

2025-12-23

Cover Letter – Committee of Adjustment

To: Committee of Adjustment, City of Ottawa
Re: Minor Variance Application – 877 Contour Street, Orleans, Ontario
Owner/Applicant: Lydia Bremer

December 5, 2025

Dear Committee Members,

I am writing to formally submit a severance application for the property located at 877 Contour Street in Orleans, with the intent to divide the existing parcel into two equal lots to accommodate the development of two single detached dwellings. This proposal aligns with the City of Ottawa's Official Plan objectives and complies fully with the zoning provisions under By-law 2008-250, specifically R3Z (1743). The proposal seeks to permit a lot width of 7.62 m, whereas the Zoning By-law requires 9.00 m.

Property Overview

- Civic Address: 877 Contour Street, Orleans
- Current Lot Dimensions: 15.24 m frontage × 30.85 m depth (470.77 m²)
- Proposed Severance: Two equal parcels of 7.63 m × 30.85 m
- Power service (Hydro Ottawa) and Bell service boxes installed

Zoning Compliance – R3Z (1743)

The proposed development adheres to all performance standards under the R3Z (1743) zoning designation:

- Minimum lot width: 9 m (proposed: 7.62 m)
- Minimum lot area: 210 m² (proposed: ~235 m² per parcel)
- Front yard setback: 5.25 m
- Rear yard setback: 7.5 m
- Interior side yard setback: 1.2 m
- Maximum building height: 9.85 m
- Driveway width: 2.6 m minimum (provided)

This variance is minor in nature, meets the intent of the Zoning By-law, conforms with the Official Plan, and is desirable for the appropriate development of the land.

The purpose of these applications is to enable the severance of the existing parcel into two separate lots (severed and retained), to support the future development of two detached dwellings - well-proportioned residential lots, which are functional, and consistent with lot patterns found throughout the immediate neighborhood, each exceeding minimum lot area requirements and capable of accommodating high-quality, compatible detached dwellings.

The proposed variance maintains the intent of the Zoning By-law by ensuring sufficient building envelope, compliance with front and rear yard setbacks, appropriate access to services, preservation of light, air, and privacy for adjacent properties. City planning staff have confirmed they have no concerns with the requested variance.

The future development will be carefully designed to remain fully consistent with the established Contour Street streetscape, which was originally built by Richcraft Homes as a community of detached single-family houses. This project will contribute to the renewal and long-term vitality of the neighbourhood while respecting its character by:

- Maintaining compatible building height, massing, and setbacks.
- Designing new detached dwellings that reflect the architectural rhythm and materials of surrounding Richcraft homes.
- Preserving the overall streetscape continuity along Contour Street.
- Making efficient use of serviced urban land while modestly increasing housing availability in OrLéans.

The Consent (Severance) will allow the creation of two appropriately dimensioned lots, while the Minor Variance application and Secondary Minor Variance application seeks relief from certain zoning performance standards - such as lot width -, required to accommodate detached dwellings in a manner that maintains neighbourhood character. The following summary provides a concise justification supporting the proposed minor variance:

Site Statistics Table

Zoning Requirement	Required	Proposed	Complies?
Lot Width	9.0 m	7.62 m	Variance Required
Lot Depth	N/A	30.85 m	Yes
Lot Area	195 m ²	235.39 m ²	Yes
Front Yard Setback	5.25 m	Complies (future building)	Yes
Rear Yard Setback	6.0 m	Complies (future building)	Yes
Building Type	Detached	Detached	Yes
Servicing	Independent	Independent	Yes

The subject property is a rectangular residential parcel located on the north side of Contour Street within an established low-density neighborhood, and it is currently a vacant lot - suitable for the creation of two new residential lots through consent and variance.

Intent of the Official Plan

- Supports gentle residential intensification within existing neighborhoods.
- Uses urban land efficiently and makes optimal use of municipal services.
- Encourages compatible low-rise residential development.

