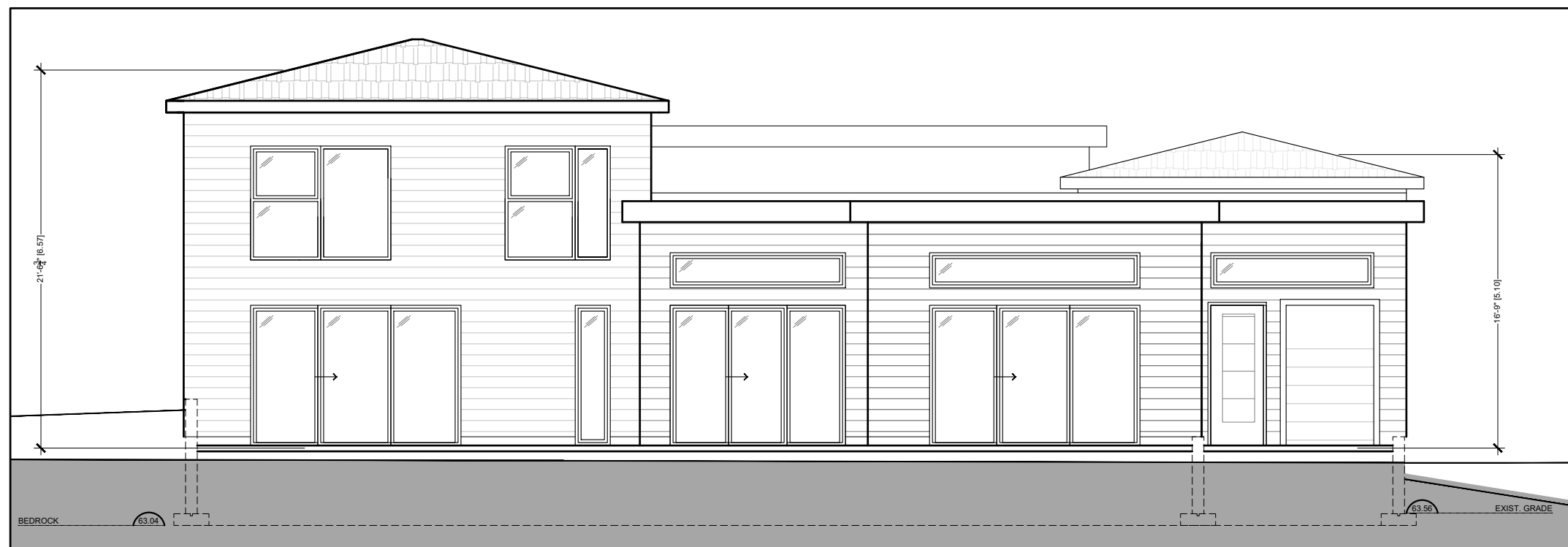
Scale:  
AS INDICATED

Drawn By:  
ZK

Job No.:  
2501

Sheet No.:

**A-201**  
OF ##



**02 NORTH ELEVATION**  
A-201 1/8"=1'-0"

# NEW DETACHED DWELLING

330 Old Quarry Road,  
Ottawa, ON K0A 3M0

Client:

Brian & Maureen O'Higgins  
27 Palisade Street,  
Ottawa, ON K2G 5M6  
b.ohiggins@icloud.com  
maureen.ohiggins@icloud.com  
613.xxx.xxxx

Consultants:

