

**Committee of Adjustment
Received | Reçu le
2025-12-02**

**City of Ottawa | Ville d'Ottawa
Comité de dérogation**

SCHEDULE				
PART	LOT	CONCESSION	PIN	AREA (sq.m.)
1			PART OF 04595-5242	187.1
2			ALL OF 04595-5229	6.0
3	PART OF 12	3 (RIDEAU FRONT)	ALL OF 04595-5230	123.7
4			PART OF 04595-5243	400.4
5			PART OF 04595-5243	977.6
6			04595-5388	352.1
7			PART OF 04595-5243	255.5
8			04595-5243	1671.2

Part 3: Subject to easement, Inst. OC2667087.
Land in this plan is in Land Registry Office No. 4.

- Notes & Legend**
- Denotes Survey Monument Planted
 - Denotes Survey Monument Found
 - SIB Standard Iron Bar
 - SSIB Short Standard Iron Bar
 - IB Iron Bar
 - IB0 Round Iron Bar
 - CP Concrete Pin
 - PB Plastic Bar
 - (WIT) Witness
 - (AOS) Annis, O'Sullivan, Vollebek Ltd.
 - Meas. Measured
 - (P1) Registered Plan 4M-1735
 - (P2) Registered Plan 4M-1667
 - (A05) Plan August 5, 2020 (Ref. 20-10-001-00, Lots 108-112)
 - (P4) (JDB) Plan December 7, 2020 (Ref. 20-10-049-00, Lots 44-47)
 - (P5) (JDB) Plan February 9, 2024 (Ref. 23-10-049-00, Lots 44-47)
 - (P6) (JDB) Plan February 9, 2024 (Ref. 23-10-049-00, Lots 48-52)
 - (P7) Plan 4R-35927
 - (P8) (JDB) Plan February 9, 2024 (Ref. 23-10-049-00, Lots 58-59)
 - (P9) Registered Plan 4M-1585
 - (P10) (JDB) Plan December 7, 2020 (Ref. 20-10-001-00, Lots 95-100)
 - (P11) (JDB) Plan February 12, 2021 (Ref. 20-10-001-00, Lots 104-107)
 - PW/F Post & Wire Fence
 - RF Rail Fence

All found survey monument are (AOG) unless otherwise noted.

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.999928.