Intent of the Zoning By-law

- Maintains orderly development and neighborhood character.
- The loss exceeds minimum lot area and maintains appropriate setbacks.
- The reduced width does not compromise privacy, access, safety, or streetscape.

Desirable for Appropriate Development

- Creates two functional, well-proportioned detached dwelling lots.
- Enhances neighborhood vitality while maintaining architectural compatibility.
- No adverse impacts anticipated for adjacent owners or municipal servicing.

Minor Nature of the Variance

- Reduction of 1.37 m is modest and comparable to past approvals in the vicinity.
- Variance affects width only; all other performance standards are satisfied.
- Qualitatively minor due to the lot depth, total area, and design compatibility.

Severance Rationale

This severance supports intensification goals outlined in Ottawa's Official Plan by:

- Promoting gentle density in a mature residential neighbourhood
- Enhancing housing diversity through two modestly scaled, family-oriented dwellings
- Respecting existing streetscape with compatible massing, setbacks, and architectural character
- Optimizing underutilized land while maintaining full compliance with zoning and building code standards
- The proposed dwellings will feature efficient footprints, attached garages, and front-facing balconies to enhance curb appeal and marketability. Each unit will include three bedrooms and a den on the second floor, a developed basement with additional living space, and a layout tailored to modern family needs.

Supporting Materials

- Proposed site plan and elevation sketches
- Floor plan layouts
- Zoning compliance summary
- Severance justification map and metrics

Severance Sketch Description

Property Address: 877 Contour Street, Orleans, Ontario

Zoning: R3Z (1743) – Residential Third Density Zone

Lot Area: 470.77 m²

Proposed Severance: Two equal parcels of 7.63 m frontage × 30.85 m depth

Overview

This sketch illustrates the proposed severance of the subject property into two equal lots, each intended to accommodate a single detached dwelling. The layout complies with all applicable provisions under Zoning By-law 2008-250 for R3Z (1743), including minimum lot dimensions, setbacks, and building height.

Site Plan Features

- **Lot Dimensions:**
 - Total frontage: 15.26 m
 - Total depth: 30.85 m
 - Each severed lot: 7.63 m × 30.85 m
- **Setbacks (per dwelling):**
 - Front yard: 5.25 m
 - Rear yard: 7.5 m
 - Interior side yards: 1.2 m
- **Driveway Width:** 2.6 m minimum
- **Building Footprint:** ~5.15 m × 17.6 m
- **Maximum Building Height:** 9.85 m from grade

Elevation Features

- Two-storey single detached dwelling with attached garage
- Front-facing balcony above garage/main entrance
- Clearly marked grade line and roof peak
- Door and window placements shown on elevation sketch
- Architectural massing compatible with surrounding built form

Compliance Summary: R3Z (1743)

Planning Rationale – Severance & Development Proposal

Property Address: 877 Contour Street, Orleans, Ontario

Zoning: R3Z (1743) – Residential Third Density Zone

Proposal: Severance into two equal parcels (7.63 m frontage × 30.85 m depth) with construction of two single detached dwellings

1. Purpose of Application and Secondary Application

The purpose of this application is to sever the existing parcel into two equal lots to accommodate two single detached dwellings. This proposal supports intensification objectives, provides additional housing choice, and respects the established character of the neighbourhood.

2. Policy Context

- **City of Ottawa Official Plan (OP):**
 - Supports *gentle intensification* in established neighbourhoods.
 - Encourages efficient use of existing infrastructure and services.
 - Promotes diverse housing forms to meet community needs.
- **Zoning By-law 2008-250 (R3Z 1743):**

The proposal complies with all performance standards:

2. Policy Context

- City of Ottawa Official Plan (OP):
- Promotes gentle intensification in established neighbourhoods.
- Encourages efficient use of existing infrastructure and services.
- Supports diverse housing forms to meet community needs.
- Zoning By-law 2008-250 (R3Z 1743): min lot width: 7.5 m (proposed: 7.63 m), min lot area: 210 m² (proposed: ~235 m² per parcel), maximum building height: 9.85 m (proposed: 9.85 m)
- Front yard setback: 5.25 m (proposed: 5.25 m)
- Rear yard setback: 7.5 m (proposed: 7.5 m)
- Interior side yard setback: 1.2 m (proposed: 1.2 m)
- Driveway width: 2.6 m minimum (proposed: 2.6 m)
- All standards are met or exceeded.