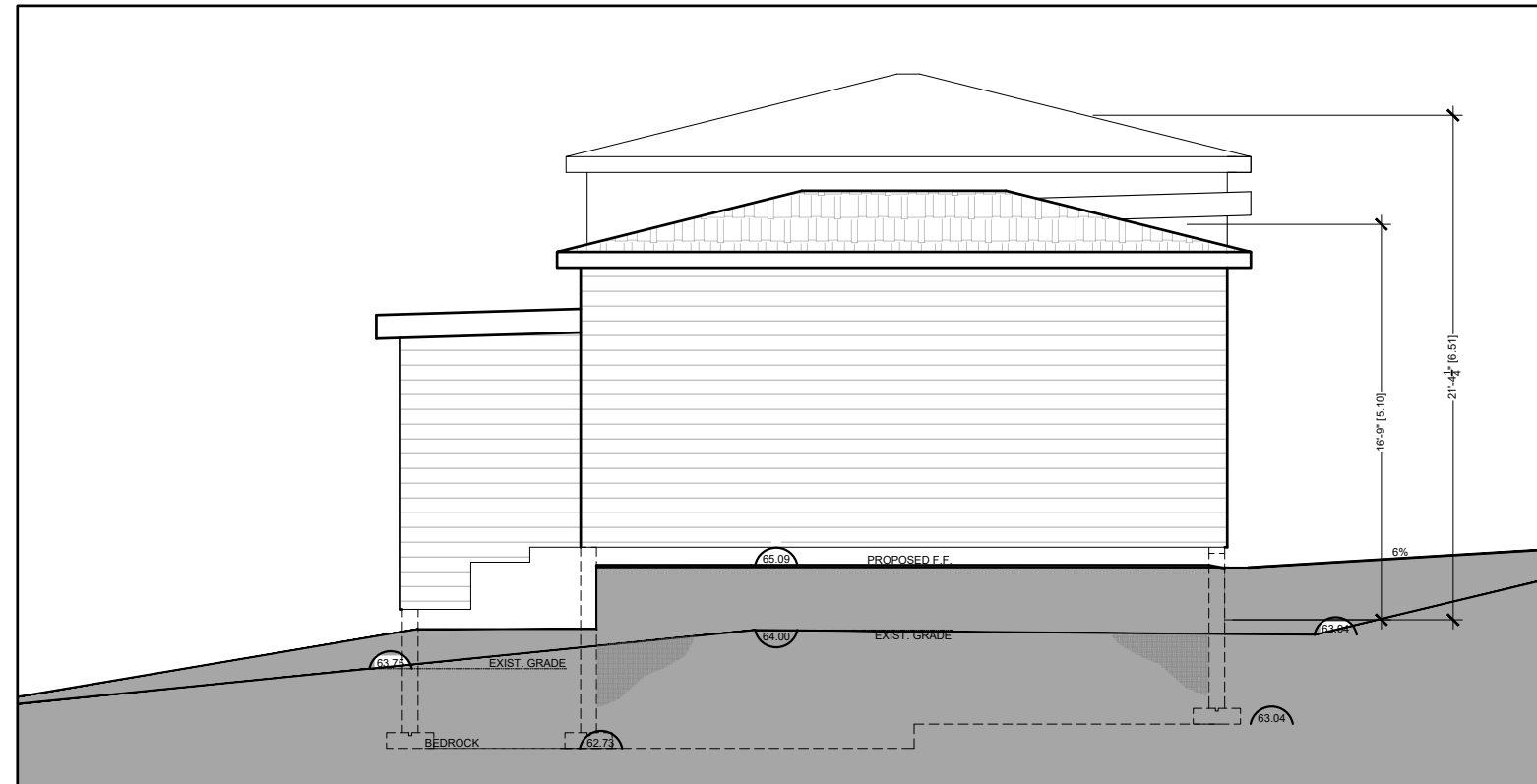
SURVEYOR  
FARLEY SMITH & DENIS SURVEYING LTD.  
30 Colonnade Rd,  
Nepean, ON K2E 7J6  
613.727.8226  
info@fstdsurveys.ca

Architect:



26 STACEY DRIVE, Burnstown, Ontario, K0J 1G0

613.869.7174  
kesslerarchitect.com  
zuzana@kesslerarchitect.com



**01 WEST ELEVATION**  
A-202 1/8"=1'-0"



**02 EAST ELEVATION**  
A-202 1/8"=1'-0"

05		
04		
03	ISSUED FOR CoFA - MINOR VARIANCE	12/17/2025
02	ISSUED FOR REVIEW	08/27/2025
01	ISSUED FOR REVIEW	06/06/2025
#	REVISION	DATE

- NOTE:
- DO NOT SCALE DRAWINGS.
  - All dimensions are to be checked onsite. ALL errors and omissions and discrepancies or ambiguities on the drawings, specifications and any other contract documents, must be forwarded in writing to the Architect within two (2) days, upon discovery and prior to work on site or ordering materials.
  - All work must comply with Ontario Building Code.
  - All dimensions include thickness of gypsum board on stud walls.
  - Drawings to be read in conjunction with structural drawings.

