

Committee of Adjustment
Received | Reçu le
2026-01-13
City of Ottawa | Ville d'Ottawa
Comité de dérogation



DESIGNER
The undersigned has reviewed and takes responsibility for design activities as described in Ontario Building Code 1.4.1.2 and has the qualifications and meets the requirements set out in the Ontario Building Code

DESIGNER
Stephen Ardington, BCIN # 35954

GENERAL NOTES
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THIS DRAWING IS NOT FOR CONSTRUCTION UNTIL A BUILDING PERMIT IS GRANTED. REFER TO PAGE A0 FOR GENERAL NOTES

DRAWING NOTES

NO.	DESCRIPTION	DATE
06	ISSUED FOR MINOR VARIANCE	28 OCT 2025
05	ISSUED FOR SEPTIC DESIGN	30 SEPT 2025
04	ISSUED FOR PRE-CONSULTATION	25 AUG 2025
03	DESIGN 3	21 AUG 2025
02	DESIGN 2	12 AUG 2025
01	DESIGN 1	3 JULY 2025

STRUCTURAL ENGINEER

BUILDER

PROJECT
MILNE RESIDENCE

1088 BOUCHER CRESCENT
OTTAWA ONTARIO CANADA
PROJECT NO.: [2025-06]

DRAWING

FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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BUILDER

PROJECT

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1088 BOUCHER CRESCENT
OTTAWA ONTARIO CANADA
PROJECT NO.: 2025-06

DRAWING

REAR ELEVATION
SCALE: 1/4" = 1'-0"

A8

DRAWN BY: SA | CHECKED BY: SA



DESIGN FIRM

ARDINGTON

+ ASSOCIATES DESIGN

ARDINGTON AND ASSOCIATES DESIGN INC.
43 ECCLES STREET UNIT C1 OTTAWA, ONTARIO
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OTTAWA ONTARIO CANADA

PROJECT NO. [2025-06]

DRAWING

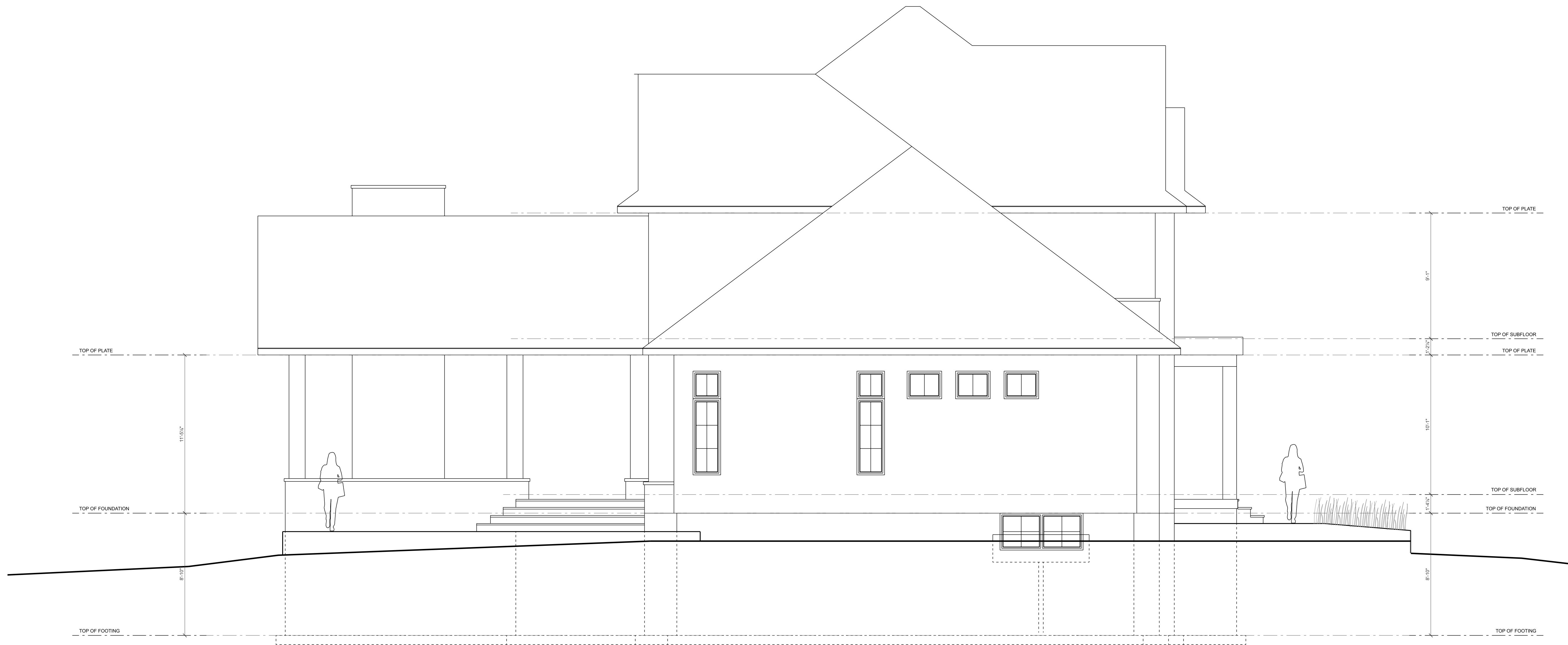
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

