

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.999944.

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations on reference points A and B, shown hereon, having a bearing of N31°52'50"W and are referenced to Specified Control Points 01919680105 and 019198434761, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

For bearing comparisons, a rotation of 0°45'40" counter-clockwise was applied to bearings on P1.

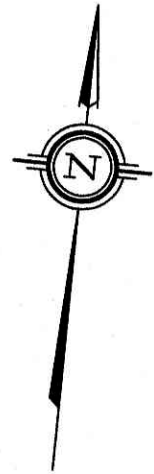
Coordinates are derived from Can-Net 2016 Real Time Network GPS observations referenced to Specified Control Points 01919680105 and 01918434761, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Coordinate values are to urban accuracy in accordance with O. Reg. 216/10.

01919680105	Northing	5024915.16	Easting	373971.65
019198434761	Northing	5036178.12	Easting	372436.11
Point A	Northing	5033828.07	Easting	370788.00
Point B	Northing	5033800.64	Easting	370805.06

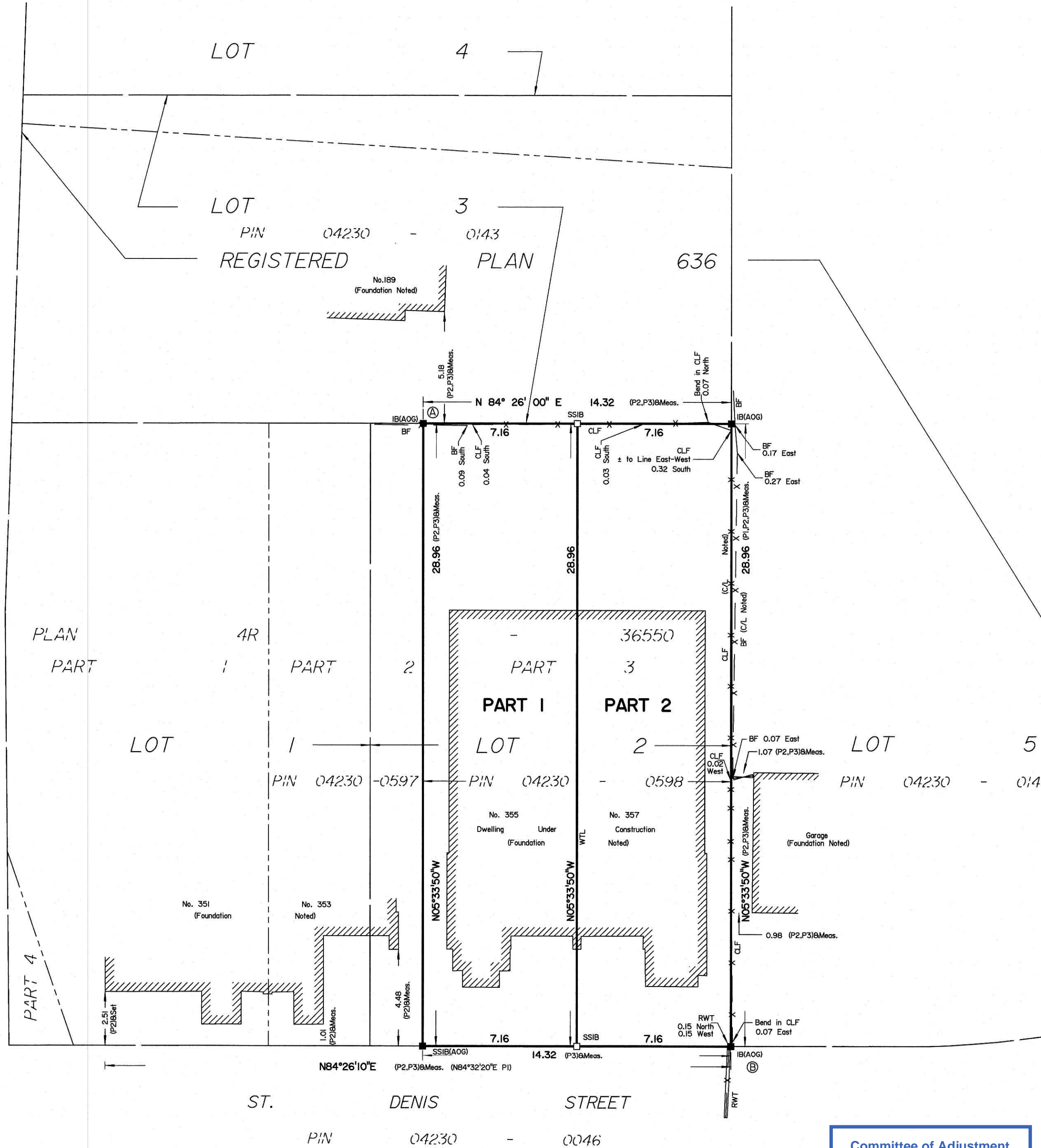
Caution: Coordinates cannot, in themselves, be used to re-establish corners or boundaries shown on this plan.

SCHEDULE				
AREA (Sq.m)	PART	LOT	PLAN	PIN
207.3	1	PART OF 2	636	ALL OF 04230-0598
207.3	2	PART OF 2		



STREET

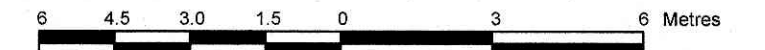
GRANVILLE



PLAN OF SURVEY OF  
PART OF LOT 2  
REGISTERED PLAN 636  
CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Scale 1 : 150



The intended plot size of the plan is 610 mm in width by 457 mm in height when plotted at a scale of 1:150.

Metric

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

Surveyor's Certificate

I CERTIFY THAT:

- This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
- The survey was completed on the 27th day of October, 2025.

Date T. Hartwick  
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-117307

Notes & Legend

□	Denotes	Survey Monument Planted
■	"	Survey Monument Found
SIB	"	Standard Iron Bar
SSIB	"	Short Standard Iron Bar
IB	"	Iron Bar
IBØ	"	Round Iron Bar
(AOG)	"	Annis, O'Sullivan, Vollebakk Ltd.
Meas.	"	Measured
WTL	"	Centreline of Wall ± to Line
(P1)	"	Registered Plan 636
(P2)	"	(AOG) Plan dated June 3, 2024
(P3)	"	Plan 4R-36550
RWT	"	Wood Retaining Wall
CLF	"	Chain Link Fence
BF	"	Board Fence
⌘	"	Gate
C/L	"	Centreline

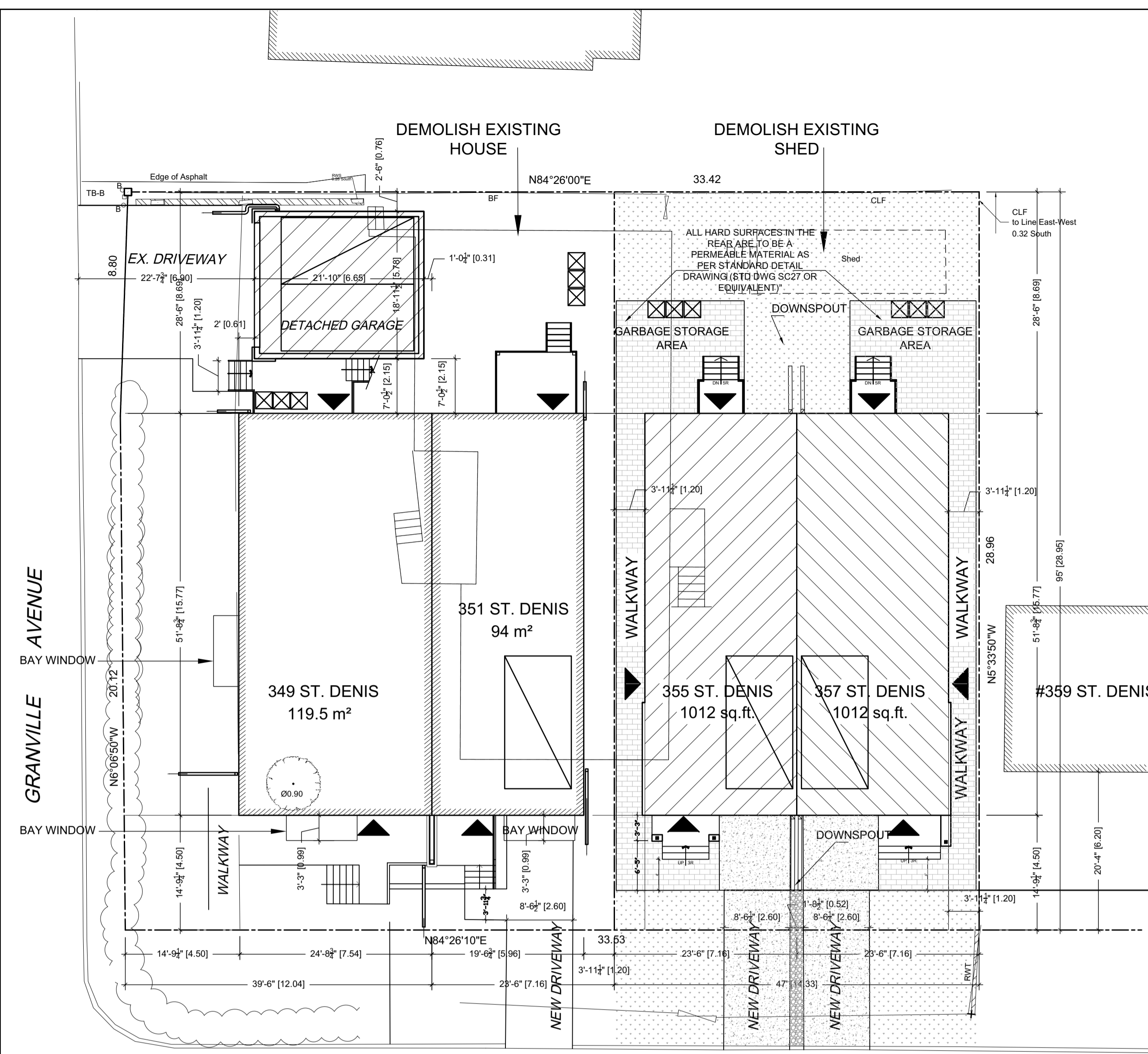
Committee of Adjustment  
Received | Reçu le  
2025-12-24

City of Ottawa | Ville d'Ottawa  
Comité de dérogation

This document is presented in the language it was provided.  
Ce document est présenté dans la langue dans laquelle il a été fourni.

**ANNIS, O'SULLIVAN, VOLLEBEKK LTD.**  
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Nepean, Ont. K2E 7S6  
Phone: (613) 727-0850 / Fax: (613) 727-1079  
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Ontario Land Surveyors (Job No. 24794-24 Taventil Inc. Lt. 2, RP. 636 R.F.)