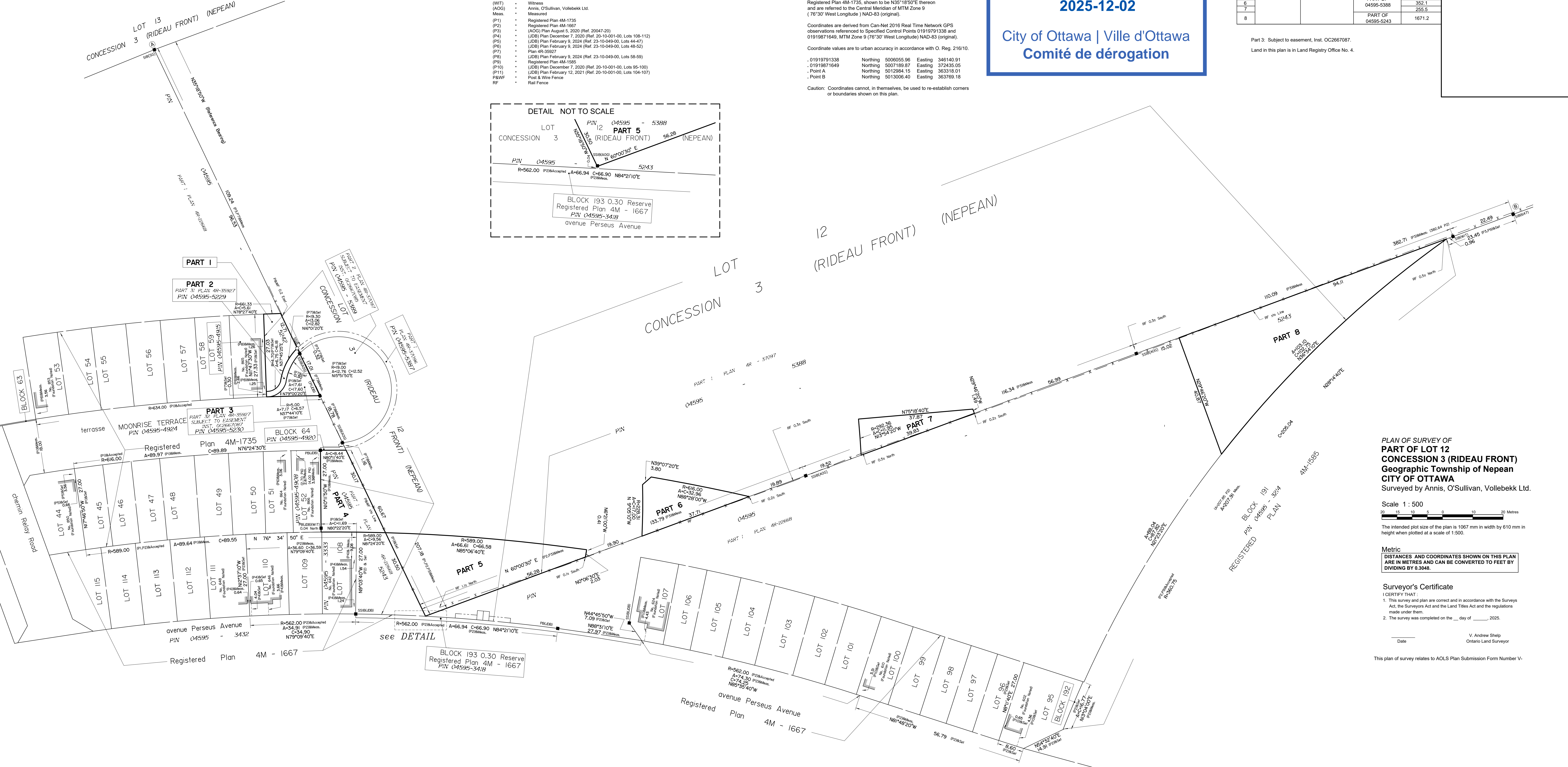
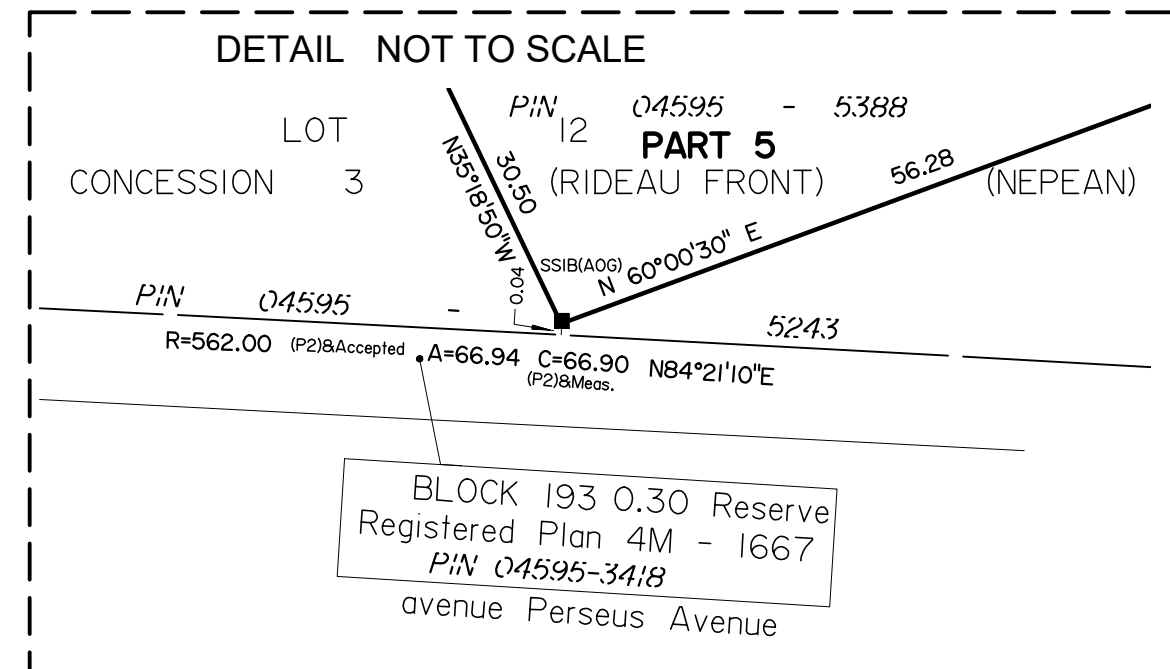
Bearings are grid, derived from the westerly limit of Moonrise Terrace, Registered Plan 4M-1735, shown to be N35°18'50"E thereon and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Coordinates are derived from Can-Net 2016 Real Time Network GPS observations referenced to Specified Control Points 01919791338 and 01919871649, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Coordinate values are to urban accuracy in accordance with O. Reg. 216/10.

