



P-Squared Concepts  
Minor Variance Cover Letter  
47 Rockcliffe Way

Committee of Adjustment  
Received | Reçu le  
November 18th, 2025  
2025-11-19  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

City of Ottawa Committee of Adjustment  
101 Centrepointhe Drive, 4th Floor  
Ottawa, ON K2G 5K7

Attn: Mr. Michel Bellemare  
Secretary Treasurer

Re: 47 Rockcliffe Way (Minor Variance application) - Ward 13  
Lot 93 & Part of reserve in Block E, Registered Plan 4M-51, City of Ottawa

On behalf of our clients, we are submitting the enclosed Minor Variance application for the property located at 47 Rockcliffe Way. The proposal involves constructing a **two-storey rear addition and a deck** to provide additional space for the existing two-storey single-family residence. The rear addition will expand the kitchen area to accommodate a family room and include the addition of a bathroom. On the second floor, the proposal increases the area allocated to the bedroom and also includes a bathroom. The property is zoned **R1QQ [1493] – Residential First Density, Subzone QQ** under **Zoning By-law 2008-250, as amended**. Urban Exception [1493] contains specific provisions related only to the maximum height limit. The property is located within the **Inner Urban Transect**, designated as a **Neighbourhood**, and falls within the **Mature Neighbourhood Overlay**, as per the City of Ottawa Official Plan.



Fig. 1. Schedule B2 - Inner Urban Transect, City of Ottawa Official Plan.



*Fig.2. Aerial imagery showing the surrounding context of the subject site, Google Maps.*



*Fig 3. Subject property showing existing dwelling to be retained, and existing rear accessory structure deck and porch to be demolished.*