Drawing Title:

ELEVATIONS

Reviewed By:

Project Start Date:  
FEBRUARY, 2025

Scale:  
AS INDICATED

Drawn By:  
ZK

Job No.:  
2501

Sheet No.:

**A-202**

OF ##

# NEW DETACHED DWELLING

330 Old Quarry Road,  
Ottawa, ON K0A 3M0

Client:

Brian & Maureen O'Higgins  
27 Palisade Street,  
Ottawa, ON K2G 5M6  
b.ohiggins@icloud.com  
maureen.ohiggins@icloud.com  
613.xxx.xxxx

Consultants:

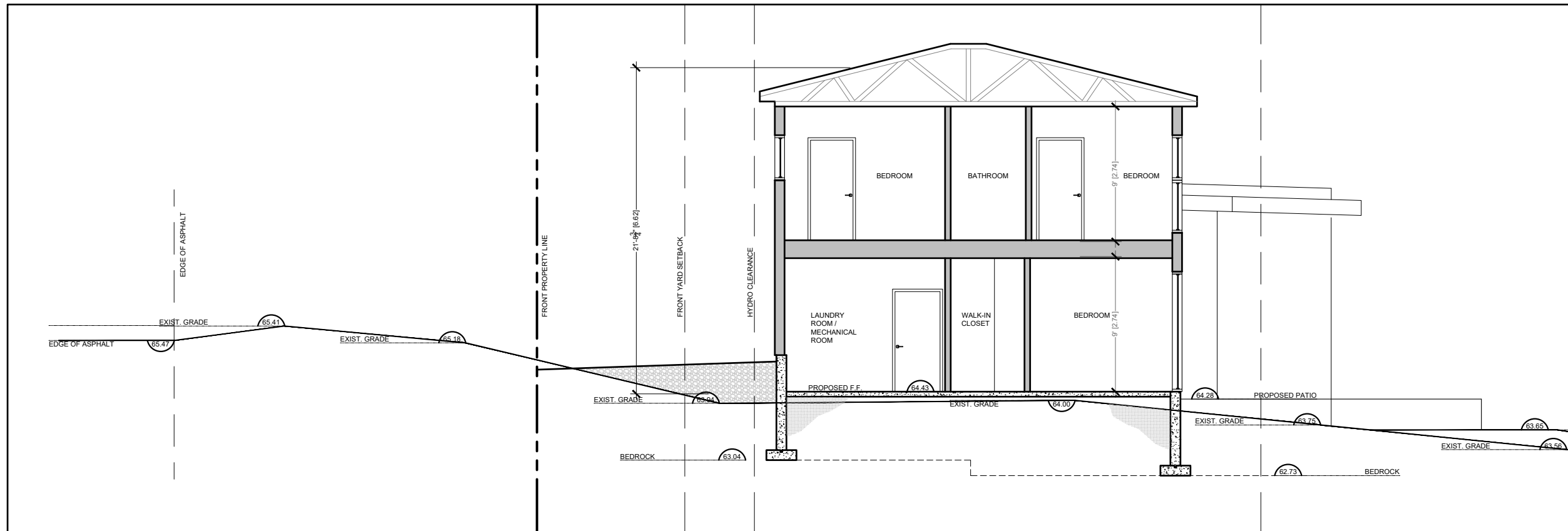
SURVEYOR  
FARLEY SMITH & DENIS SURVEYING LTD.  
30 Colonnade Rd,  
Nepean, ON K2E 7J6  
613.727.8226  
info@fstdsurveys.ca

Architect:

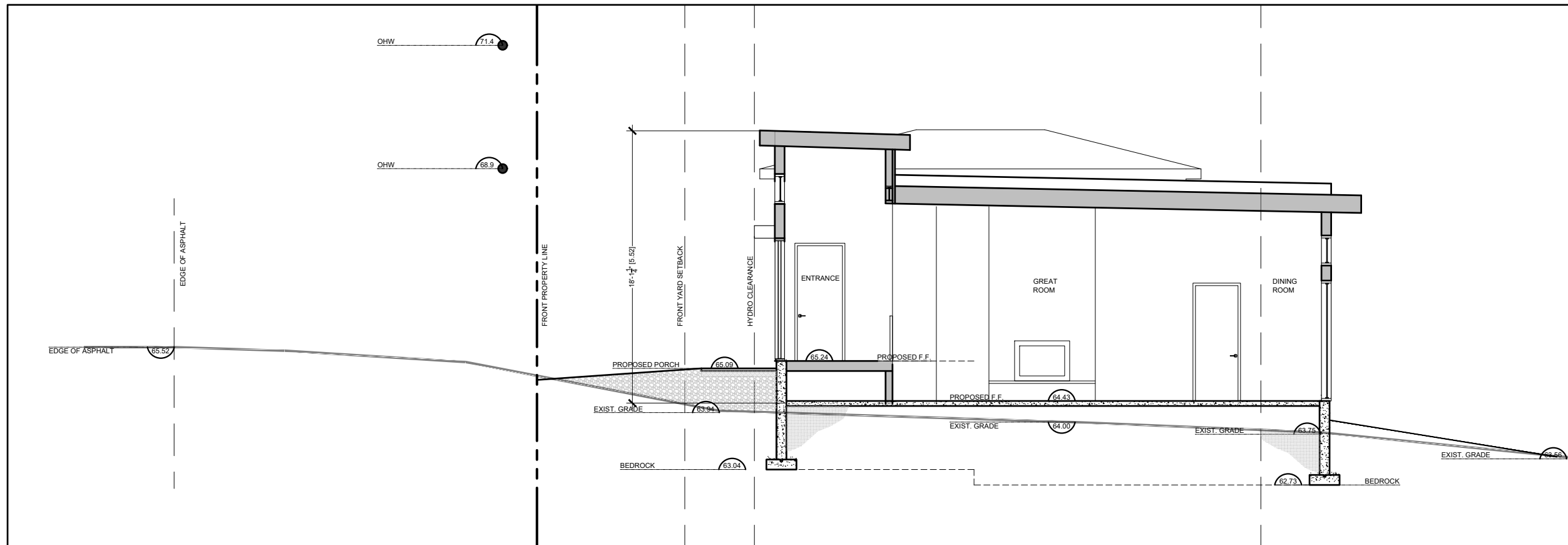


26 STACEY DRIVE, Burnstown, Ontario, K0J 1G0

613.869.7174  
kesslerarchitect.com  
zuzana@kesslerarchitect.com



**A** SECTION A-A  
A-301 1/8"=1'-0"



**B** SECTION B-B  
A-301 1/8"=1'-0"

05		
04		
03	ISSUED FOR CoFA - MINOR VARIANCE	12/17/2025
02	ISSUED FOR REVIEW	08/27/2025
01	ISSUED FOR REVIEW	06/06/2025
#	REVISION	DATE

**NOTE:**

- DO NOT SCALE DRAWINGS.
- All dimensions are to be checked onsite. ALL errors and omissions and discrepancies or ambiguities on the drawings, specifications and any other contract documents, must be forwarded in writing to the Architect within two (2) days, upon discovery and prior to work on site or ordering materials.
- All work must comply with Ontario Building Code.
- All dimensions include thickness of gypsum board on stud walls.
- Drawings to be read in conjunction with structural drawings.