3. Compatibility with Surrounding Area

- Built Form: Proposed dwellings are consistent with the scale and massing of nearby homes.
- Streetscape: Front-facing balconies and attached garages enhance curb appeal while maintaining rhythm with adjacent properties.
- Neighbourhood Character: The design respects existing residential patterns while introducing modern, family-oriented housing.

4. Severance Rationale

- Efficient Land Use: Dividing the parcel optimizes underutilized land.
- Housing Supply: Adds two family-sized dwellings in a growing community.
- Market Appeal: Two-storey homes with garages and balconies are highly desirable in Orleans, supporting quick absorption.
- Community Benefit: Supports intensification without altering neighbourhood character, aligning with OP Section 2.2.2 (Managing Growth).

5. Conclusion

The proposed severance and development at 877 Contour Street is:

- Fully compliant with R3Z (1743) zoning standards.
- Consistent with the City of Ottawa Official Plan.
- Compatible with the surrounding neighbourhood.
- Supportive of intensification, housing diversity, and efficient land use.

Approval of this application and secondary application will contribute positively to the Orleans housing market and provide high-quality, family-oriented dwellings that respect the existing community fabric.

877 CONTOUR STREET, ORLEANS

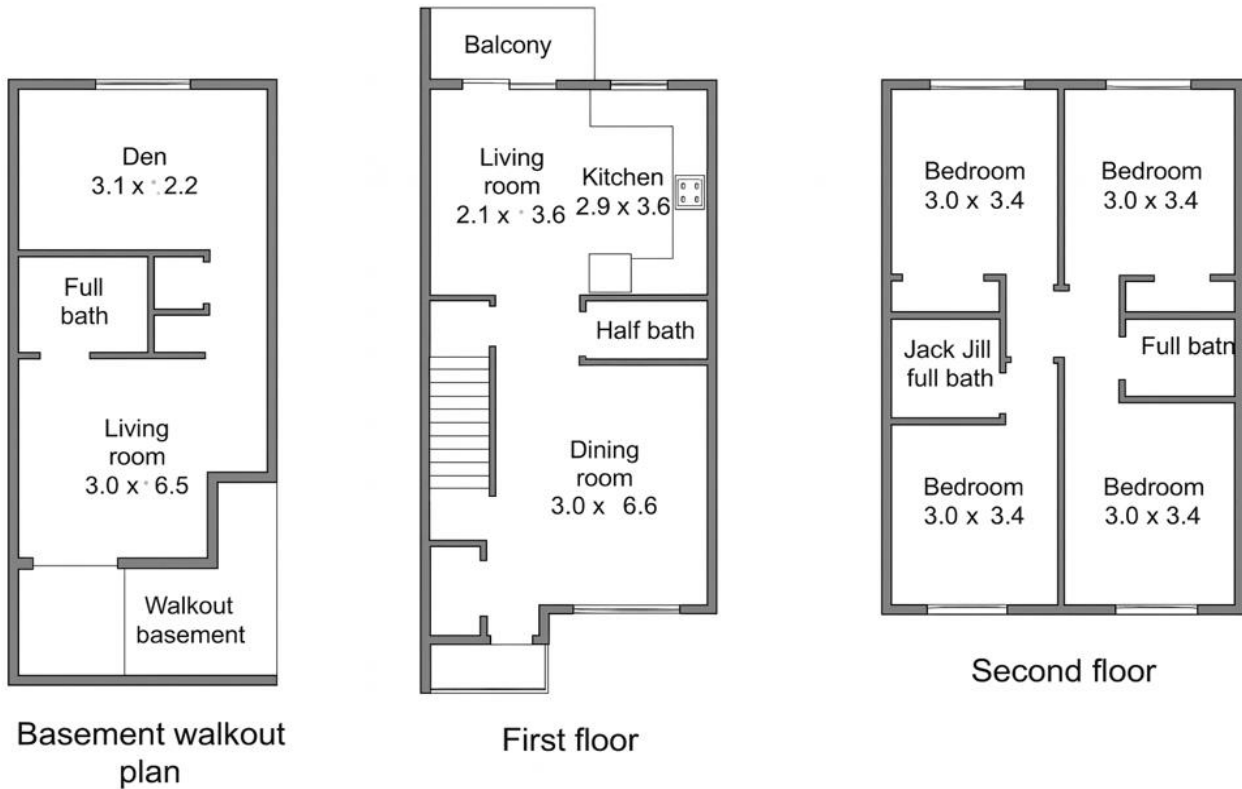
Single Detached Two-Storey with Walkout Basement