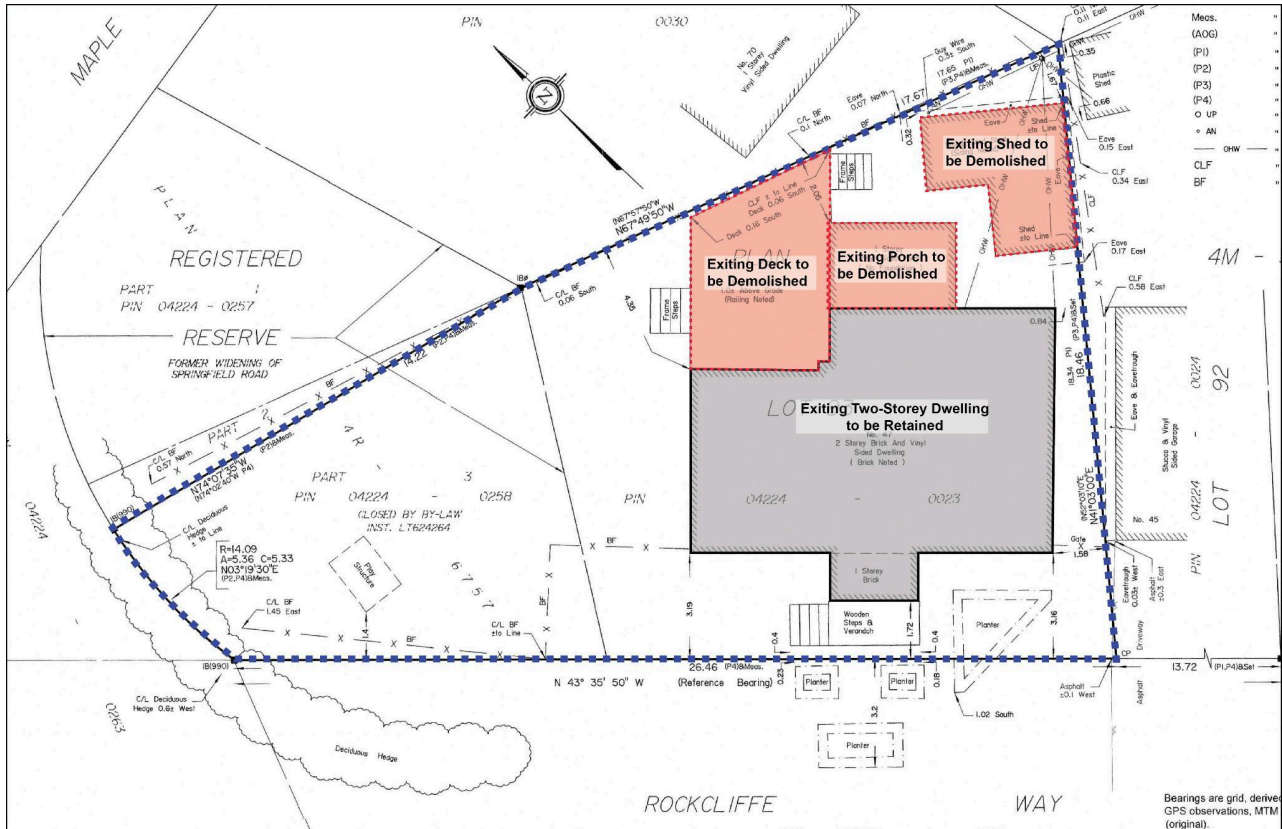


Fig 4. Survey Plan showing the *property boundary*, the *existing two storey dwelling to be retained* and *existing shed, porch and deck to be removed*, by Farley, Smith & Denis Surveying Ltd. dated June 16th, 2025.

### Minor Variance Application

- A) Minimum Lot Area. The existing lot area is 339.4 m<sup>2</sup>, whereas the minimum lot area Zoning By-Law requirement is 360 m<sup>2</sup> (Table 156A, III, Zoning By-Law 2008-250, as amended).
- B) Rear Yard Area. The rear yard area after the proposed development is 11% of the lot area or 37.87 m<sup>2</sup>, whereas the minimum rear yard area Zoning By-Law requirement is 25% of the lot area or 84.85 m<sup>2</sup> (Table 156B, Endnote 7, Zoning By-Law 2008-250, as amended).
- C) Rear Yard Setback. The proposed rear yard setback is 1.2 m, whereas the minimum rear yard setback Zoning By-Law requirement is 4 m (Table 156B, Endnote 7, Zoning By-Law 2008-250, as amended).

D) Maximum Extent of Eaves Projection into the yard. *The proposed eaves project up to 1.18 m into the interior side yard, with the closest point located 0.27 m from the interior side lot line (while all other portions of the eaves remain at or beyond the required 0.30 m setback). By comparison, the Zoning By-law permits a maximum projection of 1.0 m and requires eaves to be no closer than 0.30 m to any lot line (Table 65 (2), II, Zoning By-Law 2008-250, as amended).*

The existing dwelling on the subject property was constructed pre-1928. The existing property has a two-storey dwelling to be retained, and accessory structure (shed), porch and deck at the rear yard to be demolished. The removal of this shed will eliminate an existing non-complying structure, which has a 0 m setback to the side lot line, a 0.32 m setback to the rear lot line, and eaves that encroach 0.17 m onto the neighbouring property at 45 Rockcliffe Way. This application is to construct a new two-storey addition at the rear and deck projection for the property owners' use. The zoning relief proposed in this application relates only to the lot area, rear yard area, rear yard setback, and the extent of eaves projection to the property line. All other zoning provisions are met by this proposal including the lot width, corner side yard setback, building height, and soft landscaping areas.