Drawing Title:

SECTIONS

Reviewed By:

Project Start Date:  
FEBRUARY, 2025

Scale:  
AS INDICATED

Drawn By:  
ZK

Job No.:  
2501

Sheet No.:

**A-301**

OF ##

# NEW DETACHED DWELLING

330 Old Quarry Road,  
Ottawa, ON K0A 3M0

Client:

Brian & Maureen O'Higgins  
27 Palisade Street,  
Ottawa, ON K2G 5M6  
b.ohiggins@icloud.com  
maureen.ohiggins@icloud.com  
613.xxx.xxxx

Consultants:

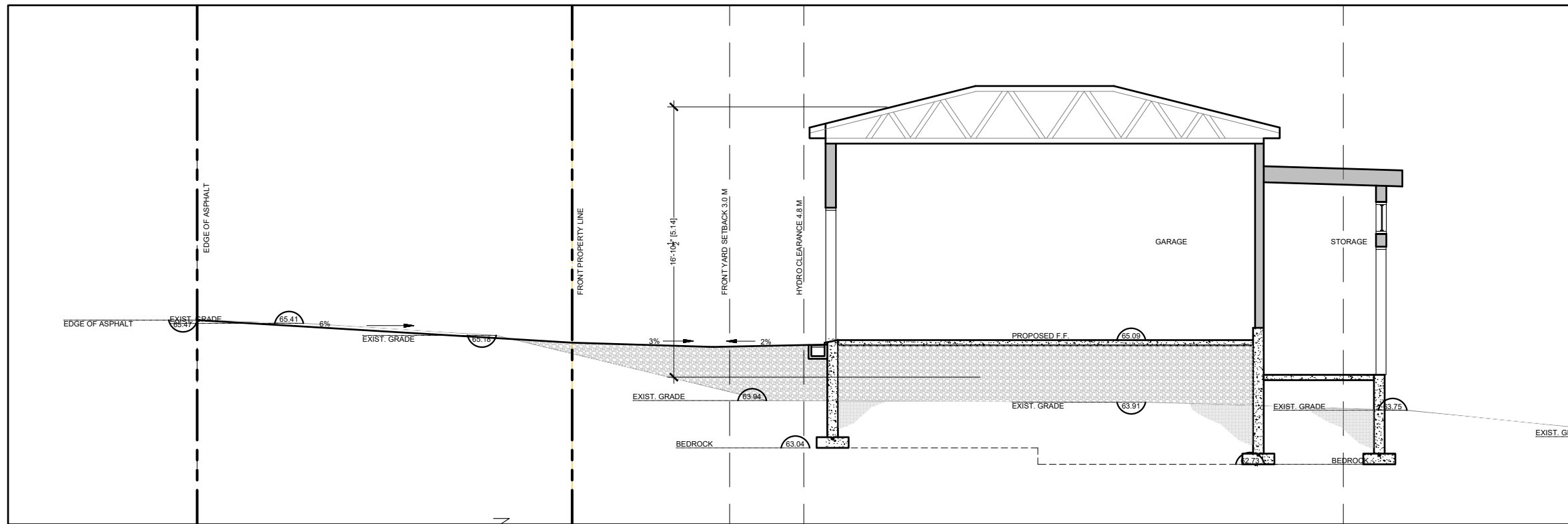
SURVEYOR  
FARLEY SMITH & DENIS SURVEYING LTD.  
30 Colonnade Rd,  
Nepean, ON K2E 7J6  
613.727.8226  
info@fstdsurveys.ca

Architect:

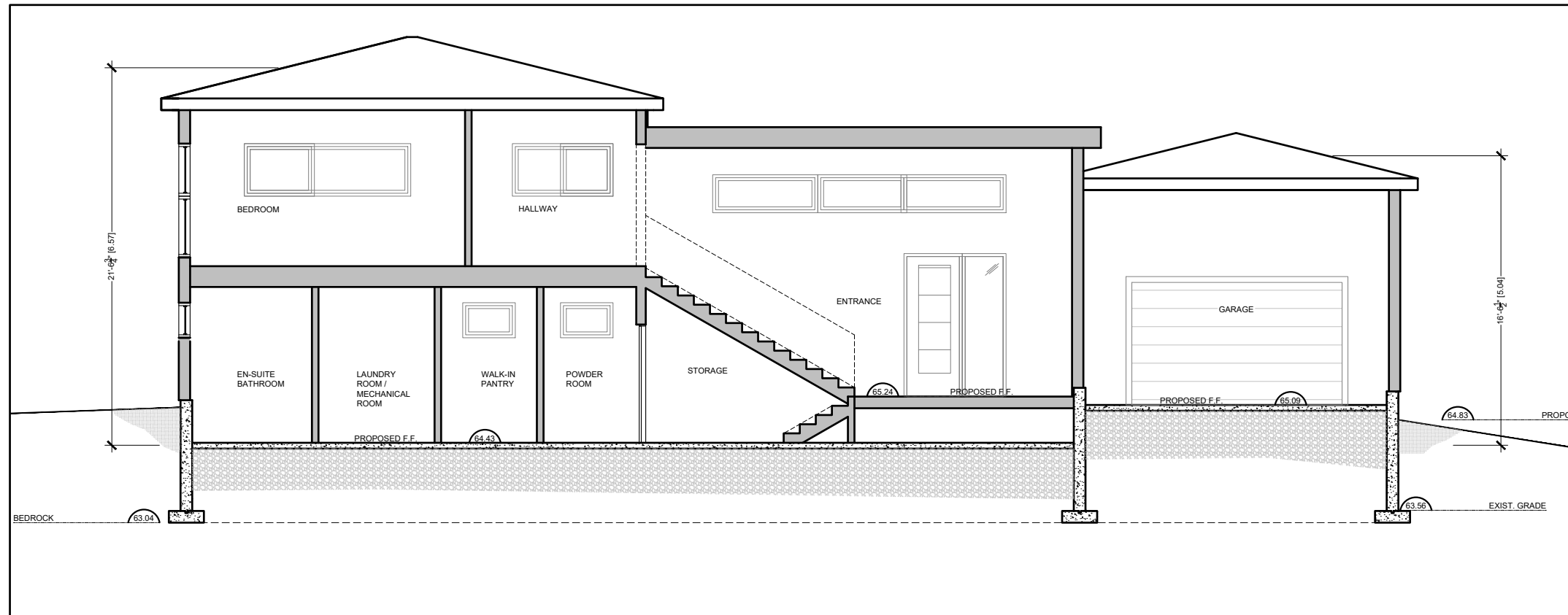


26 STACEY DRIVE, Burnstown, Ontario, K0J 1G0

613.869.7174  
keslerarchitect.com  
zuzana@keslerarchitect.com



**C** SECTION C-C  
A-302 1/8"=1'-0"



**D** SECTION D-D  
A-302 1/8"=1'-0"

05		
04		
03	ISSUED FOR CoFA - MINOR VARIANCE	12/17/2025
02	ISSUED FOR REVIEW	08/27/2025
01	ISSUED FOR REVIEW	06/06/2025
#	REVISION	DATE

- NOTE:
- DO NOT SCALE DRAWINGS.
  - All dimensions are to be checked onsite. ALL errors and omissions and discrepancies or ambiguities on the drawings, specifications and any other contract documents, must be forwarded in writing to the Architect within two (2) days, upon discovery and prior to work on site or ordering materials.
  - All work must comply with Ontario Building Code.
  - All dimensions include thickness of gypsum board on stud walls.
  - Drawings to be read in conjunction with structural drawings.

Drawing Title:

SECTIONS

Reviewed By:

Project Start Date:  
FEBRUARY, 2025

Scale:  
AS INDICATED

Drawn By:  
ZK

Job No.:  
2501

Sheet No.:

**A-302**

OF ##



# NEW DETACHED DWELLING

330 Old Quarry Road,  
Ottawa, ON K0A 3M0

Client:

Brian & Maureen O'Higgins  
27 Palisade Street,  
Ottawa, ON K2G 5M6  
b.ohiggins@icloud.com  
maureen.ohiggins@icloud.com  
613.xxx.xxxx

Consultants:

SURVEYOR  
FARLEY SMITH & DENIS SURVEYING LTD.  
30 Colonnade Rd,  
Nepean, ON K2E 7J6  
613.727.8226  
info@fstdsurveys.ca

Architect:



26 STACEY DRIVE, Burnstown, Ontario, K0J 1G0  
613.869.7174  
kesslerarchitect.com  
zuzana@kesslerarchitect.com

05		
04		
03	ISSUED FOR CoFA - MINOR VARIANCE	12/17/2025
02	ISSUED FOR REVIEW	08/27/2025
01	ISSUED FOR REVIEW	06/06/2025
#	REVISION	DATE

NOTE:

- DO NOT SCALE DRAWINGS.
- All dimensions are to be checked onsite. ALL errors and omissions and discrepancies or ambiguities on the drawings, specifications and any other contract documents, must be forwarded in writing to the Architect within two (2) days, upon discovery and prior to work on site or ordering materials.
- All work must comply with Ontario Building Code.
- All dimensions include thickness of gypsum board on stud walls.
- Drawings to be read in conjunction with structural drawings.

Drawing Title:

3D VIEWS  
CONTEXT RENDERING

Reviewed By:

Project Start Date:  
FEBRUARY, 2025

Scale:  
AS INDICATED

Drawn By:  
ZK

Job No.:  
2501

Sheet No.:

**A-901**

OF ##

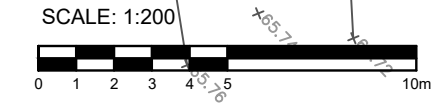
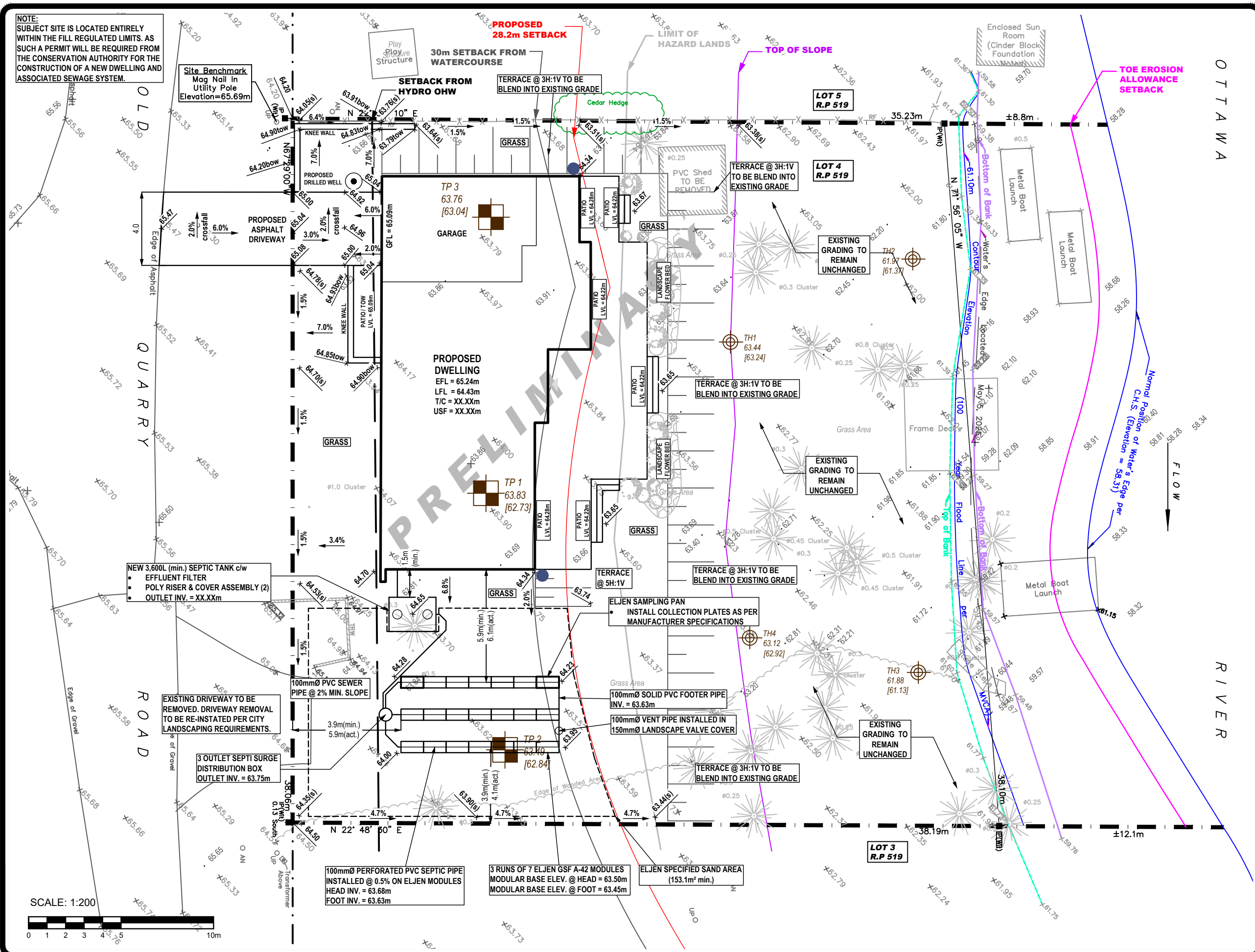