- . 01919791338 Northing 5006055.96 Easting 346140.91
- . 01919871649 Northing 5007189.87 Easting 372435.05
- . Point A Northing 5012984.15 Easting 363318.01
- . Point B Northing 5013006.40 Easting 363769.18

Caution: Coordinates cannot, in themselves, be used to re-establish corners or boundaries shown on this plan.



**PLAN OF SURVEY OF
PART OF LOT 12
CONCESSION 3 (RIDEAU FRONT)
Geographic Township of Nepean
CITY OF OTTAWA**
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

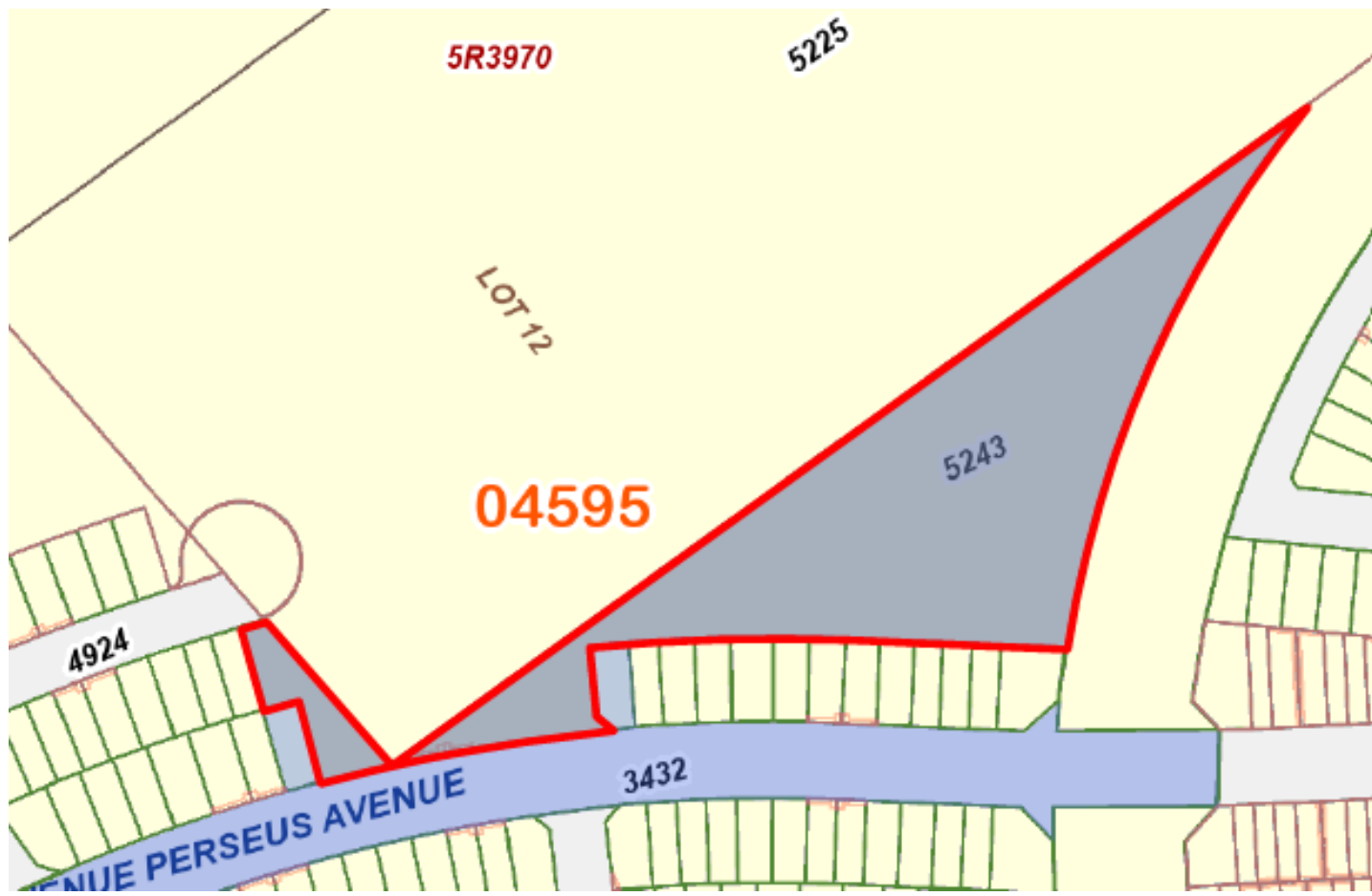
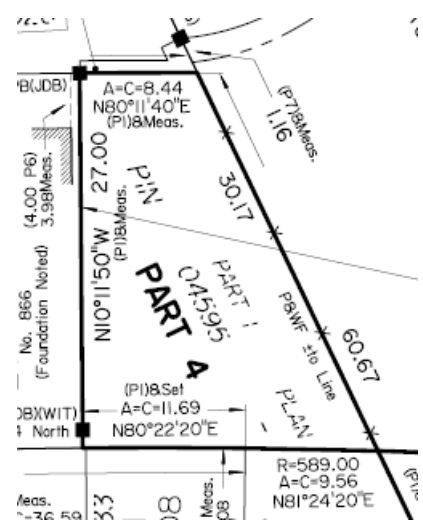
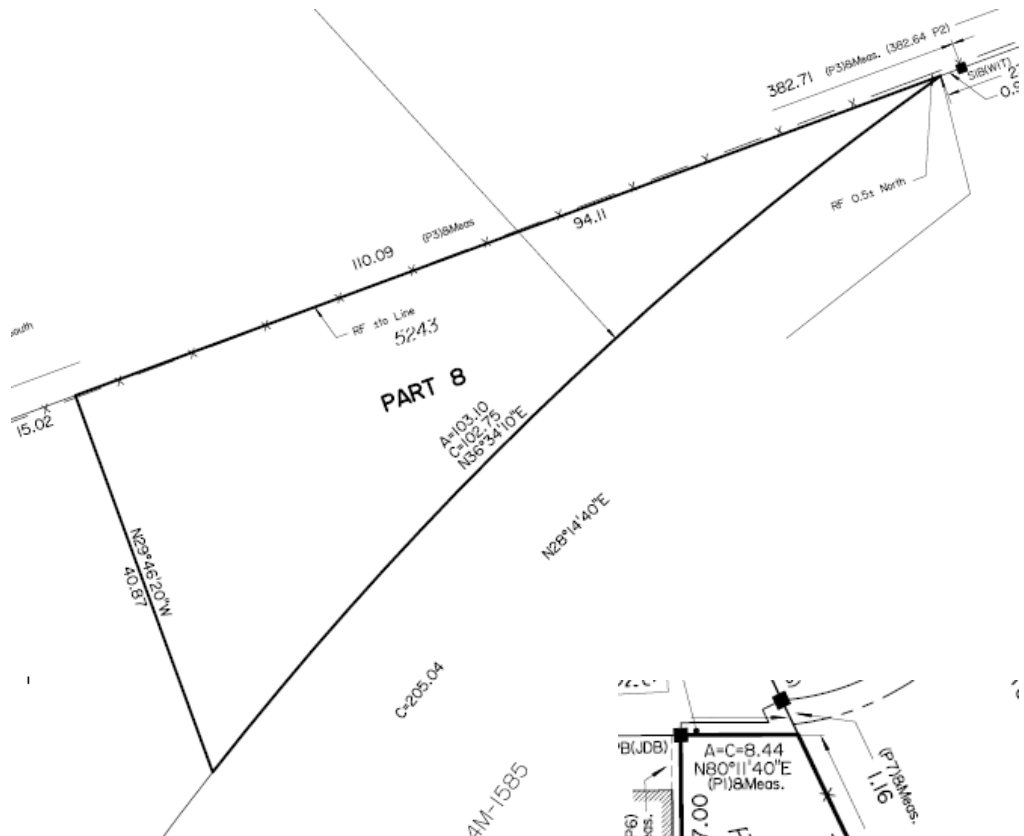
Scale 1 : 500
The intended plot size of the plan is 1067 mm in width by 610 mm in height when plotted at a scale of 1:500.