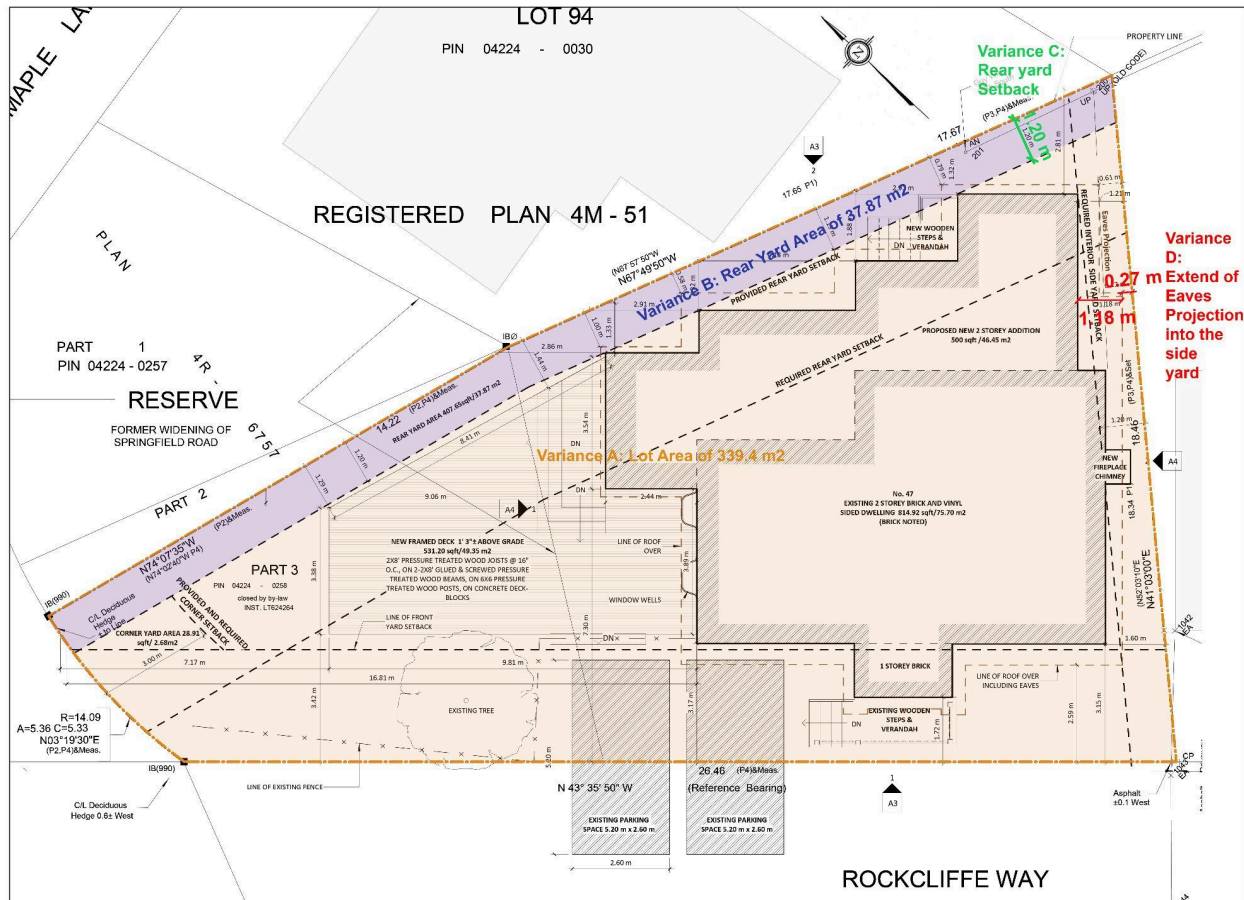


Fig.5. Site plan prepared by Wei Sanchez Design Studio dated November 12th, 2025, showing the requested Minor Variances for the proposed development of two storey rear addition and a deck in the west of the property.

The four tests of a **Minor Variance** application from Section 45 (1) of the Planning Act are that the variances are to maintain the general intent and purpose of the Official Plan and the Zoning By-law, are desirable for the appropriate development or use of the land and building, and are minor in nature.

**1. The variances are minor in nature.**

The requested variances are minor in nature, as they do not represent significant departures from the Zoning By-law or result in any adverse impacts on the abutting properties or the neighbourhood as a whole. They also do not compromise the functionality or intent of the proposed development. The purpose of this Minor Variance application is to permit a slight reduction in the lot area, rear yard setback and rear yard area, as well as a minor projection of the eaves into the interior side yard. The proposal maintains compatibility with the established character and functionality of the surrounding area.

**Variance A** requests a reduction in lot area to 339.4 m<sup>2</sup>, whereas the Zoning By-law requires a minimum of 360 m<sup>2</sup>, representing a decrease of 20.6 m<sup>2</sup> (5.7%). The reduction is considered minor in nature and does not compromise the functionality of the property, which provides adequate space for the dwelling, the proposed rear addition, open yard areas, and overall site access. The variance does not result in any adverse impacts on adjacent properties or the surrounding neighbourhood.

A review of adjacent properties within the R1QQ [1493] zone, including those on Rockcliffe Way (refer Fig. 6), shows lot sizes ranging from 228 m<sup>2</sup> to 353 m<sup>2</sup>, many with similar irregular configurations and rear additions. This established pattern provides a clear precedent supporting the requested relief. The proposed reduction in lot area is compatible with the existing built form and neighbourhood character, facilitating the continued use and modest improvement of the property in a manner consistent with the intent of the Zoning By-law and the Official Plan.