A9

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PROJECT NO. [2025-06]

DRAWING
LEFT ELEVATION
SCALE: 1/4" = 1'-0"

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OTTAWA ONTARIO CANADA
PROJECT NO.: [2025-06]

DRAWING

FRONT ELEVATION
SCALE: 1/4" = 1'-0"

A7



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OTTAWA ONTARIO CANADA
PROJECT NO.: 2025-06

DRAWING

REAR ELEVATION
SCALE: 1/4" = 1'-0"

A8

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1088 BOUCHER CRESCENT
OTTAWA ONTARIO CANADA

PROJECT NO.: [2025-06]

DRAWING

RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

A9

DRAWN BY: SA | CHECKED BY: SA



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BUILDER

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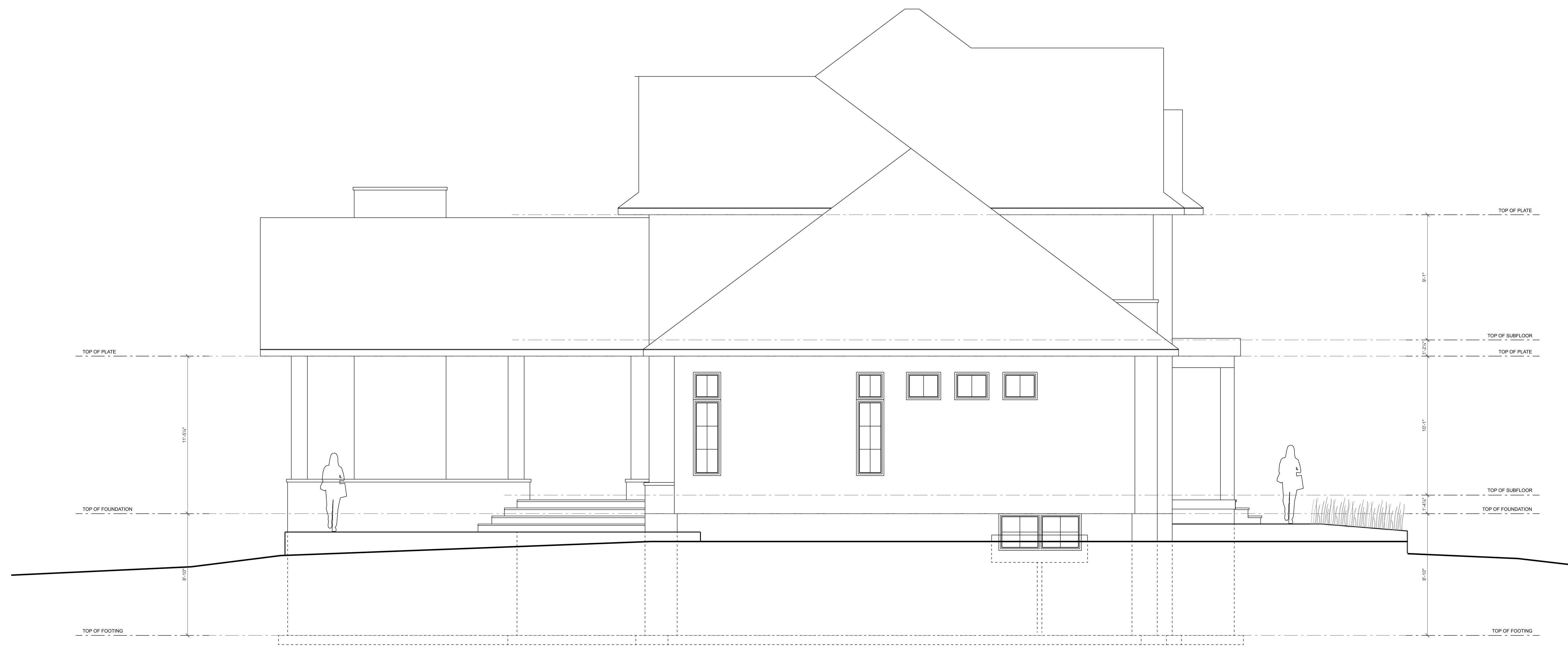
1088 BOUCHER CRESCENT
OTTAWA ONTARIO CANADA
PROJECT NO. [2025-06]