Metric
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
2. The survey was completed on the ____ day of ____, 2025.

Date _____ V. Andrew Shep
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-_____



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5. Proposed conveyance

Lot	Severed	Retained
Parts on Draft Reference Plan	4 & 8	N/A
Frontage (m) - include all frontages	8.44m /landlocked	8m / 93 m
Depth (m) - indicate if irregular	Irregular	irregular
Area (m ² or ha)	400.4 m ² /1,671.2 m ²	Approx. 15,240 m ²
This lot fronts on (Name of St/Rd)	Moonrise/landlocked	Moonrise / Perseus

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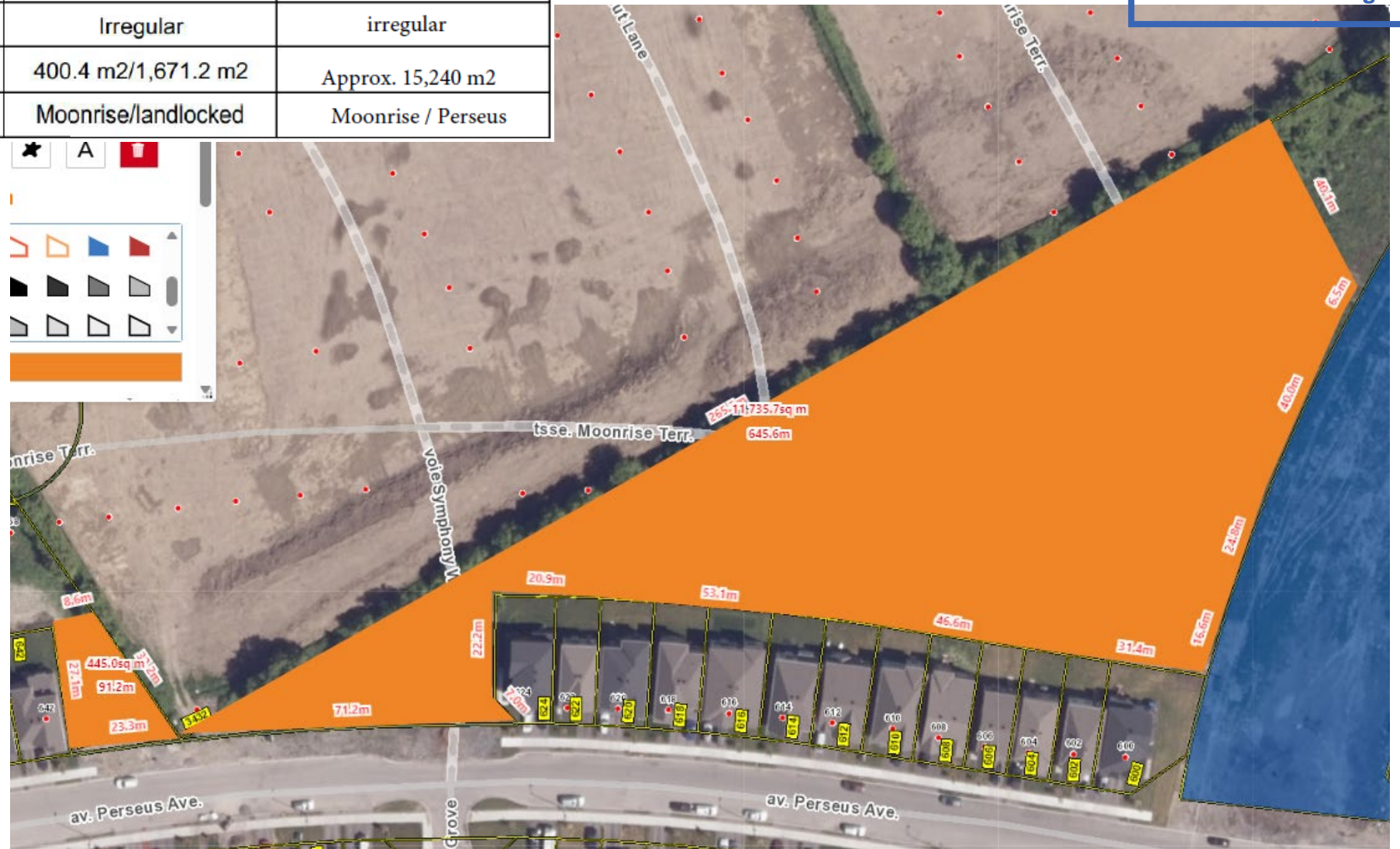
Retained Lands