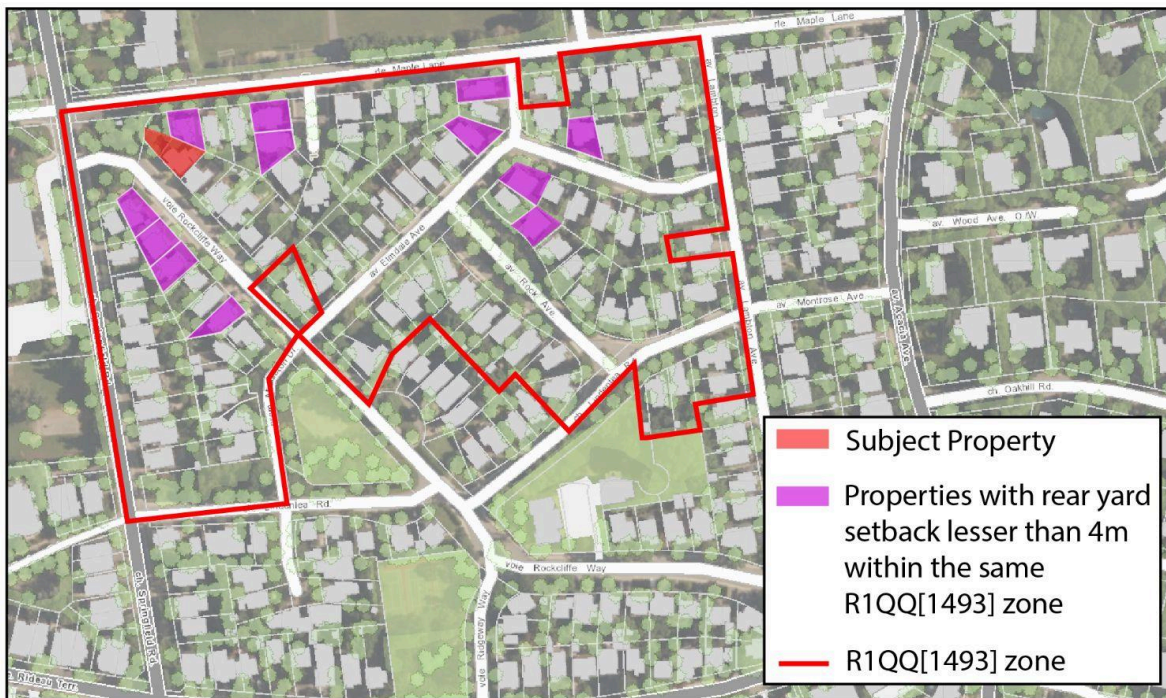


Fig.6. Diagram showing properties with a lot area smaller than 360m<sup>2</sup> within the same zone (R1QQ[1493]) as the subject property.

**Variance B** intends to reduce the minimum required rear yard area from 25% of the lot area (84.85 m<sup>2</sup>) to 11% of the lot area (37.87 m<sup>2</sup>), representing a reduction of 14% from the Zoning By-law requirement. The subject property's irregular corner-lot configuration limits buildable area and largely accounts for the deficiency. The proposed addition extends the existing dwelling in a staggered rear façade that follows the lot's geometry, ensuring efficient use of space without overdevelopment or encroachment. The reduction results primarily from the lot's shape, not from massing or scale. If calculated

on a regular lot, the same footprint would meet the requirement. Moreover, triangular areas between the angled rear lot line and the setback (verified with City planners and illustrated in Fig.10) are excluded from the calculation; including them would further increase the rear yard area, confirming that adequate open space is maintained. The proposed rear yard, 97.97% of which is soft landscaping, continues to provide effective amenity space that supports drainage, greenery, and livability, while existing vegetation and fencing preserve privacy, light, and air for both the subject and adjacent properties. Given the site's constraints and the negligible functional impact, the variance is minor in nature, maintaining compatibility with the neighbourhood and the intent of the Zoning By-law.

**Variance C** requests a reduction in the minimum required rear yard setback from 4.0 m to 1.2 m, representing a deficiency of 2.8 m. This reduction has no functional impact on the property and is consistent with the varied rear yard patterns in the neighbourhood, particularly along Rockcliffe Way (e.g., approximately 0 m at 46 Rockcliffe, 2 m at 44 Rockcliffe, 0.7 m at 42 Rockcliffe, and 2.1 m at 36 Rockcliffe, based on GeoOttawa study) (refer to Fig. 7). The variations in rear yard setbacks in the area are primarily due to inconsistent lot patterns. The proposed dwelling is positioned 1.2 m from the rear lot line. Based on GeoOttawa, the property immediately to the rear at 47 Rockcliffe (70 Maple Lane) has 0 m of rear yard setback relative to the subject property. Historical GeoOttawa aerial imagery indicates that this pattern of reduced rear yard setbacks between the subject property and the abutting rear property at 70 Maple Lane existed pre-1965, demonstrating a longstanding and consistent rear yard relationship in the neighbourhood.