1 Site Plan  
A1 3/32"=1'-0"

ST. DENIS STREET  
Driveways cannot exceed 2.6m in width as per Zoning By-law Section 139 Table 139(3)(ii)

City of Ottawa  
Building Code Services  
December 20, 2024  
Zoning Reviewed  
Alex Birtwistle  
Reviewed Name

ZONING INFORMATION:		R4-UA
PRINCIPAL DWELLING TYPE:		SEMI-DETACHED
	REQUIRED	PROVIDED
MINIMUM LOT WIDTH	6m	7.16m
MINIMUM LOT AREA	180m² (per semi)	207.4m²
MAXIMUM BUILDING HEIGHT	10m	8.2m
MINIMUM FRONT YARD SETBACK	4.5m	4.5m
MINIMUM CORNER SIDE YARD SETBACK	4.5m	n/a
MINIMUM REAR YARD SETBACK	25% OF LOT AREA WITHIN 30% OF LOT DEPTH	8.69m
MIN. SIDE YARD SETBACK	1.2m	1.2m

**LEGEND:**

- ENTRANCE
- PROPERTY LINE
- SETBACK LINE
- REMOVE EXISTING HOUSE
- NEW BUILDING
- LANDSCAPE AREA
- INTERLOCKING WALKWAY

**SURVEYOR'S REAL PROPERTY REPORT**  
**LOTS 1 AND 2**  
**REGISTERED PLAN 636**  
**CITY OF OTTAWA**  
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

**GENERAL NOTE:**

- THE INFORMATION PRESENTED HERE HAVE BEEN DESIGNED IN ACCORDANCE WITH PART 9 OF THE ONTARIO BUILDING CODE 2012. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PART 9 OF THE ONTARIO BUILDING CODE 2012.
- PROVIDE FULL BEARING, SOLID BLOCKING UNDERNEATH ALL POINT LOAD FROM ABOVE TO THE STRUCTURAL SUPPORT BELOW.
- PROVIDE ADEQUATE LATERAL RESTRAINT AGAINST BUCKLING/WARPING AT THE COMPRESSION EDGE OF ALL DROP BEAMS AND LINTEL AS INDICATED ON PART 9 OF OBC2012.
- ALL DIMENSIONS AND DETAILS GIVEN ON STRUCTURAL DRAWINGS MUST BE CHECKED ON SITE AND WITH OTHER DISCIPLINES INVOLVED; ANY INCONSISTENCY MUST BE REPORTED TO THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH THE WORK.
- CONTRACTORS BIDDING ON OR UNDERTAKING THE WORKS SHOULD EXAMINE THE FACTUAL RESULTS OF THESE DRAWINGS, SATISFY THEMSELVES AS TO THE ADEQUACY OF THE INFORMATION FOR CONSTRUCTION, AND MAKE THEIR OWN INTERPRETATION OF THE FACTUAL DATA AS IT AFFECTS THEIR CONSTRUCTION TECHNIQUES, SCHEDULE, SAFETY AND EQUIPMENT CAPABILITIES.
- CONTRACTOR TO VERIFY EXISTING SERVICES AND SUPPORT AS REQUIRED. ALL CONSTRUCTION, SHORING, DETAILING, EXCAVATIONS, etc. MUST BE AS PER LATEST ONTARIO BUILDING CODE, OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR THE CONSTRUCTION OF PROJECTS. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL TEMPORARY WORKS AND ITS ASSOCIATED COST.
- WORK DONE BY SUB-CONTRACTORS WILL BE THE RESPONSIBILITY OF GENERAL CONTRACTOR.
- INSPECTIONS AND ACCEPTANCE OF PART 9 CONSTRUCTION SHALL BE MADE BY MUNICIPALITY'S QUALIFIED INSPECTOR TO VERIFY CONFORMANCE WITH PART 9 OF ONTARIO BUILDING CODE 2012. ANY REPAIRS WILL BE DONE AS DIRECTED AT THE COST OF THE OWNER.
- ALPHA STRUCTURAL WILL NOT BE LIABLE FOR ANY CONSTRUCTION THAT WAS NOT DESIGNED BY OR REVIEWED BY ALPHA STRUCTURAL.

**CODES AND STANDARDS**

- GOVERNING CODE: ONTARIO BUILDING CODE 2012
- WOOD FRAME CONSTRUCTION INCLUDING FRAMING, BRIDGING, NAILING ETC.) SHALL BE IN ACCORDANCE WITH PART 9 OF ONTARIO BUILDING CODE 2012.

**DESIGN LOADS**

ROOF: DEAD LOAD = 15 PSF LIVE LOAD = 37.1 PSF  
SECOND FLOOR: DEAD LOAD = 15 PSF LIVE LOAD = 40 PSF  
GROUND FLOOR: DEAD LOAD = 15 PSF LIVE LOAD = 40 PSF

STUD WALL: DEAD LOAD = 10 psf

MASONRY VENEER: DEAD LOAD = 40 psf

**GEOTECHNICAL CRITERIA**

ALL FOOTINGS TO BEAR ON UNDISTURBED NATIVE SOIL WITH SOIL BEARING CAPACITY OF 75 kPa (SLS) OR HIGHER.

- BEARING SURFACE TO BE REVIEWED BY GEOTECHNICAL ENGINEER PRIOR TO PLACING CONCRETE.
- PROVIDE THE MINIMUM FROST COVER FROM FINISHED GRADE TO UNDERSIDE OF FOOTING AS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
- CONSULT GEOTECHNICAL ENGINEER FOR INSULATION REQUIREMENTS WHERE COVER CANNOT BE ATTAINED.

**BACKFILLING**

- BACKFILL FOUNDATION WALLS SO THAT THE LEVEL OF BACKFILL AGAINST ONE SIDE IS NEVER GREATER THAN 1'-6" ABOVE THE LEVEL ON THE OTHER SIDE, UNLESS TEMPORARY BRACING IS PROVIDED.
- DO NOT PLACE BACKFILL AGAINST FOUNDATION WALL (EXCEPT CANTILEVER RETAINING WALLS) UNTIL FLOOR AT THE TOP AND BOTTOM OF FOUNDATION WALL IS PLACED AND REACHED THEIR DESIGN CAPACITY.
- BACKFILL TO WITHIN 8"[203] OF UNDERSIDE OF SLAB-ON-GRADE WITH GRANULAR 'B' TYPE 1 IN LAYERS UP TO 12"[305] THICK, COMPACTED TO MINIMUM 95% SPMD OR AS PER GEOTECHNICAL REPORT.
- FINAL 8"[203] UNDER SLAB TO BE GRANULAR 'A' COMPACTED TO MINIMUM 98% SPMD OR AS PER GEOTECHNICAL REPORT.
- RE-USE OF EXCAVATED GRANULAR MATERIAL IS SUBJECT TO APPROVAL OF GEOTECHNICAL CONSULTANT.
- BACKFILL AGAINST FOUNDATION WALL & AROUND CONCRETE PIER USING NON-FROST SUSCEPTIBLE SOILS.

**MATERIALS**

ALL MATERIALS SHALL BE NEW MATERIAL, FREE FROM DEFECTS IMPAIRING STRENGTH, DURABILITY AND/OR APPEARANCE.

A) CONCRETE STRENGTH AT 28 DAYS TO BE:  
- FTGS, FDN WALLS, UNDERPINNS:  $f_c = 20$  MPa (2,800 psi)  
- ICF WALL:  $f_c = 25$  MPa (3,600 psi) EXTERIOR GARAGE/S, O.G.:  $f_c = 32$  MPa (4,600 psi) w/ 5-8% AIR ENTRAINMENT.

B) REINFORCING STEEL TO BE DEFORMED TYPE  $F_y = 400$  MPa (58 ksi).

C) STRUCTURAL STEEL:  
- ALL STRUCTURAL STEEL SHALL BE GRADE G40-20/G40-21-04 350W, - ROLLED SECTIONS  $F_y = 345$  MPa FOR W SHAPES  $F_y = 300$  MPa FOR OTHER THAN W SHAPES  
- HSS (TUBE) SECTIONS CLASS C,  $F_y = 350$  MPa. ALL EXTERIOR STRUCTURAL STEEL TO BE HOT-DIPPED GALVANIZED.  
D) ALL EPOXY ADHESIVE TO BE HILTI - HIT-HY 150 MAX.  
E) ALL POST INSTALLED EXPANSION ANCHOR TO BE KWIK BOLT 3 (HDG OR STAINLESS STEEL FOR EXTERIOR USE)  
F) ALL WOOD CONNECTORS TO BE SUPPLIED BY & INSTALLED AS PER SIMPSON STRONG TIE SPECIFICATIONS.  
G) ALL WOOD TO BE SPF NO. 2 OR BETTER.  
H) ALL ENGINEERED WOOD TO BE 1.8E M.L. LVL MEMBERS (U.N.O.)

**WOOD BEAMS / LINTEL NOTES:**

- WOOD PLYS SHALL BE FASTENED TOGETHER WITH NAILS (PENETRATING ALL PLYS) IN A DOUBLE ROW, SPACED NOT MORE THAN 16"[406] APART IN EACH ROW.
- BEARING AT END SUPPORTS SHALL BE NOT LESS THAN 3"[76] FOR LINTELS SPAN AN OPENING GREATER THAN 9'-10"[3000] LONG.
- BEARING AT END SUPPORTS SHALL BE NOT LESS THAN 11/2"[38] FOR LINTELS SPAN AN OPENING LESS THAN 9'-10"[3000] LONG.
- ALL WOOD PLYS SHALL BE FASTENED TOGETHER AS PER CL. 9.23.8.3. BUILT-UP WOOD BEAMS OF OBC 2012

**WOOD POST NOTES:**

- WOOD PLYS SHALL BE FASTENED TOGETHER WITH NAILS (PENETRATING ALL PLYS) IN A DOUBLE ROW, SPACED NOT MORE THAN 12"[305] APART IN EACH ROW

**ANCHORAGE OF WOOD FRAMED BUILDINGS:**

- FOR CONVENTIONAL WOOD FRAMED BUILDINGS SILL PLATES SHALL BE ANCHORED TO FOUNDATION AS MENTIONED BELOW.
- ANCHOR SHALL BE PROVIDED BY FASTENING P.T. SILL PLATE TO THE FOUNDATION WITH NOT LESS THAN 1/2"[12.7] Ø ANCHOR J-BOLTS SPACED NOT MORE THAN 7'-10"[2400] O.C.
- ALL ANCHOR BOLTS FASTENERS SHALL BE ASTM A307 MATERIALS c/w STANDARD WASHER & NUT SHALL BE EMBEDDED NOT LESS THAN 4"[102] INTO THE TOP OF FOUNDATION WALL.
- PROVIDE ANCHOR BOLTS AT BOTH ENDS OF EACH FOUNDATION WALL SEGMENT, ANCHOR BOLTS TO BE LOCATED ON (WALL THICKNESS)/2 FROM THE INSIDE FACE OF THE PERPENDICULAR CONCRETE WALL.
- ALL ANCHOR BOLTS TO HAVE MIN. 4"[102] CONC. EDGE COVER O.C.



**WOOD POST TABLE:**

P1	3" ADJUSTABLE STEEL POST
P2	2-2 x 6 or 2-2 x 4
P3	3-2 x 6 or 3-2 x 4
P3'	3-2 x 6 or 3-2 x 4 ( 2 JACKS + ONE KING )
P4	4-2 x 6 or 4-2 x 4
P4'	4-2 x 6 or 4-2 x 4 ( 3 JACKS + ONE KING )
P5	5-2 x 6 or 5-2 x 4
P6	6" x 6" PRESSURE TREATED

**CONCRETE POST TABLE:**

PR1: 8" DIA CONC. PIER 25 MPA 6% AIR ENTRAINMENT  
C/W 3-10M VERTICAL REBAR, W#9 GAUGE WIRE TIE @ 10" O.C.  
CONCRETE PIER EXTENDS A MIN 6" ABOVE GRADE  
OR 10" DIA. SONOTUBE WITH 1-15M AT CENTER. ADD STEEL SADDLE.  
SONOTUBE TO EXTEND AT LEAST 6" ABOVE GRADE.

**PAD FOOTING SIZES:**

F1	36" x 36" x 10"dp CONC. PAD W/ 4-15M EACH WAY. REBAR 3" FROM BOTTOM
F2	24" x 24" x 10"dp CONC. PAD W/ 3-15M EACH WAY.

**WOOD LINTEL TABLE:**

L1	2-2" x 8"	SPF #2 or better	c/w P2 POST E.E. U.N.O.
L2	2-2" x 10"	SPF #2 or better	c/w P2 POST E.E. U.N.O.
L3	3-2" x 10"	SPF #2 or better	c/w P2 POST E.E. U.N.O.
L4	2-2" x 12"	SPF #2 or better	c/w P2 POST E.E. U.N.O.
L5	3-2" x 12"	SPF #2 or better	c/w P2 POST E.E. U.N.O.

L6	2-1 3/4" x 9 1/2"	LVL 1.8E or 1.9E
L7	3-1 3/4" x 9 1/2"	LVL 1.8E or 1.9E
L8	2-1 3/4" x 11 7/8"	LVL 3000Fb - 1.8E
L9	3-1 3/4" x 7 1/2"	LVL 3000Fb - 1.8E

**NOTE:**

FOR SUPPORTING ALL MASONRY VENEER ABOVE OPENINGS  
INSTALL L 3 1/2" x 3 1/2" x 1/4" STEEL ANGLE U.N.O.

SA: L 5" x 3 1/2" x 1/2" STEEL ANGLE U.N.O.