01 VIEW FROM OLD QUARRY  
A-901 N.T.S.

02 WATER-SIDE PERSPECTIVE  
A-901 N.T.S.

**NOTE:**  
SUBJECT SITE IS LOCATED ENTIRELY WITHIN THE FILL REGULATED LIMITS, AS SUCH A PERMIT WILL BE REQUIRED FROM THE CONSERVATION AUTHORITY FOR THE CONSTRUCTION OF A NEW DWELLING AND ASSOCIATED SEWAGE SYSTEM.

Site Benchmark  
Mag Nail In  
Utility Pole  
Elevation=65.69m



**LEGEND:**

- Test Hole Location
- x 99.76 Existing Ground Surface Elev. (m)
- x 100.60 Proposed Ground Surface Elev. (m)
- 99.80 Proposed Subgrade Elev. (m)
- Inferred Bedrock Elev. (m)
- EFL Entrance Floor Level
- LFL Lower Floor Level
- T/C Top of Foundation Wall
- GFL Garage Floor Level
- USF Underside of Footing
- Surficial Flow Direction
- Final Grading: 2% Min., 7% Max. or Terrace Grade 3H:1V Max.
- Existing Structure
- Proposed Structure
- Existing Tree
- Proposed Downspout Location

All units are in meters unless otherwise specified.

**BENCHMARK INFORMATION:**  
TBM: Top of Nail in Utility Pole at Southwest corner of subject property (Refer to Plan)  
Assumed Elevation = 65.69m

**REFERENCE:**  
Base Plan and Topographic Information obtained from Topographic plan of survey of Lot 4 R.P. 519, City of Ottawa, prepared by Farley Smith and Denis Surveying Ltd. dated May 8, 2025

DD/MM/YY	DESCRIPTION	REV.
17/12/25	Issued for Committee of Adjustment Review	prelim.3
16/10/25	Issued for Client Review	prelim.2
15/08/25	Issued for Client Review	prelim.

Consultant:

9 AURIGA DRIVE  
OTTAWA, ON  
K2E 7S9  
TEL: (613) 226-7381

Client:  
**BRIAN AND MAUREN HIGGINS**

Project:  
**PROPOSED SINGLE DETACHED DWELLING**  
330 OLD QUARRY ROAD  
OTTAWA (WOODLAWN), ONTARIO

Drawing:  
**PRELIMINARY SEWAGE SYSTEM LAYOUT & GRADING PLAN**

Scale: 1:200  
Drawn by: HV

Date: 12/2025  
Checked by: HV

Drawing No.:  
**PH5094-1(prelim.3)**

p:\autocad drawings\hydrogeology\ph5094\ph5094-1 - brian and maureen higgins - 330 old quarry road, woodlawn\ph5094-1 (prelim.3).dwg