*Fig.7. Diagram showing properties with rear yard setback lesser than 4 m within the same zone (R1QQ[1493]) as the subject property.*

**Variance D** seeks to reduce the minimum required distance of eaves from the interior side lot line from 0.30 m to 0.27 m, a difference of only 0.03 m. All other eaves projections on the property comply with the Zoning By-law and exceed 0.30 m from the lot lines. The requested variance applies solely to the interior side yard and represents a very minor adjustment to accommodate the proposed development's overhang. At this location, the eaves are set back less than 0.3 m from the side lot line over a length of only 0.28 m, while the remaining 12.58 m of eaves along the side lot line meet or exceed the required 0.3 m setback. In other words, only 2.2% of the total eaves length along the side lot line is below the 0.3 m standard and requires a Minor Variance. This minor reduction has no adverse impact on neighbouring properties and is consistent with existing conditions in the area. The property immediately to the east has a garage with eaves projecting just 0.03 m from its property line. Additionally, the existing shed on the subject property (which is proposed to be demolished) projects eaves up to 0.17 m into the adjacent property to the east and up to 0.07 m into the rear yard of the property to the north. Given the minimal discrepancy from the By-law requirement and the context of surrounding development, the proposed variance is considered minor in nature and compatible with the existing neighbourhood character.

In summary, the variances included in this application will permit a development consistent with the neighbourhood typology and represents an appropriate lot area. The variances are minor as they adhere to zoning purposes, and do not have any significant impact on adjacent properties, while maintaining compatibility with the surrounding suburban character.

## **2. Desirable and appropriate for the development or use of land and building.**

The only development proposed through this application is a two-storey rear addition to increase the footprint of the principal dwelling within the rear yard. The existing two-storey portion of the house at the front will remain unchanged in terms of height and front yard condition, thereby maintaining the established streetscape character. As the site is located in Area A on Schedule 342, this proposal is subject to the design guidelines listed in the Urban Design Guidelines for Low-rise Infill Housing (2023). The following section features excerpts from this guideline document and responses.

### Built Form and Exterior Design Guidelines

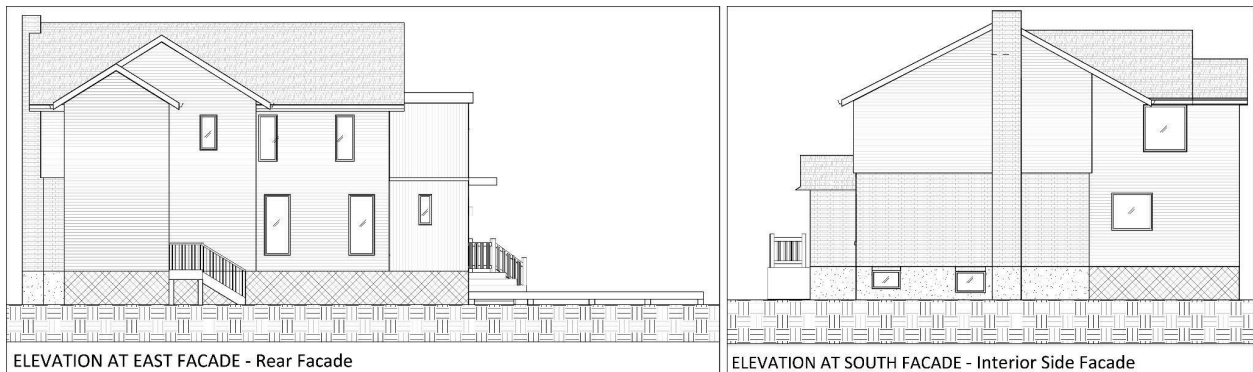
- 2.2 Building massing and scale: The massing and scale of infill buildings should consider the surrounding neighbourhood in terms of building setbacks, building width and length, and the relationship between buildings and the public realm. New infill housing should utilise architectural treatment and articulation to replicate the predominant scale and built form of the surrounding neighbourhood.

*Response: The proposed addition is located entirely at the rear of the existing two-storey dwelling and maintains the established massing, height, and front facade*

*conditions of the streetscape. The design of the addition is compatible with both the existing dwelling and the surrounding neighbourhood. The pitched roof and vinyl siding complement the existing two-storey brick and vinyl-sided home, while reflecting common materials and roof forms found throughout nearby properties (refer fig.8 & 9). Positioned at the rear of the property, the addition is largely screened from the public realm, preserving the established streetscape character.*



*Fig.8. North and West Facade Elevation.*



*Fig.9. East and South Facade Elevation.*

### Neighbourhood Character

- 1.1 Ground floor: Contribute to an inviting, safe, and accessible streetscape by emphasising the ground floor and street facade of infill buildings. Locate principal entries, windows, porches, and key internal uses at or close to street level.