DRAWING

LEFT ELEVATION
SCALE: 1/4" = 1'-0"

A10

DRAWN BY: SA | CHECKED BY: SA



RIDEAU RIVER

1:100 YEAR FLOOD ELEVATION = 86.44 METRES

ARDINGTON TON

+ ASSOCIATES
DESIGN

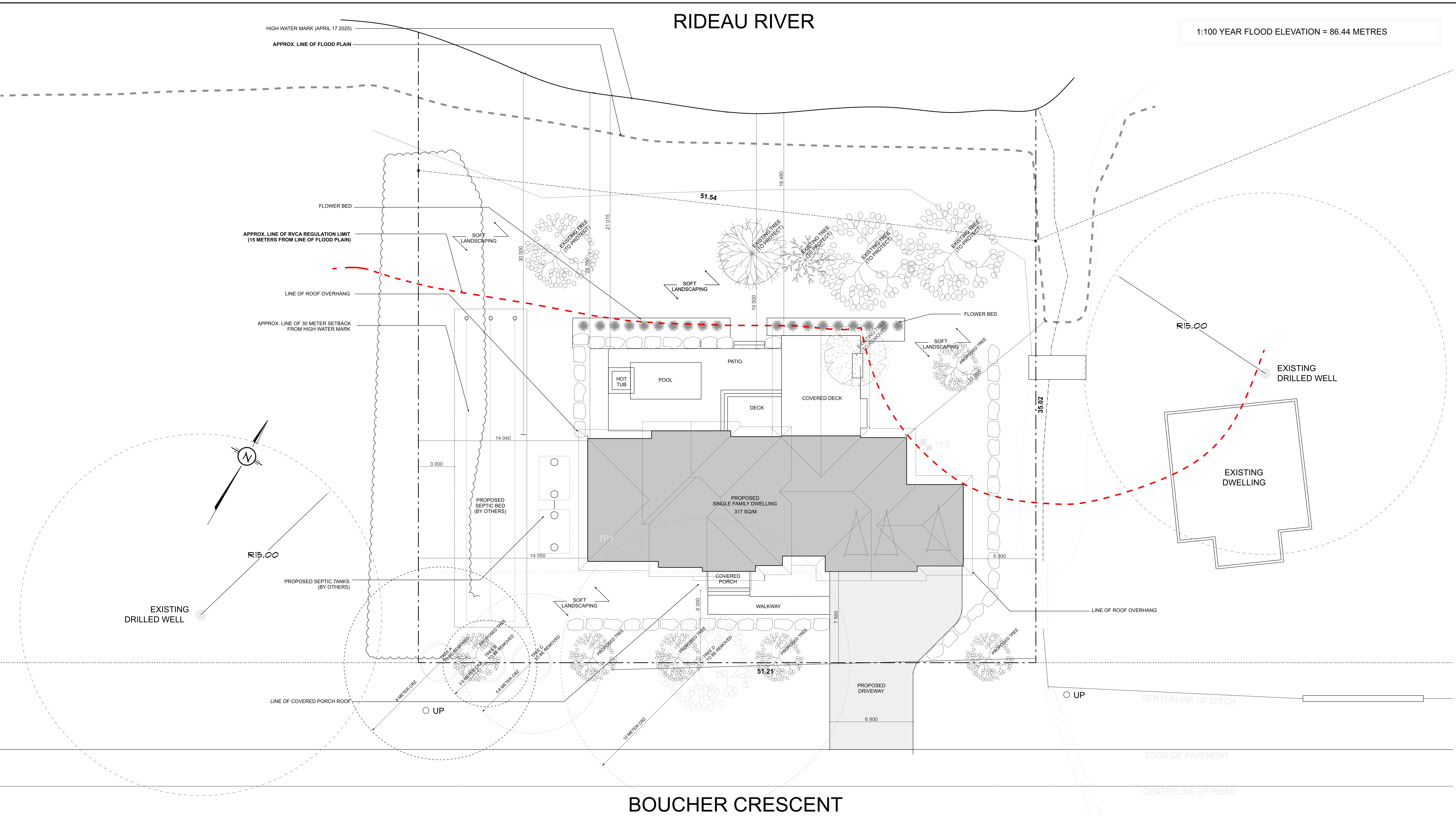
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DRAWING NOTES