-Steel Brick lintels over openings require 6" bearing on each end

GT: GIRDER TRUSS  
DJ: DOUBLE JOIST  
PL: POINT LOAD ABOVE

**DESIGN LOADS**

ROOF D.L: 10PSF  
L.L.: 10PSF  
SNOW: 50, 125PSF  
DEFLECTION: L/360  
ALLOWABLE SOIL BEARING CAPACITY: 75 KPa  
CONTRACTOR TO CONDUCT SOIL BEARING CAPACITY TEST PRIOR TO POURING CONCRETE  
LUMBER: SPF #2 OR BETTER  
LVL: 3, 100FS, 1.9E  
STEEL: G40-21 350W  
CONCRETE: 25MPA FOR FOOTINGS, WALLS, AND BASEMENT SLAB  
32MPA WITH 5-8% AIR ENTRAINMENT FOR DECKS AND GARAGES WELDING TO W59

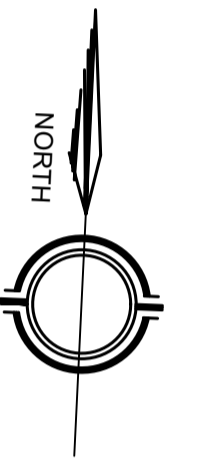
City of Ottawa  
Building Code Services  
November 29, 2024  
Building Code Reviewed  
Eric Parthenalis  
Reviewed Name

OBC 2012 DATA MATRIX - OBC PARTS 9					OBC REFERENCE
1	Project Description	New Building			
2	Building Area (m²)	188.04m²			1.4.1.2
3	Major Occupancies	C			9.10.2.1 (1)
4	Number of Storeys	two (and basement)			1.4.1.2
5	Height of Building	8.05 m			
6	Number of Street/Access Routes	1			9.10.20
7	Building Classification	Residential			9.10.2
8	Fire Alarm Required	No			9.10.18.2
9	Smoke Detectors Required	Yes			9.10.19.2
10	Occupant Load (building)	Per Semi: 14 people (6 bedrooms)			9.9.1.3
11	Barrier-Free Design	Residential			9.5.2.2
12	Spacial Separation (per unit)				9.10.15
	Wall	Area m²	Limiting Distance	Permitted Max % Of Openings	Proposed % Of Openings
	East	106.83m²	1.2m	7%	6.5m² (6%)
	North	#353 43m²	8.7m	>100%	39%
		#355 43m²	8.7m	>100%	39%
	West	106.83m²	1.2m	7%	6.5m² (6%)
	South	STREET SIDE			>100%

**NEW SEMI-DETACHED**  
355/357 ST. DENIS ST.  
OTTAWA, ONT.



Committee of Adjustment  
Received | Reçu le  
2025-12-30  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation



**TAVENTI** MOHSEN EBRAHIMPOUR  
Project Manager  
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SUSAN D. SMITH ARCHITECT  
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613-722-5327  
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2		
1	ISSUED FOR BUILDING PERMIT	OCT/24/2024
0	ISSUED FOR REVIEW	OCT/16/2024
No.	REVISION	DATE

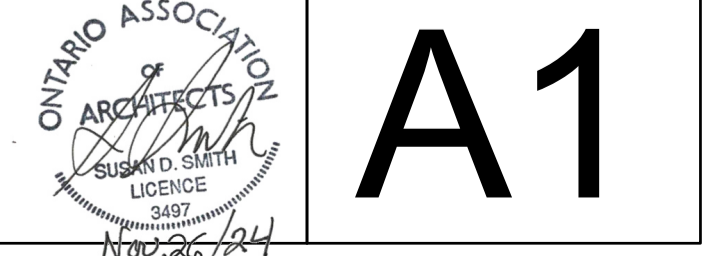
**NOTES:**

- All dimensions are to be checked on site. Discrepancies or ambiguities should be reported prior to work on site or ordering of materials.
- All work to be in accordance with the Ontario Building Code, latest edition.
- All interior dimensions are to face of gypsum board

Site Plan

JOB # 2303 DRAWING BY TD

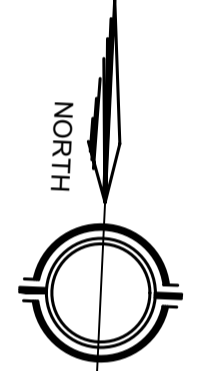
DATE JUL/24 SCALE AS NOTED



**A1**



**NEW SEMI-DETACHED**  
355/357 St. DENIS ST.  
OTTAWA, ONT.



**MOHSEN EBRAHIMPOUR**  
Project Manager  
**TAVENTI** T 613-746-1000  
E mohsen@tamenti.com

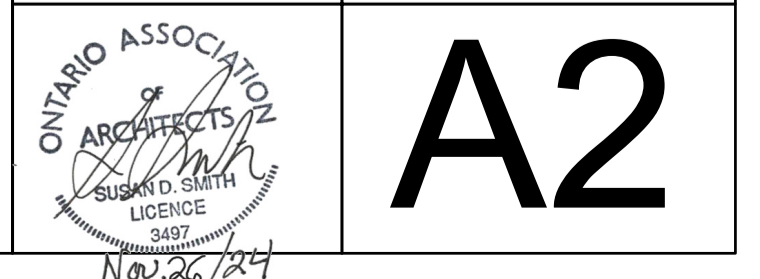
**SUSAN D. SMITH ARCHITECT**  
941 Merivale Rd  
Ottawa, Ontario  
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613-722-5327  
s.smith@sdsarch.ca

2		
1	ISSUED FOR BUILDING PERMIT	OCT/24/2024
0	ISSUED FOR REVIEW	OCT/18/2024
No.	REVISION	DATE

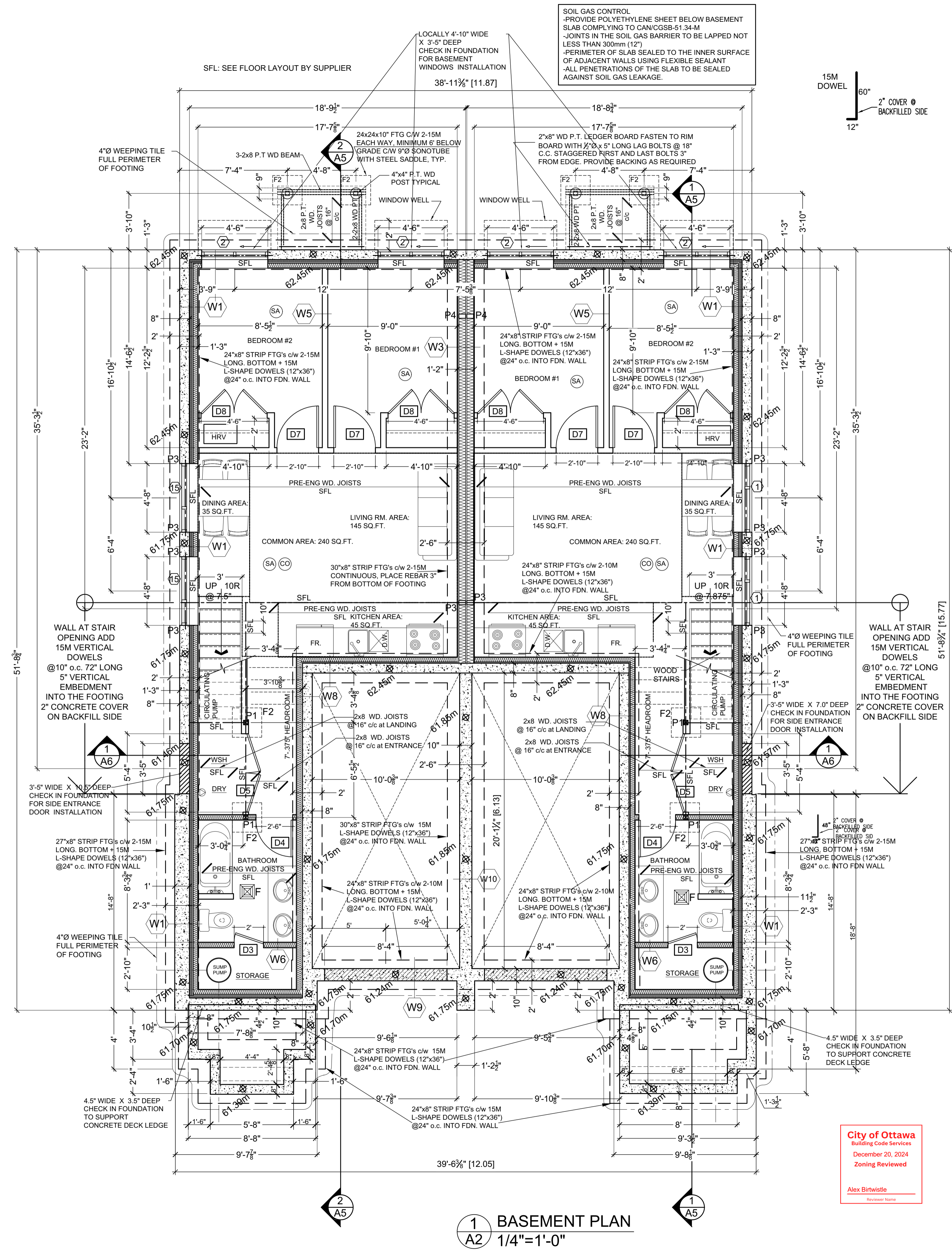
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2. All work to be in accordance with the Ontario Building Code, latest edition.  
3. All interior dimensions are to face of gypsum board

**FLOOR PLANS**

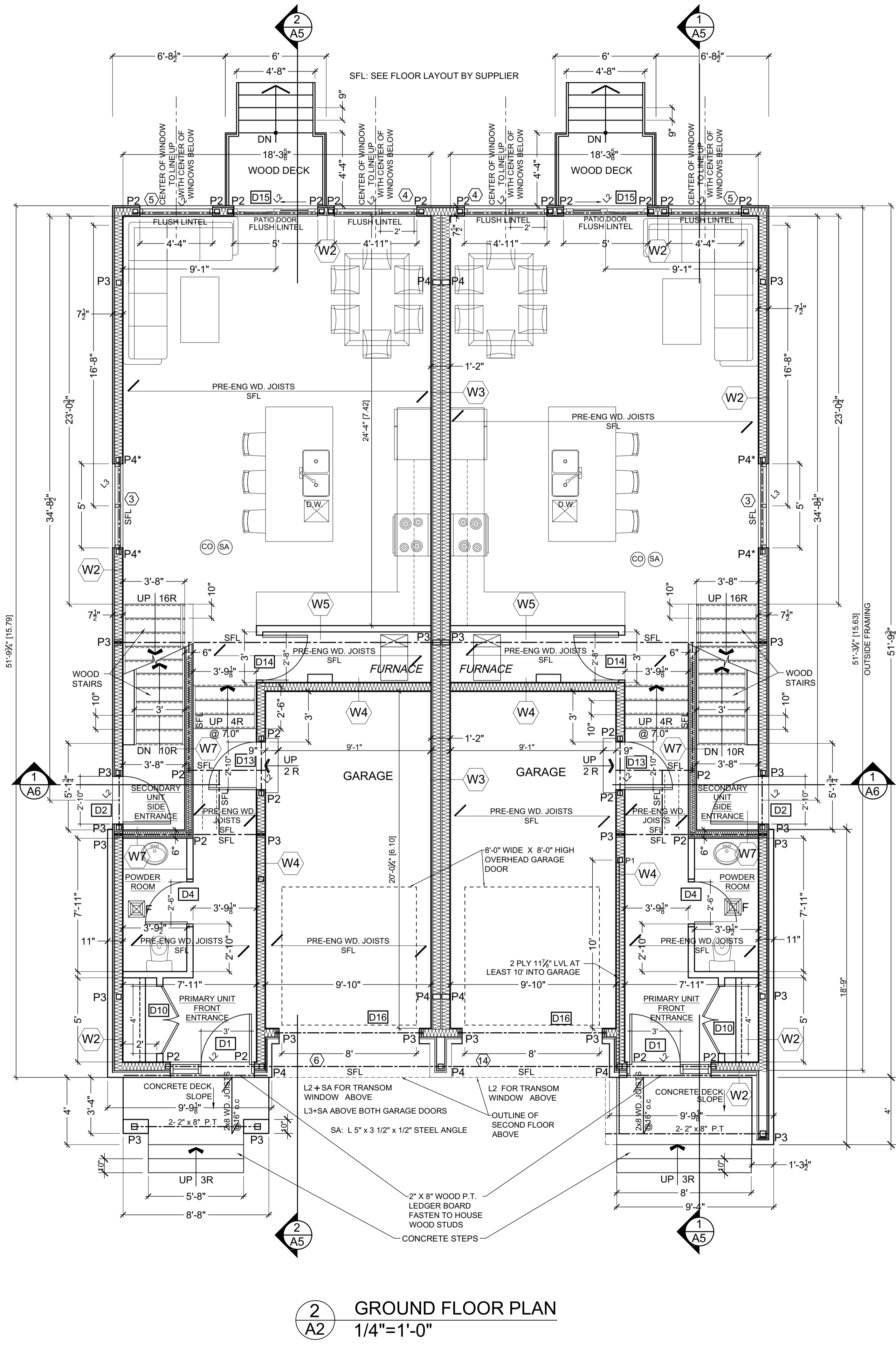
JOB #	2303	DRAWING BY	TD
DATE	JUL/24	SCALE	AS NOTED