*Response: No changes are proposed to the front facade, principal entrance, or ground-floor relationship with the street. The existing inviting and well-defined front elevation is fully retained, preserving the established character and maintaining an active, accessible streetscape presence along Rockcliffe Way.*

### Tree Retention & Planting

- 3.16 Existing trees: The retention and protection of existing trees is key to preserving the character of existing neighbourhoods. Incorporating existing trees into the design of the site will ensure adequate protection over time. The Tree

Protection By-law information on the City's website, "Planning Around Trees", provides guidance for tree retention on infill sites. Where trees cannot be retained on a site, ensure sufficient space is made available in the site design to plant replacement trees. The impact of construction on adjacently owned trees must also be considered early in the design process.

*Response: The Tree Information Report identified two protected trees associated with the property: a 42 cm diameter Manitoba maple on the adjacent lot at 70 Maple Lane (Tree 1) in fair/good condition, and a 50 cm diameter white spruce on the subject property (Tree 2) in good condition. Both trees are recommended to be retained and protected, with Tree 1 to be retained and its overhanging branches pruned by a certified arborist. The proposed development, including the new rear deck, has been designed to avoid tree removal and to minimise disturbance within the Critical Root Zones, with the deck constructed above grade on wood posts and a wood-chip mulch treatment recommended within the portion of the CRZ of the white spruce where work will occur. Tree protection fencing will be installed around the identified Critical Root Zones in accordance with the City of Ottawa Tree Protection By-law 2020-340 and the City's Tree Protection Specifications (March 2021), ensuring no grade changes, storage of materials, machinery operation, or excavation within the protection zones. In this way, the design incorporates existing trees into the site layout, protects an adjacent property tree, and considers construction impacts on both on-site and neighbouring trees from the earliest design stages.*

### Siting and Setbacks

- 1.7 Side Yards Side yards: Consider building heights and the location of windows to determine appropriate side and rear separation distances between existing homes and new infill housing to ensure access to natural light, views, and reasonable privacy from over-look

*Response: The addition respects the existing side-yard conditions, and maintains side yard setback provision. Window placement has been considered to minimize overlook and maintain reasonable privacy for adjacent properties. Minimal windows are added at the rear-most portion, where no building exists on the abutting property, ensuring continued access to light and privacy.*

- 1.8 Rear Yards: Maintain rear yard amenity space that is generally consistent with the pattern of the neighbouring buildings in the neighbourhood. Avoid breaking an existing neighborhood pattern of rear yards by reducing required rear yard setbacks. It is important to note that in an evolving overlay designation the prescribed rear yard setback may not be consistent with the neighbourhood pattern. In this overlay, architectural considerations and articulation should be considered to address the discrepancy between existing and planned/future rear yard setbacks.

*Response: The staggered design of the rear façade responds to the lot's irregular shape and maintains functional amenity space. While a numerical variance is required due to the lot geometry, the rear yard remains softly landscaped and consistent with the*

*established compact rear-yard pattern in the neighbourhood. The articulation of the addition ensures compatibility with both existing and future rear yard character.*

In summary, the rear addition represents a desirable and appropriate form of development. It provides a practical and sensitive enhancement to the dwelling, integrates well with the existing built form, and maintains compatibility with the character of the neighbourhood.

### **3. The variances maintain the intent of the Official Plan.**

The subject property is within the Inner Urban transect and is designated as Neighbourhood as per Schedule B2 of the Official Plan (2022). The property is also within the Mature Neighbourhood overlay. It is approximately 750 m walking distance (11 minutes walk) from Beechwood Ave which is a Mainstreet Corridor, and about 800 m walking distance (11 minutes walk) from Hemlock Rd which is a Minor Corridor. Proposed changes are to decrease the lot area, rear yard setback, rear yard area and eaves projection into the side yard. The following section features applicable excerpts from the Official Plan (2022) and responses.

#### **City of Ottawa Official Plan**

##### **2.2.4 Healthy and Inclusive Communities**

- 1) Encourage development of healthy, walkable, 15-minute neighbourhoods that feature a range of housing options, supporting services and amenities.

*Response: The subject property is well-located in an established neighbourhood well-suited for the transition to a 15-minute community, with residents having convenient proximity to basic amenities, services, and transportation. The property is within 15 - minute walking distance of a variety of amenities, such as:*

- *Lindenlea Park (200 m, 3-minute walk)*
- *Village Green Park (500 m, 6-minute walk)*
- *Ottawa Public Library (600 m, 8-minute walk)*
- *Metro Supermarket (800 m, 11-minute walk)*
- *Pet Valu (900 m, 12-minute walk)*
- *Jacobsons Grocery Store (900 m, 12-minute walk)*
- *Anytime Fitness (1 km, 13-minute walk)*
- *MacKay United Church (1 km, 13-minute walk)*
- *Schools (St. Brigid School (100 m, 1-minute walk), St-Laurent Academy-Ottawa Private School (230 m, 3-minute walk), Ashbury College (400 m, 5-minute walk), Rockcliffe Park Public School (550 m, 7-minute walk), Rockcliffe Park Public School (550 m, 7-minute walk), Fern Hill School (750 m, 10-minute walk)*
- *Additional amenities within 15-minute walking distance include banks, restaurants, and various bus stops.*

