

2026-01-29

City of Ottawa | Ville d'Ottawa

Comité de dérogation



**MINOR VARIANCE APPLICATION  
COMMENTS TO THE COMMITTEE OF ADJUSTMENT  
PANEL 3**

**PLANNING, DEVELOPMENT AND BUILDING SERVICES DEPARTMENT**

Site Address: 330 Old Quarry Road  
Legal Description: Lot 4, Registered Plan 519  
File No.: D08-02-25/A-00273  
Report Date: January 29, 2026  
Hearing Date: February 03, 2026  
Planner: Wendy Yang  
Official Plan Designation: Rural Transect, Rural Countryside Designation  
Zoning: RR15 [343r], Floodplain Overlay

**DEPARTMENT COMMENTS**

The Planning, Development and Building Services Department **has no concerns with** the application.

**DISCUSSION AND RATIONALE**

Staff have reviewed the subject minor variance application against the “four tests” as outlined in Section 45 (1) of the *Planning Act*, R.S.O. 1990 c. P.13, as amended. Staff are satisfied that the requested minor variance(s) meet(s) the “four tests”.

**ADDITIONAL COMMENTS**

**Infrastructure Engineering**

- The Planning, Development and Building Services Department will do a complete review of grading and servicing during the building permit process.
- At the time of building permit application, a grading/servicing plan prepared by a Professional Engineer, Ontario Land surveyor or a Certified Engineering Technologist will be required.
- The Planning, Development and Building Services Department requires proof that the Rideau Valley Conservative Authorities have granted their approval due to development being located within the regulatory limit.

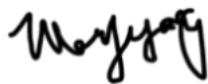
**Planning Forestry**

- Through pre-consultation, it was confirmed that there are no tree-related impacts associated with the requested variance.

- Trees within the municipal right-of-way are protected under the Tree Protection by-law and require an approved Tree Removal Permit prior to their removal.

### Right of Way Management

- The Right-of-Way Management Department has no concerns with the proposed Minor Variance Application. The owner shall be made aware however, that a private approach permit is required to construct any new entrance, as well as to modify or close an existing entrance that becomes redundant. If the lots are developed in the future, a Private Approach Permit is required for the newly severed lot. If the new lot requires access to the property before they are developed, we can offer a Temporary Private Approach permit which can be formalized into a permanent Private Approach permit at a later date once their Building Permit has been issued. The owner must contact the ROW Department for further information at [rowadmin@ottawa.ca](mailto:rowadmin@ottawa.ca).



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Planner I, Development Review All Wards  
Planning, Development and Building  
Services Department



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Erin O'Connell  
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Planning, Development and Building  
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