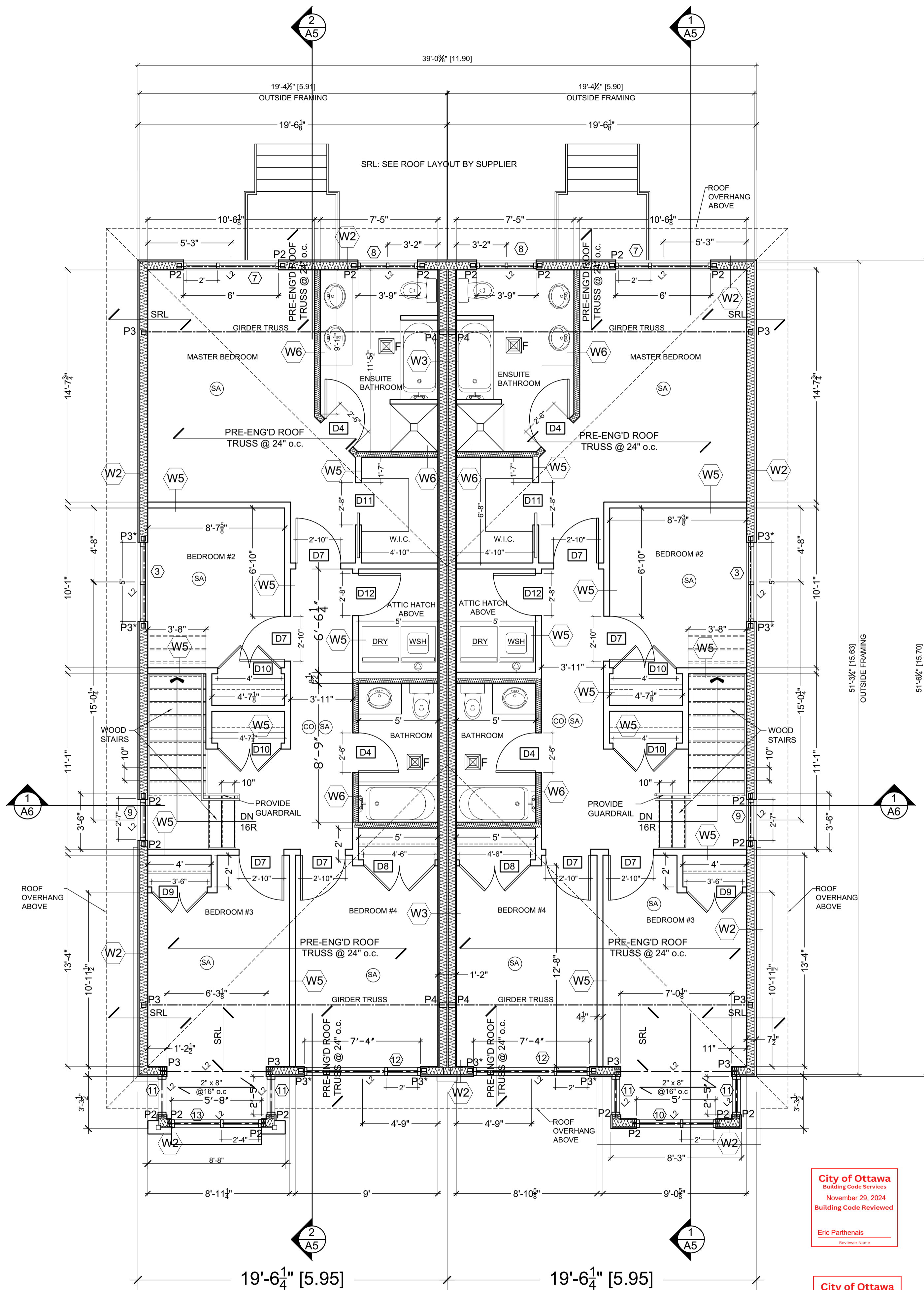


**A2**



City of Ottawa  
Building Code Services  
December 20, 2024  
Zoning Reviewed  
Alex Birtwistle  
Review Name





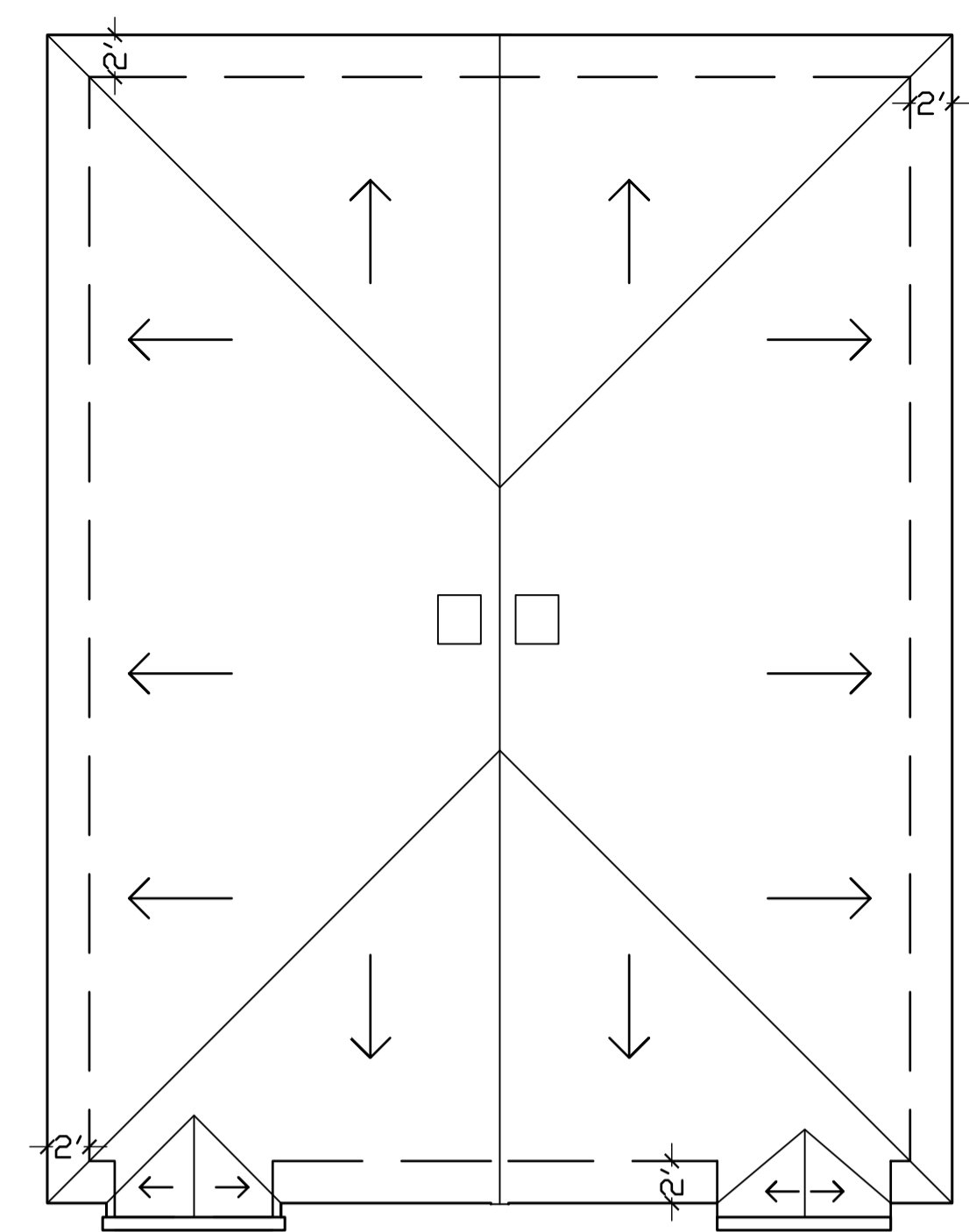
**1**  
A3 SECOND FLOOR PLAN  
1/4"=1'-0"

City of Ottawa  
Building Code Services  
November 29, 2024  
Building Code Reviewed