*Furthermore, the property is located within a 30-minute walk and 15 minute bike ride to other daily and weekly needs like Shoppers Drug Mart (28-min walk / 8-min bike ride),*

*Ottawa Public Library (24-min walk / 8-min bike ride), and some other parks, restaurants, gyms, banks, and various bus stops.*

**4.7.2 Pursue an affordable and sustainable pattern of infrastructure development**

- 2) Development in Public Service Areas shall be on the basis of both public water and wastewater services (full services).

*Response: The proposal maintains a single detached dwelling and does not introduce any new units or intensification that would alter existing demands on municipal water or wastewater infrastructure. The site is already fully serviced with public water and sewer, and the rear addition will continue to rely on the same full municipal servicing system. No off-site upgrades are required. As such, the proposal maintains the intended efficient and sustainable use of existing infrastructure, consistent with Policy 4.7.2.*

**5.2.1 Enhance or establish an urban pattern of built form, site design and mix of uses**

- 1) The Inner Urban Transect’s built form and site design includes both urban and suburban characteristics as described in Table 6. Its intended pattern is urban.

URBAN	SUBURBAN
Shallow front yard setbacks and in some contexts zero front yards with an emphasis on built-form relationship with the public realm	Moderate front yard setbacks focused on soft landscaping and separation from the right-of-way
Principal entrances at grade with direct relationship to public realm	Principal entrances oriented to the public realm but set back from the street
Range of lot sizes that will include smaller lots, and higher lot coverage and floor area ratios	Larger lots, and lower lot coverage and floor area ratios
Minimum of two functional storeys	Variety of building forms including single storey
Buildings attached or with minimal functional side yard setbacks	Generous spacing between buildings
Small areas of formal landscape that should include space for soft landscape, trees and hard surfacing	Informal and natural landscape that often includes grassed areas

*General Characteristics of Urban Built Form and Suburban Built Form and Site Design, Table 6, Official Plan.*

*Response: The proposal reinforces the urban pattern characteristic of Inner Urban Neighbourhoods. The existing two-storey detached dwelling (with its established relationship to Rockcliffe Way) remains unchanged in height, front yard condition, and*

entrance orientation. The rear addition continues the two-storey form, consistent with the minimum built height requirements. The neighbourhood includes a wide range of lot sizes, many smaller than the subject property's 339.4 m<sup>2</sup>, and the requested lot area variance reflects an established pattern of compact urban lots typical of the Inner Urban Transect. Minimal but functional side yard setbacks are maintained, and the proposed eaves variance applies only to a small portion of the interior side yard at the rear addition, where no structure exists on the abutting lot. (The reduced setback occurs over only 0.28 m of eaves; the remaining 12.58 m meet the 0.3 m requirement, so just 2.2% of the eaves length requires relief), ensuring no impact on the urban pattern or neighbouring buildings. The addition is placed entirely in the rear yard, screened from the public realm, and therefore preserves the visual character, rhythm, and built-form relationships of the streetscape. The resulting development remains fully compatible with the low-rise, compact urban fabric envisioned by Section 5.2.1

**5.2.4 Provide direction to the Neighbourhoods located within the Inner Urban Transect**

- c) Provides for a low-rise built form, by requiring in Zoning a minimum built height of 2 storeys, generally permitting 3 storeys, and where appropriate, will allow a built height of up to 4 storeys to permit higher-density low-rise residential development.

Transect	Official Plan Policy Reference	Designation	Height Category and Details
Inner Urban Transect	5.2.3(1)	Hubs	Low-rise, Mid-rise and High-rise: minimum 3 storeys and maximum 40 storeys
	5.2.3(2)	Mainstreet Corridors	Low-rise and Mid-rise and High-rise: minimum 2 storeys and maximum 40 storeys dependent on road width and transition
	5.2.3(3)	Minor Corridors	Low-rise and Mid-rise: minimum 2 storeys and <del>maximum-4 storeys</del> maximum of 6 storeys
	5.2.4(1)	Neighbourhoods	Low-rise: minimum 2 storeys, generally permit 3 storeys, allow built height of up to 4 storeys where appropriate

Minimum and Maximum Height Overview Based on Official Plan Policy, Table 7, Official Plan.