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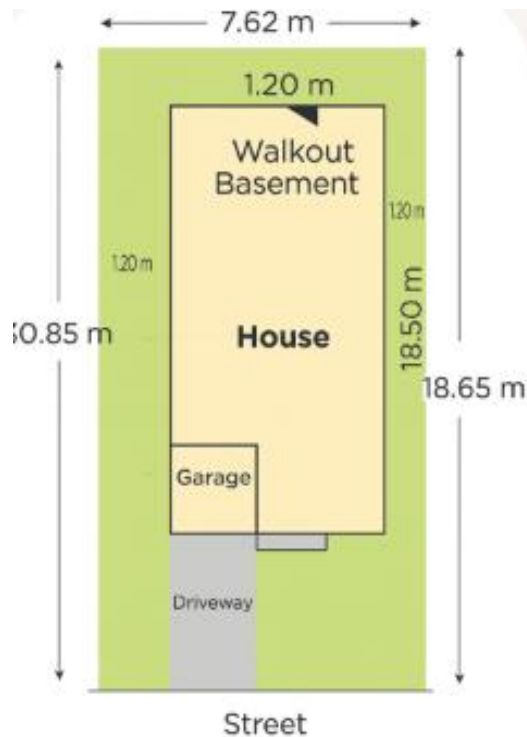
Rendering Front and Rear



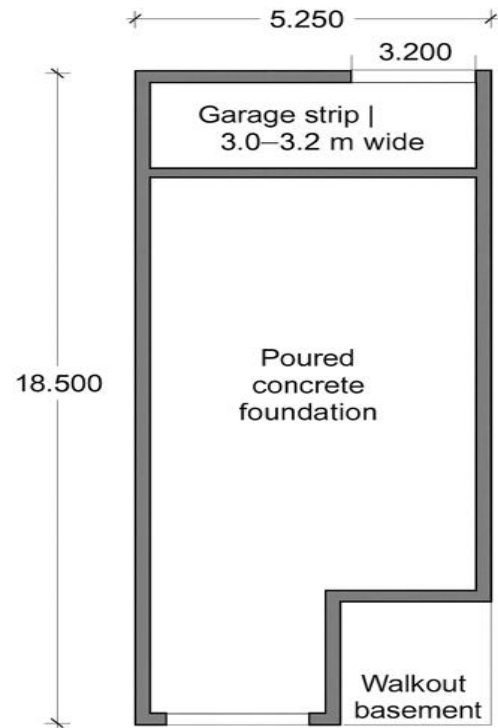
Proposed: Floor Plan Layout



Site Plan



Footprint Plan



Feasibility of a walkout basement with R3Z (1743) setbacks

- Given your footprint and setbacks, a rear walkout basement is viable on a 7.62 m × 30.85 m parcel in Orleans if the entrance, stairs, and landing remain within the rear yard setback and you provide frost protection for exposed footings, compliant drainage/waterproofing, and OBC-compliant egress details.
- Based on the parcel area of 7.62 m × 30.85 m and the building footprint of 5.15 m × 17.6 m, a rear walkout basement is feasible while maintaining required setbacks.
- With a 5.25 m front yard setback, the remaining depth behind the footprint is approximately 8.0 m, which accommodates a 7–7.5 m rear yard setback and leaves up to 0.5–1.0 m for stairs/landing within the rear yard envelope, pending local rules on projections and accessory structures