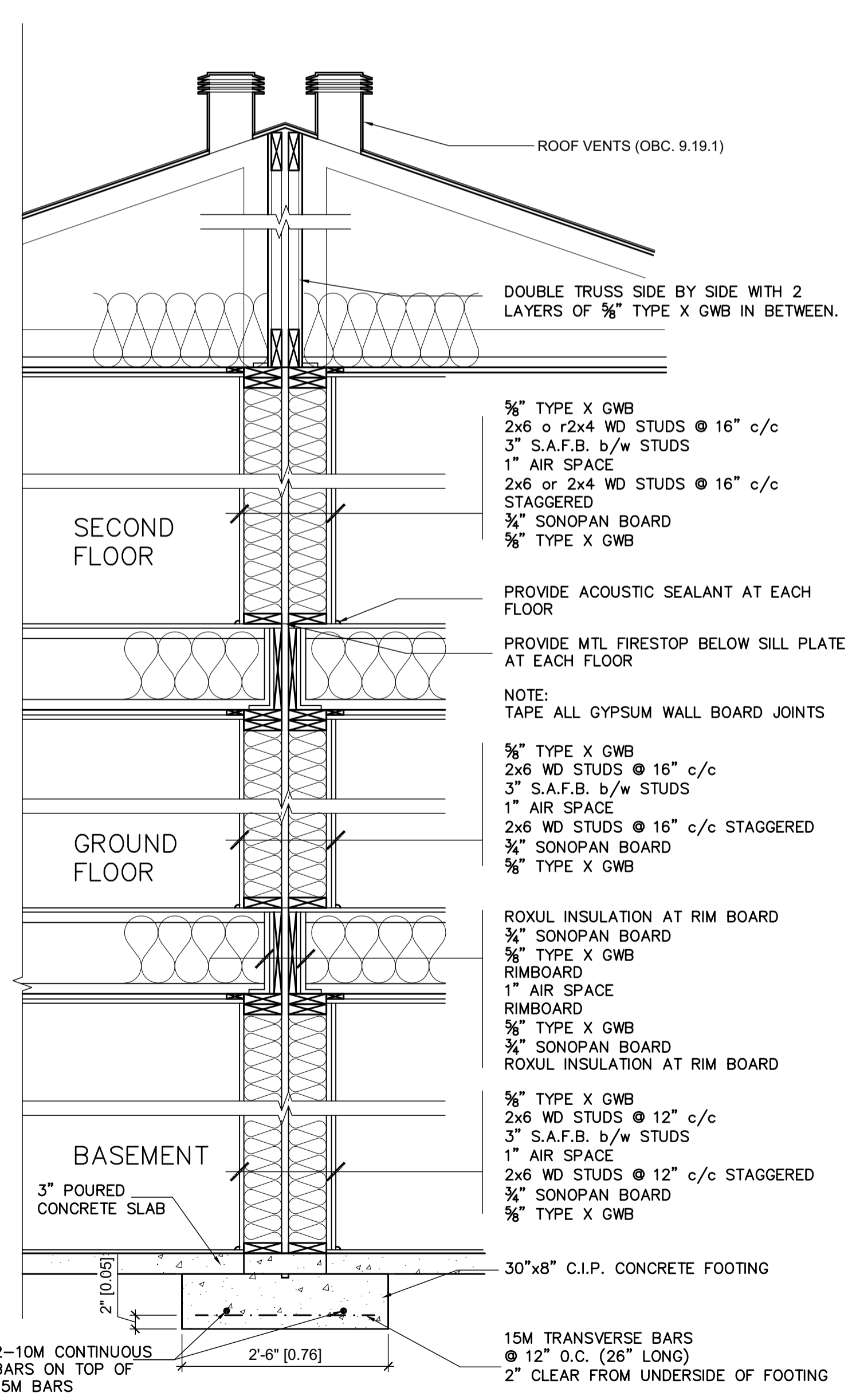
Eric Parthenas  
Reviewer Name

City of Ottawa  
Building Code Services  
December 20, 2024  
Zoning Reviewed

Alex Birtwistle  
Reviewer Name



**2**  
A3 ROOF PLAN  
1/8"=1'-0"

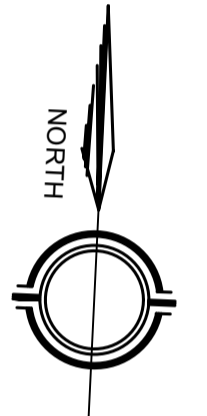


**3**  
A3 TYPICAL DEMISING WALL DETAIL  
3/4"=1'-0"

- W1** TYPICAL FOUNDATION WALL: (R20c)  
24"x8" CONTINUOUS PERIMETER FOOTING c/w KEY  
4" DIA. PERFORATED PLASTIC DRAIN PIPE c/w  
FILTER CLOTH COVERED w/ 6" CRUSHED STONE  
FOUNDATION WALL DRAINAGE (O.B.C. 9.14.2.1)  
BITUMINOUS DAMPROOFING  
8" POURED CONC. WALL (10" WHERE MASONRY ABOVE)  
STEPPED TO SUIT GRADE WHERE INDICATED c/w 2-10M BARS  
TOP & BOTTOM FROM GRADE LEVEL DOWN  
2"x6" FOUNDATION SILL PLATE CAULKED TO FOUNDATION  
1/2" ANCHOR BOLTS @ 6' O.C.  
2" RIGID INSULATION (R10c)  
1" AIR SPACE  
2"x4" STUDS @ 24" O.C.  
R12 BATT INSULATION  
POLY VAPOUR BARRIER (CGSB 51.34) SEALED TO REDUCE  
AIR CIRCULATION (O.B.C. 9.25.4.10.(2))  
1/2" GYPSUM BOARD
- W2** TYPICAL EXTERIOR WALL (R24)  
BRICK OR STONE VENEER c/w 1" AIRSPACE  
OR HARDIE BOARD (SEE ELEVATIONS)  
TYVEK AIR BARRIER  
3/8" OSB SHEATHING  
2x6 STUDS @ 16" O.C.  
R24 BATT INSULATION  
6 mil POLY VAPOUR BARRIER (CGSB 51.34 TYPICAL)  
1/2" GYPSUM BOARD TAPED AND SANDED
- W3** TYPICAL DEMISING WALL  
1 HR. FRR/STC 57 TO OBC SB-9-W13a  
3/4" TYPE X GWB  
2x6 WD. STUDS @ 16" C/C  
3/4" S.A.F.B. BETWEEN STUDS  
1" AIR SPACE  
2x6 WD. STUDS @ 16" C/C STAGGERED  
3/4" S.A.F.B. BETWEEN STUDS  
1/2" SONOPAN BOARD (OPTIONAL)  
3/4" TYPE X GWB
- W4** GARAGE DEMISING WALL CONST.:  
1/2" GYPSUM BOARD (TAPE JOINTS)  
SEAL ALL JOINTS FOR EFFECTIVE GAS PROOFING  
2"x6" WOOD STUDS @ 16" o.c.  
R22 BATT INSULATION  
6mil. POLY. VAPOUR BARRIER  
(INTERIOR SIDE)  
1/2" GYPSUM BOARD
- W5** TYPICAL INTERIOR WALL  
1/2" GWB BOTH SIDES OF  
2x4 STUDS AT 16" o.c.
- W6** TYPICAL BATHROOM WALL:  
1/2" GYPSUM BOARD  
2"x4" WOOD STUDS @ 16" o.c.  
FILL WITH BATT INSULATION  
1/2" MOISTURE-RESISTANT GYP. BD.  
(BATHROOM SIDE)
- W7** 1HR FRR 55 STC PARTITION AS PER SB-3 W6e:  
2 x 1/2" TYPE X GYPSUM BOARD  
2"x4" WOOD STUDS @ 24" o.c.  
FILL WITH S.A.F.B.  
RESILIENT METAL CHANNELS @ 16 o.c.  
2 x 1/2" TYPE X GYPSUM BOARD
- W8** FOUNDATION WALL:  
24"x8" CONTINUOUS PERIMETER FOOTING c/w KEY  
8" POURED CONC. WALL (10" WHERE MASONRY ABOVE)  
STEPPED TO SUIT GRADE WHERE INDICATED c/w 2-10M BARS  
TOP & BOTTOM FROM GRADE LEVEL DOWN  
2"x6" FOUNDATION SILL PLATE CAULKED TO FOUNDATION  
1/2" ANCHOR BOLTS @ 6' O.C.  
1" AIR SPACE  
2"x4" STUDS @ 24" O.C.  
R12 BATT INSULATION  
POLY VAPOUR BARRIER (CGSB 51.34) SEALED TO REDUCE  
AIR CIRCULATION (O.B.C. 9.25.4.10.(2))  
1/2" GYPSUM BOARD
- W9** FOUNDATION WALL:  
24"x8" CONTINUOUS PERIMETER FOOTING c/w KEY  
8" POURED CONC. WALL (10" WHERE MASONRY ABOVE)  
4" DIA. PERFORATED PLASTIC DRAIN PIPE c/w  
FILTER CLOTH COVERED w/ 6" CRUSHED STONE  
FOUNDATION WALL DRAINAGE (O.B.C. 9.14.2.1)  
BITUMINOUS DAMPROOFING  
STEPPED TO SUIT GRADE WHERE INDICATED c/w 2-10M BARS  
TOP & BOTTOM FROM GRADE LEVEL DOWN
- W10** FOUNDATION WALL:  
24"x8" CONTINUOUS PERIMETER FOOTING c/w KEY  
8" POURED CONC. WALL (10" WHERE MASONRY ABOVE)  
STEPPED TO SUIT GRADE WHERE INDICATED c/w 2-10M BARS  
TOP & BOTTOM FROM GRADE LEVEL DOWN
- F1** TYPICAL NEW FLOOR  
FINISH FLOORING  
1/2" G.I.S. PLYWOOD UNDERLAY (WHERE REQUIRED)  
3/4" T&G OSB SUBFLOOR, GLUED & NAILED  
PRE-ENG WD JSTS @ 16" o/c c/w STRAPPING  
1/2" GWB
- F2** BASEMENT (GROUND) FLOOR CONST'N:  
FINISH FLOORING ON FOAM UNDERLAY ON PLASTIC SHEETING  
(EXCEPT IN CRAWL SPACE)  
3" UNREINFORCED POURED CONCRETE SLAB (25MPa)  
6mil. POLY. VAPOUR BARRIER  
2" SAND BED ON  
6" GRANULAR FILL COMPACTED TO MINIMUM 95% P.D.
- F3** GARAGE FLOOR CONST'N:  
4" POURED CONC. SLAB (25MPa)  
w/ 6% AIR ENTRAINMENT  
(SLOPED TO GARAGE DOOR)  
6 mil. POLY. VAPOUR BARRIER ON  
6" CRUSHED STONE COMPACTED TO MINIMUM 95% P.D.
- F4** FIRE RATED FLOOR:  
1HR. FRR/STC 52 TO OBC SB-3-F9c  
FINISHED FLOORING AS PER OWNER SPEC.  
3/8" T&G PLYWOOD SUB FLOOR  
PRE-ENG WD. JOISTS @ 16" o/c c/w STRAPPING  
S.A.F.B BETWEEN JOISTS  
RESILIENT METAL CHANNELS @ 16" o/c  
2 LAYERS 3/8" TYPE X GWB
- F5** FLOOR CONST'N: ABOVE GARAGE: (R31)  
FINISHED FLOORING AS PER OWNER SPEC.  
5/8" T&G PLYWOOD SUB FLOOR  
6mil. POLY. VAPOUR BARRIER  
(INTERIOR SIDE)  
PRE-ENG WD JSTS @ 16" o/c c/w STRAPPING  
R31 BATT INSULATION  
TYVEK  
5/8" GYPSUM BOARD (TAPE JOINTS)
- F6** FLOOR CONST'N: ABOVE FRONT ENTRANCE  
3/4" FINISH FLOOR AS PER OWNER SPEC.  
3/8" T&G PLYWOOD SUB FLOOR  
-CONTINUOUS 6mil. POLY. VAPOUR BARRIER  
-PRE-ENG WOOD JOISTS @ 16" o/c  
-PROVIDE 9" DROP CEILING  
BELOW FLOOR JOISTS  
-9" 2lbs. SPRAY INSULATION  
-1-11/16" OBS COMFORT BOARD R6  
-TYVEK HOUSE WRAP AIR BARRIER & WEATHER SHIELD  
-3/4" x 2 1/2" WOOD STRAPPING @ 16" o.c.  
-HARDIE BOARD SIDING



**NEW SEMI-DETACHED**  
355/357 St. DENIS ST.  
OTTAWA, ONT.



**MOHSEN EBRAHIMIPOUR**  
Project Manager  
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**SUSAN D. SMITH ARCHITECT**  
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No.	REVISION	DATE
2		
1	ISSUED FOR BUILDING PERMIT	OCT/24/2024
0	ISSUED FOR REVIEW	OCT/18/2024

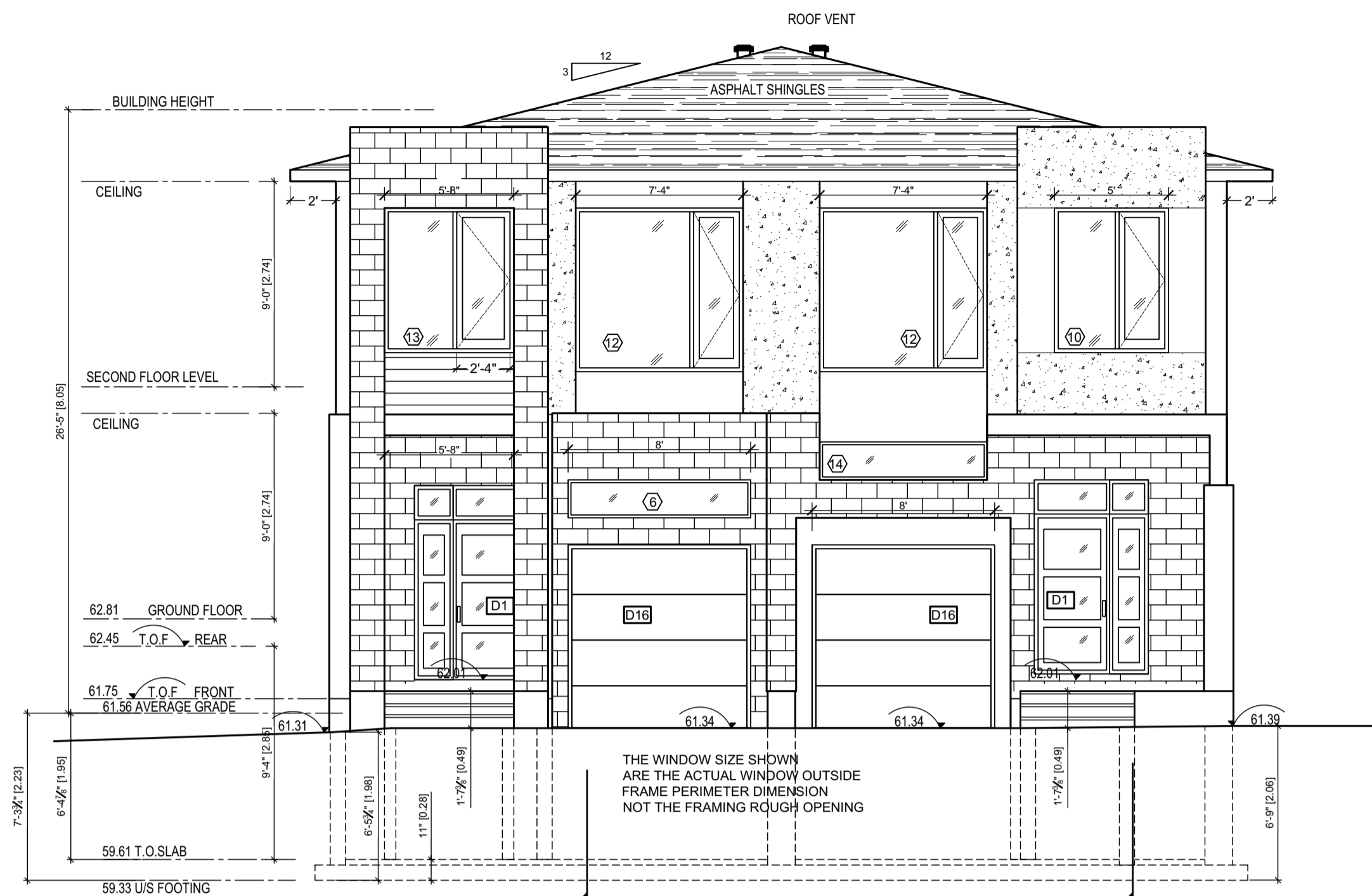
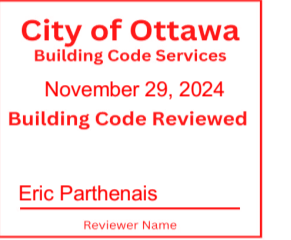
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**SECOND FLOOR PLAN, FLOOR - WALL - ROOF ASSEMBLIES, ROOF PLAN,**