Frontage:

$23.3\text{m} / 71.2\text{m} = 94.5$

Area

$445\text{ m}^2 + 11,735\text{ m}^2 = 12,180\text{m}^2$



Committee of Adjustment

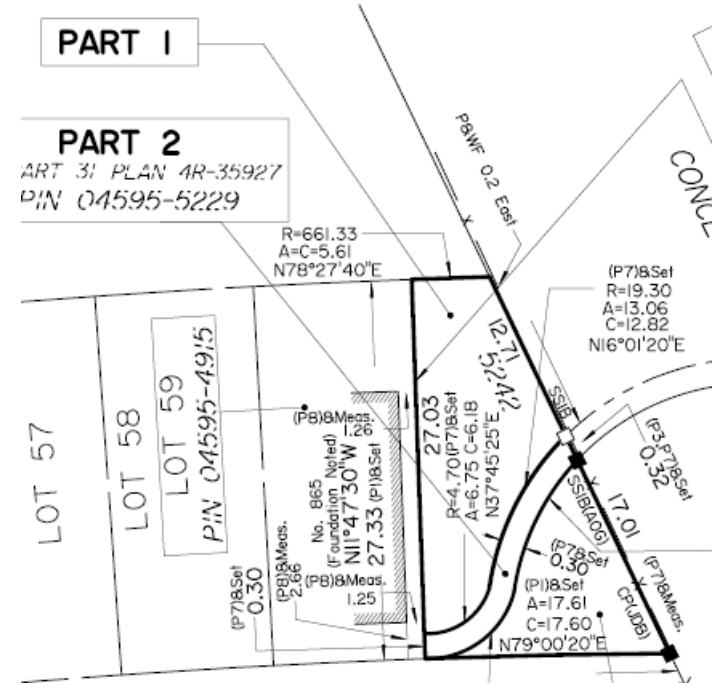
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5. Proposed conveyance

Lot	Severed	Retained
Parts on Draft Reference Plan	1	N/A
Frontage (m) - include all frontages	landlocked	31.4m
Depth (m) - indicate if irregular	irregular	irregular
Area (m ² or ha)	187.1 m2	Approx. 9,239
This lot fronts on (Name of St/Rd)	landlocked	Moonrise Terrace





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Frontage (m) - include all frontages	landlocked	31.4m
Depth (m) - indicate if irregular	irregular	irregular
Area (m ² or ha)	187.1 m ²	Approx. 9,239
This lot fronts on (Name of St/Rd)	landlocked	Moonrise Terrace

Retained Lands

Frontage:
31.4m

Area
9,057 m²

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