Tree	Species	Location	Ownership	CRZ (m)	DBH (cm)	DE (m)	Tree Condition	Retain/ Remove	Arborist's opinion if removal
A	Spruce	Front left corner of property	Shared with City	8	80	1.6	Good	Remove	The tree is too close to excavation, the tree's health and structure will be severely impacted.
B	Spruce	Front left corner of property	Shared with City	3.6	36	1.7	Fair	Remove	The tree is too close to excavation, the tree's health and structure will be severely impacted.
C	Spruce	Front left corner of property	Shared with City	5.8	58	1.7	Good	Remove	The tree is too close to excavation, the tree's health and structure will be severely impacted.
D	Red Oak	Front centre yard	Shared with City	12	122	4.6	Good	Remove	Multi stem structure, at minimum the large 45cm lower limb to be removed. Expect high stress from excavation, raise in grade and pruning.

Provincial Regulations
As the arborist, we are responsible to abide by all Provincial Regulations such as the Endangered Species Act which mandates that tree species on the Species at Risk in Ontario list be identified. Butternut (*Juglans cinerea*) is found in Eastern Ontario and is listed as threatened. Due to it being on the list, it must be protected from harm.
No protected species were identified on this or adjacent properties.

Impact of Development:
Trees A-D are recommended to be removed as the development will have a major impact on them that could cause them to be unstable or die. Tree A excavation is proposed to be within the static root zone which could cause the tree to die and/or become unstable. Tree B excavation is proposed to be within the static root zone which could cause the tree to die and/or become unstable. The tree is currently being shaded out by neighbouring trees, so its health is already classified as fair. Tree C excavation is proposed to be within the static root zone which could cause the tree to die and/or become unstable. Tree D excavation will be within the critical root zone. The construction plan notes that the grade will be raised by 2 feet at a distance of 34 inches away from the tree. The tree also requires a large stem to be removed. These 3 things combined will severely impact the tree's health and stability.

Tree Protection Measures:
The Tree Protection By-law requires that anyone working near protected trees must adhere to the following unless otherwise authorized by the City:

- Erect a 1.2m high fence around the outer edge of the critical root zone (CRZ) of trees prior to beginning other site work, and maintain the fence until the work is complete
- Not place any material or equipment within the CRZ of the tree
- Not raise or lower the existing grade within the CRZ of a tree
- Not extend any hard surface or significantly change landscaping within the CRZ of a tree
- Not attach any signs, notices or posters to any tree, except as required by this by-law for trees to be removed
- Not damage the root system, trunk or branches of any tree
- Ensure that exhaust fumes from equipment are not directed toward any tree's canopy

 It is an offence under the Tree Protection By-law to fail to adequately protect a tree that has not been approved for removal.

Pre-Construction Measures:
To retain any tree where excavation falls within the critical root zone, the best practice would be to use hydro excavation to expose any roots along the area where the excavation will be dug and then cut any roots visible with a pair of sterilized snips or a sharp saw before continuing to excavate. Where digging encounters roots, we suggest that cutting the roots is the preferred method to tearing roots by equipment. Limit construction equipment from the area as much as possible to prevent extra root compaction. If travel over the root zone is required a buffer of woodchips spread thick enough to stabilize a 15cm sheet of plywood should be applied.

EXISTING ZONING BY LAW RR10	Requirement	Provided	Section
Minimum Lot Width	30 m	51.21 m	Section 226, Table 226B
Minimum Lot Area	1,350 m ²	2,205.29 m ²	Section 226, Table 226B
Max Building Height	11 m	9.57 m	Section 226, Table 226B
Minimum Front Yard Setback	7.5 m	7.56 m	Section 226, Table 226B
Minimum Rear Yard Setback	7.5 m	26.37 m	Section 226, Table 226B
Minimum Interior Yard Setback	3 m	14.04 m & 6.02 m	Section 226, Table 226B
Maximum Lot Coverage	15%	14.4%	Section 226, Table 226B
Setback from a Watercourse	No, building or structure, including any part of a sewage system, which does not require plan of subdivision, or site plan control approval, shall be located closer than: (a) 30 m to the normal high-water mark of any watercourse or waterbody; or (b) 15 m to the top of the bank of any watercourse or waterbody, whichever is the greater.	To permit a building and structure and sewage system within 30 m to the normal high-water mark of any watercourse or waterbody	Section 69(2)

ZONING TABLE

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CIVIL ENGINEER

BUILDER

PROJECT MILNE RESIDENCE

1088 BOUCHER CRESCENT
OTTAWA ONTARIO CANADA
PROJECT NO. 2025-08

ARCHITECTURAL SITE PLAN
SCALE = 1:150

A1

DRAWN BY: SA | CHECKED BY: SA