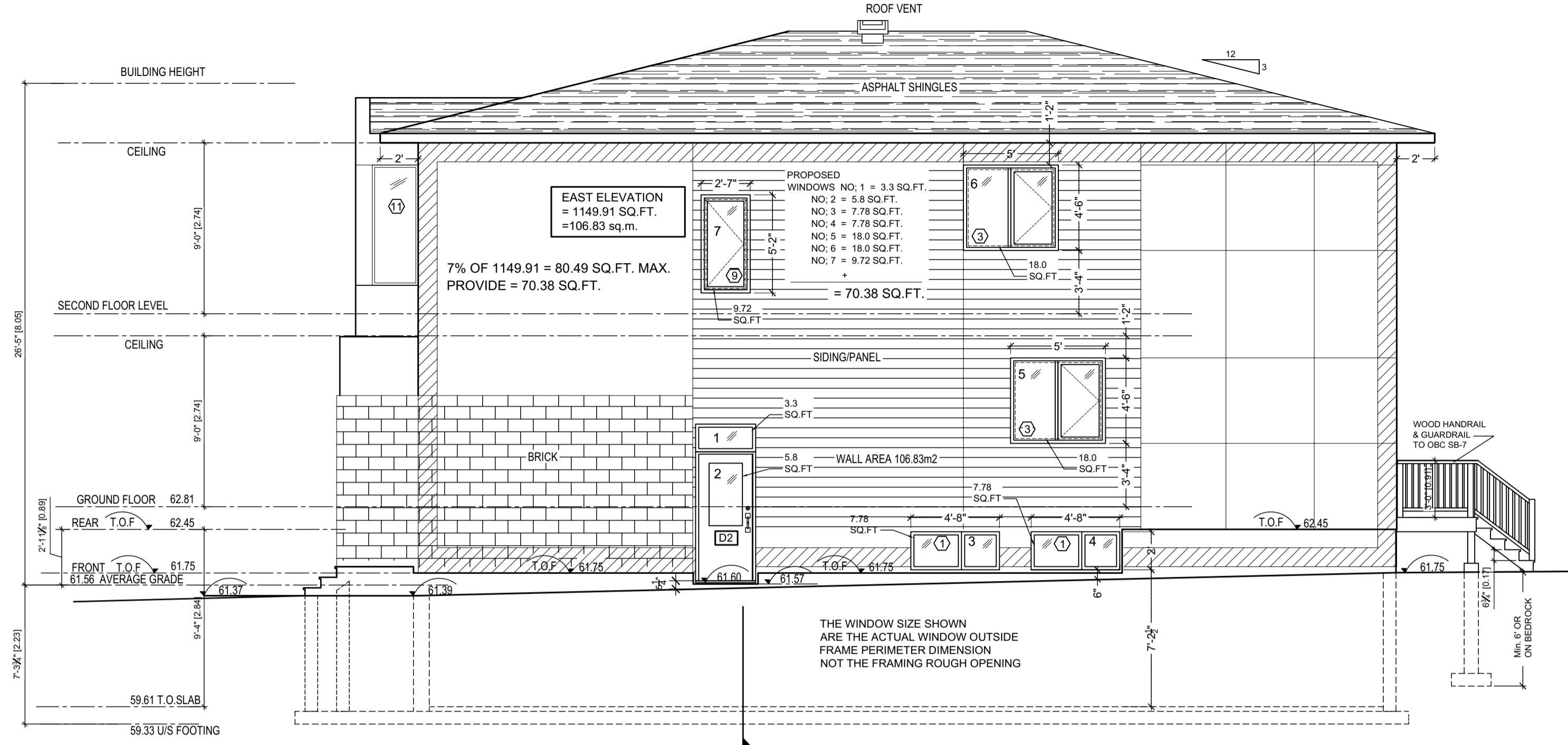
JOB # 2303 DRAWING BY TD

DATE JUL/2024 SCALE AS NOTED

**A3**



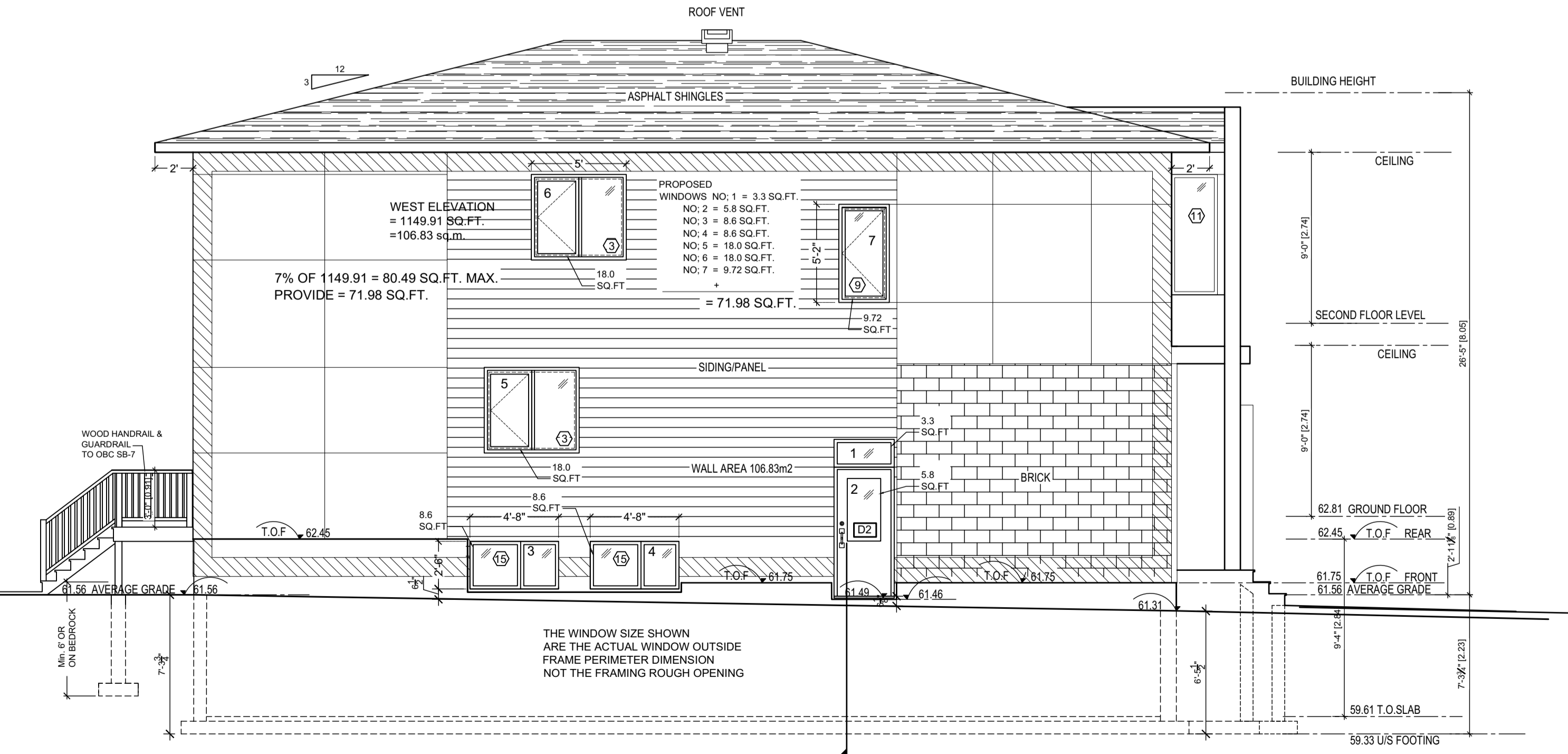
1 SOUTH ELEVATION (FRONT)  
3/16"=1'-0"



2 EAST ELEVATION (RIGHT)  
3/16"=1'-0"



3 NORTH ELEVATION (REAR)  
3/16"=1'-0"



3 WEST ELEVATION (LEFT)  
3/16"=1'-0"

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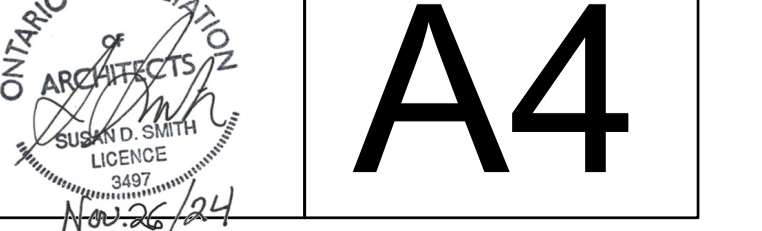
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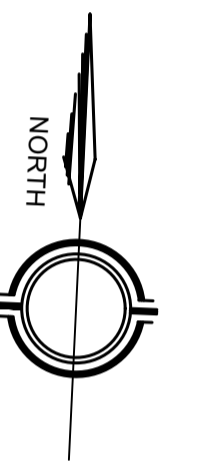
ELEVATIONS

JOB #	DRAWING BY
2303	TD
DATE	SCALE
JUL/2024	AS NOTED



A4

NEW SEMI-DETACHED  
355/357 St. DENIS ST.  
OTTAWA, ONT.



City of Ottawa  
Building Code Services  
November 29, 2024  
Building Code Reviewed  
  