Walkout Basement - Key compliance considerations

- **Setbacks and projections:** The walkout entrance, stairs, and any landing will fit within the rear yard setback envelope - must be confirmed for Ottawa R3Z (1743) before finalizing dimensions.
- **Footing and frost protection:** If excavation for the walkout exposes or reduces cover over the existing strip footing, provide structural details (insulation, thickened slab/footing, or extended frost walls) to prevent frost action and thermal bridging.
- **Drainage and waterproofing:** Include perimeter drains, positive grading away from the entrance, and compliant waterproofing assemblies to protect the walkout area and foundation.
- **Egress and safety:** will be ensured door clear widths, stair rise/run, guards/rails, and landings meet Ontario Building Code requirements for exits and exterior stairs; incorporate lighting and slip-resistant surfaces.
- **Lot coverage and grading:** will be verified that any rear deck, retaining walls, or walkout structures do not exceed lot coverage limits and that grading changes maintain overland flow without affecting neighbours

Site & Building Footprint Details

- Lot dimensions: 7.62 m frontage × 30.85 m depth
- Building footprint: 5.15 m wide × 17.6 m deep
- Height: 9.85 m (height)
- Setbacks (per dwelling): Front yard: 5.25 m | Rear yard: 7.5 m | Side yards: 1.2 m each
- Driveway width: 2.6 m
- Porch and balcony shown on front elevation
- Rear deck accessed via a patio door - positioned directly above the large basement window
- Realistic textures: beige siding, red brick base, asphalt roof, and white-framed windows
- Full zoning compliance with R3Z (1743):
7.62 m × 30.85 m parcel, 5.15 m × 17.6 m footprint, 7 m rear yard setback - all dimensions meet minimums

Floor Plan Overview

- **Basement:** 1 bedroom, den, living/family room, full bath
- **Main Floor:** Kitchen, living/dining, powder room, garage, den
- **Second Floor:** 3 bedrooms, den, 4-piece bath, balcony access, centered window above the patio door on the 2nd floor
- Full compliance with R3Z (1743) zoning: 9.85 m height, setbacks, and grade line clearly marked

Floor Plan Breakdown

Second Floor:

- Master with full ensuite and walk-in closet
- Two bedrooms with Jack and Jill bathroom
- 1 den and balcony access from hallway - clear hallway circulation and zoning compliance (R3Z 1743)

Main Floor:

- Kitchen with center island living/dining area
- ½ bath
- Rear deck access
- Mudroom and closet
- Garage

Walk-Out Basement (developed):

- 1 bedroom
- 1 den
- Living/family room
- 1 full bathroom

Additional Project Information:

- Two-storey single detached home with gable roof, height: 9.85 m from grade
- Gable roof with chimney and realistic siding and brick textures
- Front porch with columns and covered entry
- Balcony above garage with patio door and centered second-floor window
- Brick and siding façade with realistic textures
- Garage and main entrance clearly shown

Front-Facing Balcony

- **Balcony placement:** Above the garage/main entrance, facing the street
- **Elevation view:** Shows balcony railing, sliding door access, and symmetrical window layout
- **Grade line:** Clearly marked for zoning compliance
- **Building height:** 9.85 m from grade to roof peak

I respectfully request the Committee's support in approving this severance, which represents a thoughtful, compliant, and community-enhancing development. I am available to provide any further documentation or clarification required.

Thank you for your attention and consideration.

Sincerely,



Lydia Bremer
Owner – 877 Contour Street, Orleans Ontario