Eric Parthenis  
Reviewed

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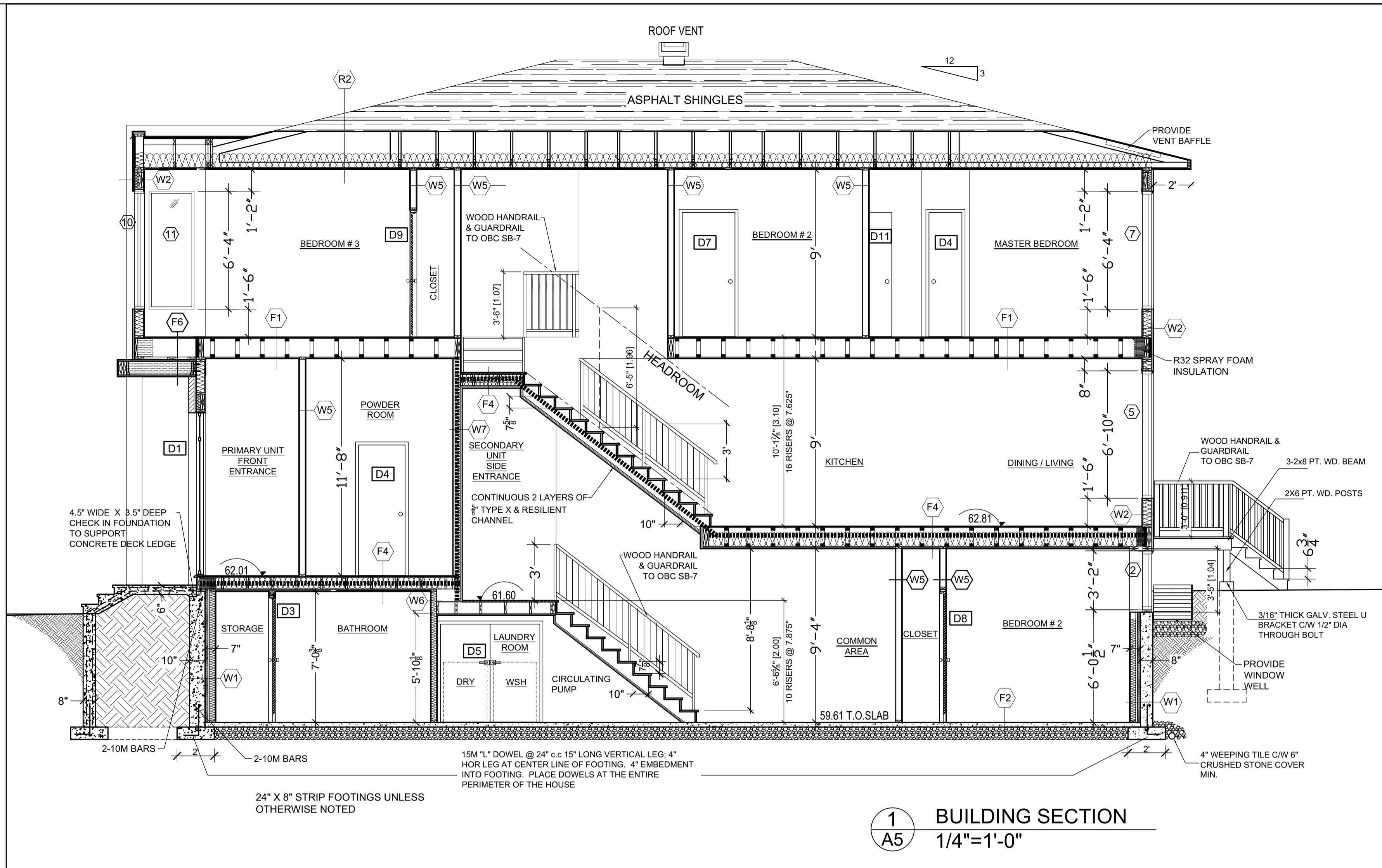
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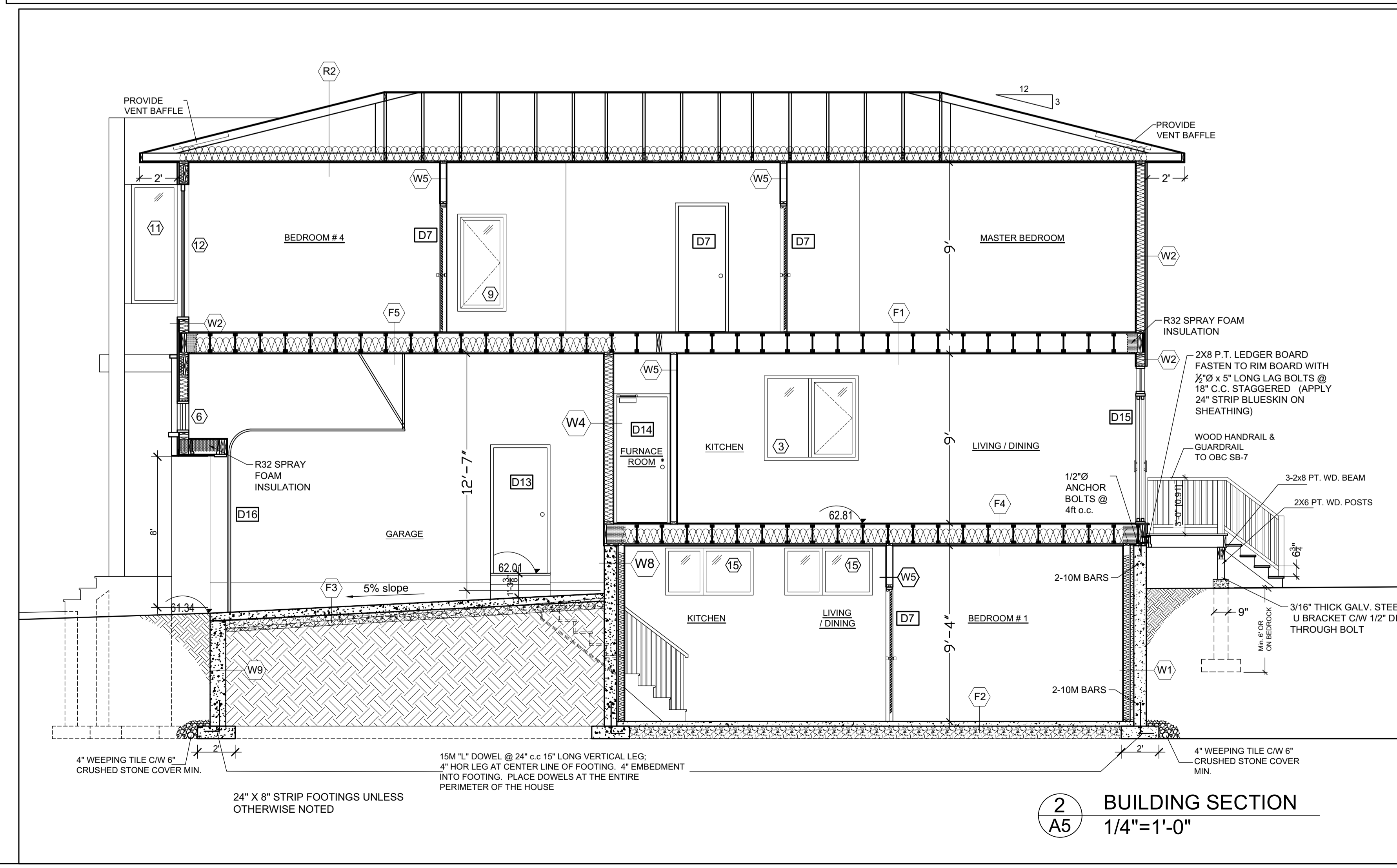
SECTIONS,

JOB #	2303	DRAWING BY	TD
DATE	JUL/24	SCALE	AS NOTED

ONTARIO ASSOCIATION OF ARCHITECTS  
SUSAN D. SMITH  
LICENCE  
3817  
Nov 26, 2024  
**A5**



1 BUILDING SECTION  
A5 1/4"=1'-0"

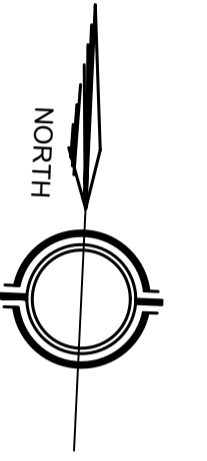


2 BUILDING SECTION  
A5 1/4"=1'-0"

NEW SEMI-DETACHED

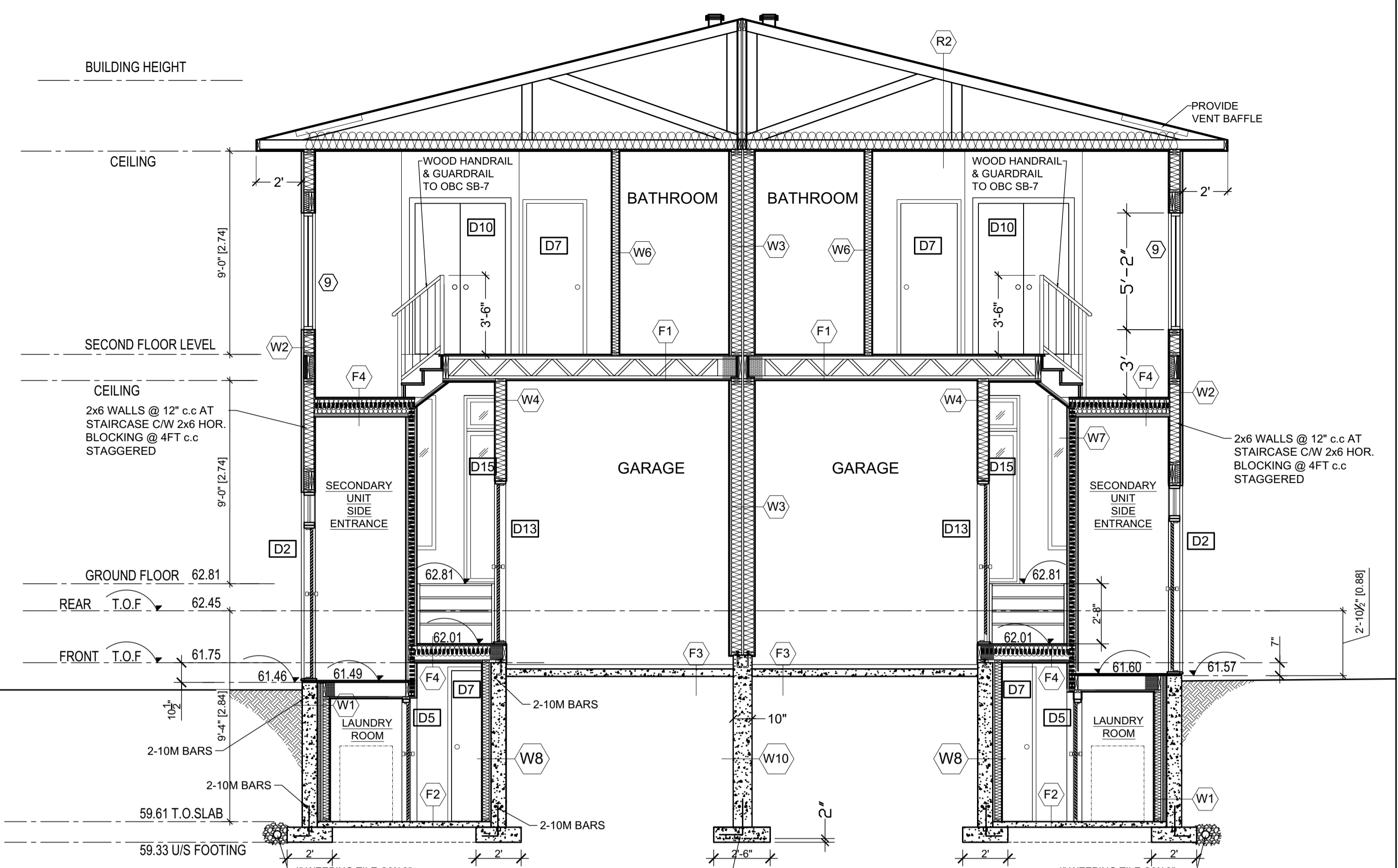
355/357 St. DENIS ST.

OTTAWA, ONT.

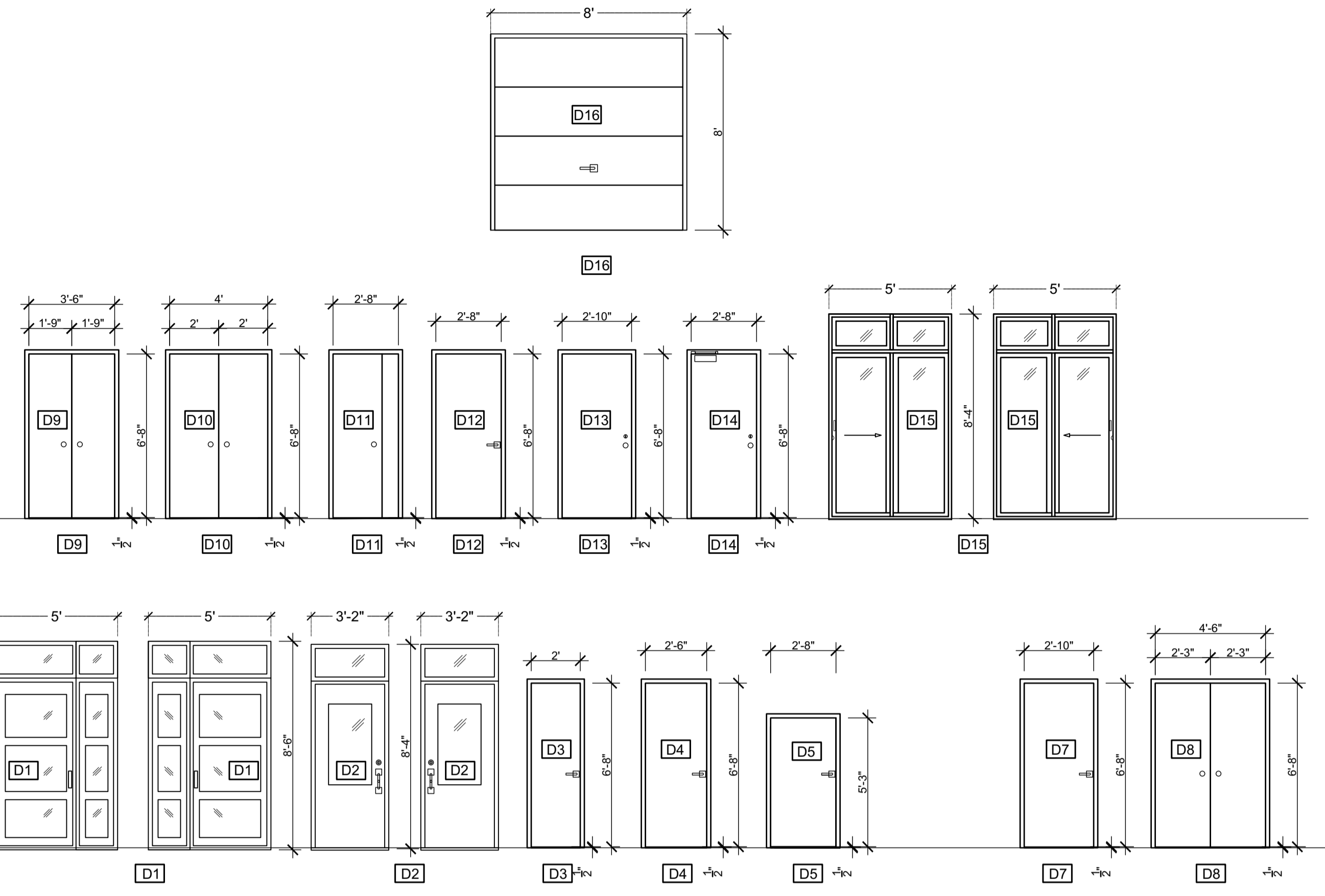


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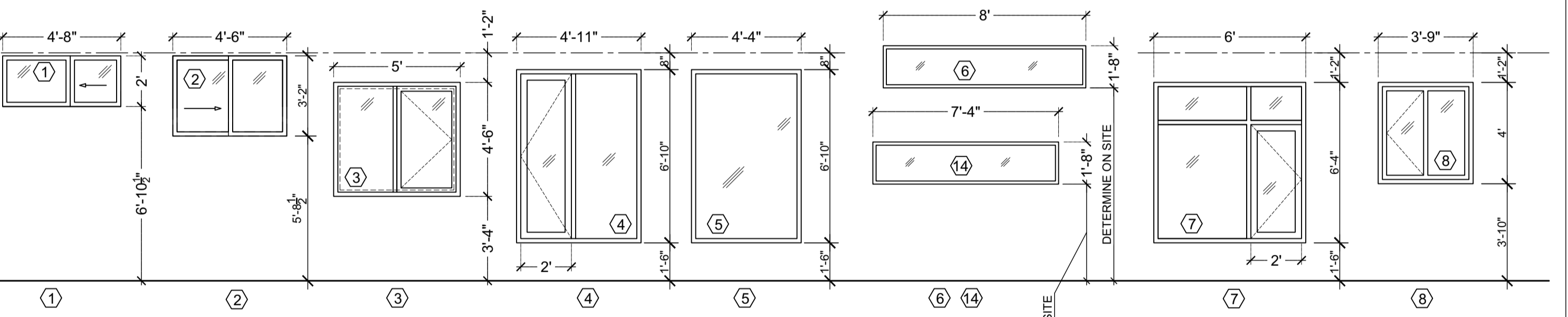
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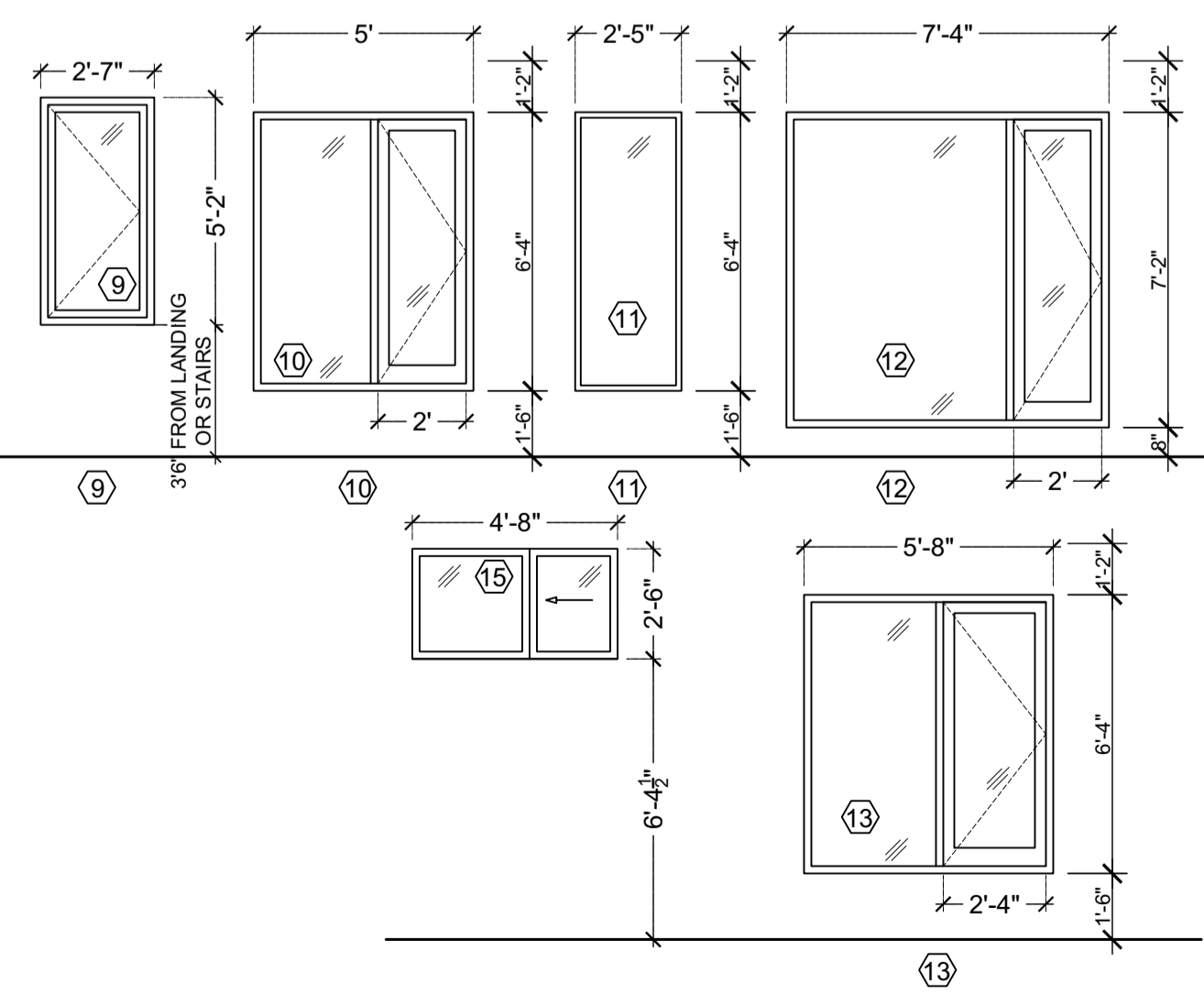
**BUILDING CROSS SECTION**  
1/4"=1'-0"



No	LOCATION	TYPE	SIZE	FRAME	HARDWARE	NOTE	FIRE PROTECTION RATING
1	FRONT ENTRANCE	EXTERIOR INSULATED ONE UNIT (DOOR 3'-0" WIDE) WITH ONE FIXED WINDOW ABOVE AND BESIDE	5'-0" x 8'-6"	STEEL	LOCKSET, DEADBOLT, WEATHER STRIP	SEE ELEVATIONS FOR ANY GLAZING ABOVE AND BESIDE DOOR	
2	SIDE ENTRANCE	EXTERIOR INSULATED ONE UNIT (DOOR 2'-10" WIDE) WITH ONE FIXED WINDOW ABOVE	3'-2" x 8'-4"	STEEL	LOCKSET, DEADBOLT WEATHER STRIP	SEE ELEVATIONS FOR ANY GLAZING ABOVE DOOR	
3	BASEMENT STORAGE	HOLLOW WOOD	2'-0" x 6'-8"	WOOD	PASSAGE		
4	BASEMENT BATHROOMS, GROUND FLOOR POWDER ROOMS, SECOND FLOOR BATHROOMS & ENSUITE BATHROOMS	HOLLOW WOOD	2'-6" x 6'-8"	WOOD	PRIVACY SET		
5	BASEMENT LAUNDRY ROOMS	HOLLOW WOOD	2 @ 2'-8" x 5'-3"	WOOD	PASSAGE		
6	DELETED						
7	BASEMENT & SECOND FLOOR BEDROOMS	HOLLOW WOOD	2'-10" x 6'-8"	WOOD	PRIVACY SET		
8	BASEMENT BEDROOMS CLOSETS & SECOND FLOOR BEDROOM #4 CLOSETS	HOLLOW WOOD	2 @ 2'-3" x 6'-8"	WOOD	PASSAGE		
9	SECOND FLOOR BEDROOM #3 CLOSETS	HOLLOW WOOD	2 @ 1'-9" x 6'-8"	WOOD	PASSAGE		
10	SECOND FLOOR BEDROOM #2 CLOSETS, SECOND FLOOR TOP OF STAIRS CLOSETS, & FRONT ENTRANCE CLOSETS	HOLLOW WOOD	2 @ 2'-0" x 6'-8"	WOOD	PASSAGE		
11	SECOND FLOOR MASTER BEDROOM WALK-IN CLOSETS	WOOD POCKET	2'-10" x 6'-8"	WOOD	PASSAGE		
12	SECOND FLOOR LAUNDRY ROOMS	HOLLOW WOOD	2'-8" x 6'-8"	WOOD	PASSAGE		
13	GARAGE TO GROUND FLOOR HALLWAY	EXTERIOR INSULATED	2'-10" x 6'-8"	WOOD	LOCKSET		
14	GROUND FLOOR FURNACE ROOM	HOLLOW STEEL	2'-8" x 6'-8"	METAL	LOCKSET, WITH CLOSER		45 min.
15	GROUND FLOOR PATIO DOOR	SLIDING	5'-0" x 8'-4"	VINYL	LOCKSET, WEATHER STRIP	SEE ELEVATIONS FOR ANY GLAZING ABOVE DOOR	
16	GARAGE	ROLLING SECTIONAL INSULATED	8'-0" x 8'-0"	METAL	LOCKSET, WEATHER STRIP		



No	QTY	LOCATION	TYPE	SIZE	REMARKS
1	2	BASEMENT	SLIDING	4'-8" x 2'-0"	
2	4	BASEMENT	SLIDING	4'-6" x 3'-2"	
3	4	GROUND FLOOR DINING / LIVING SECOND FLOOR BEDROOMS NO. 2	ONE FIXED ONE CASEMENT	5'-0" x 4'-6"	
4	2	GROUND FLOOR	ONE FIXED ONE CASEMENT	4'-11" x 6'-10"	
5	2	GROUND FLOOR	FIXED	4'-4" x 6'-10"	
6	1	GARAGE ABOVE ROLLING SECTIONAL DOORS	FIXED	8'-0" x 1'-8"	
7	2	SECOND FLOOR MASTER BEDROOMS	ONE FIXED ONE CASEMENT	6'-0" x 6'-4"	
8	2	SECOND FLOOR ENSUITE BATHROOMS	ONE FIXED ONE CASEMENT	3'-9" x 4'-0"	
9	2	SECOND FLOOR AT LANDING	CASEMENT	2'-7" x 5'-2"	
10	1	SECOND FLOOR BEDROOMS # 3	ONE FIXED ONE CASEMENT	5'-0" x 6'-4"	
11	4	SECOND FLOOR BEDROOMS # 3	FIXED	2'-5" x 6'-4"	
12	2	SECOND FLOOR BEDROOMS # 4	ONE FIXED ONE CASEMENT	7'-4" x 7'-2"	
13	1	SECOND FLOOR BEDROOMS # 3	ONE FIXED ONE CASEMENT	5'-8" x 6'-4"	
14	1	GARAGE ABOVE ROLLING SECTIONAL DOORS	FIXED	7'-4" x 1'-8"	
15	2	BASEMENT	SLIDING	4'-8" x 2'-6"	



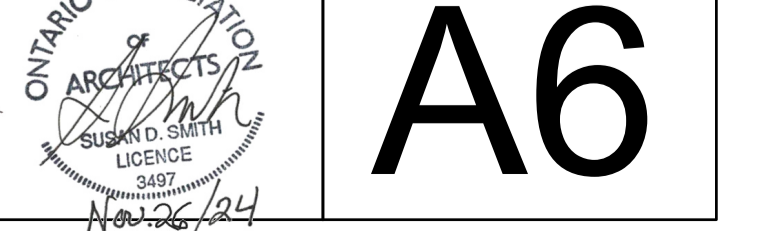
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**CROSS SECTION, DOOR AND WINDOW SCHEDULE**

JOB # 2303 DRAWING BY TD

DATE JUL/24 SCALE AS NOTED



**A6**