*Response: The development maintains a two-storey low-rise form, consistent with and reinforcing the intended built height for Inner Urban Neighbourhoods on Table 7 of the official plan. No increase in height is proposed, and the addition remains below both the Zoning By-law height limit and the OP's general low-rise permissions. The massing remains appropriate and modest, as the addition is located at the rear of the existing dwelling, minimizing visibility from the street and maintaining compatibility with the mature neighbourhood character. The proposal supports the Official Plan's objectives by providing incremental improvement to an existing home without altering the prevailing low-rise typology. This reflects the OP's direction for gentle evolution within Neighbourhoods while preserving their scale, character, and transitions.*

**4. The variances maintain the intent of the Zoning By-Law.**

The purpose of the R1- Residential First Density Zone is to:

- (1) *restrict the building form to **detached dwellings** in areas designated as General Urban Area in the Official Plan;*
- (2) *allow a number of other residential uses to provide additional housing choices within detached dwelling residential areas;*
- (3) *permit ancillary uses to the principal residential use to allow residents to work at home;*
- (4) *regulate development in a manner that is **compatible with existing land use patterns** so that the detached dwelling, **residential character of a neighbourhood is maintained or enhanced**; and*
- (5) *permit different development standards, identified in the Z subzone, primarily for areas designated as Developing Communities, which promote efficient land use and compact form while showcasing newer design approaches.*

In the R1 Zone, Permitted Uses include **detached dwelling**. Detached Dwelling means a residential use building that contains only one principal dwelling unit or oversized dwelling unit.

The intent of the lot area requirement is to preserve a low-density neighbourhood pattern while ensuring enough space for a functional site layout; including landscaping, parking, setbacks, and amenity areas. Although the subject lot measures 339.4 m<sup>2</sup>, slightly below the 360 m<sup>2</sup> minimum, this modest shortfall of 20.6 m<sup>2</sup> does not compromise or alter that intent. The site still meets the key performance standards of corner side yard soft landscaping, rear yard soft landscaping, and building height, demonstrating that a functional detached-dwelling form can be achieved. The lot size is also compatible with the established context along Rockcliffe Way within the R1QQ zone, where comparable or smaller lots exist (e.g., approximately 269.8 m<sup>2</sup> at 44 Rockcliffe, 347 m<sup>2</sup> at 43 Rockcliffe, 305 m<sup>2</sup> at 45 Rockcliffe, 300 m<sup>2</sup> at 42 Rockcliffe, 312 m<sup>2</sup> at 40 Rockcliffe, 311 m<sup>2</sup> at 38 Rockcliffe, and 228 m<sup>2</sup> at 36 Rockcliffe; refer to fig.6). Accordingly, the variance maintains the purpose of the R1QQ zoning by preserving detached houses as the predominant built form.

The intent of the rear yard area requirement is to ensure that each property provides adequate outdoor amenity space, soft landscaping, and sufficient separation between dwellings to maintain privacy, livability, and the low-density residential character envisioned by the Zoning By-law. The subject property, located on a corner lot, has an irregular lot configuration that limits how the site area can be functionally used. The lot has a frontage of 26.46 m, a side lot line of 18.46 m, a corner side lot line of 14.09 m, and two rear lot segments measuring 14.22 m and 17.67 m, resulting in a non-linear rear lot line. Although the total lot area is 339.4 m<sup>2</sup>, the irregular geometry constrains the buildable envelope. The existing dwelling, with a footprint of approximately 76.2 m<sup>2</sup>, has a width of 10 m and a depth varying from 7 m on the east to 5.5 m on the west facade. The proposed addition would extend the east facade depth to 11.5 m and the west facade to 7.5 m, creating a staggered rear facade that responds to the irregular lot

shape. The reduction in rear yard area arises primarily from this irregular geometry rather than from overdevelopment or encroachment. On a regular rectangular lot of comparable size, the same building footprint would not trigger a reduction in rear yard area.

Numerically, the By-law requires a rear yard area of 25% of the lot (84.86 m<sup>2</sup>). The proposal provides 37.87 m<sup>2</sup> of rear yard area (or 11% of lot area), and all of the rear yard area is softly landscaped (37.87 m<sup>2</sup>, or 100 % of the provided rear yard), delivering high-quality, permeable amenity space that supports drainage, greenery, and livability. Furthermore, the triangular spaces created between the provided rear yard setback and the building edge, resulting from the angled rear lot line and the staggered rear facade, and shown in Figure 10 in orange, are not included in the rear yard area calculation (as confirmed with City planners). If these triangular areas were counted, the rear yard area would increase from 37.87 m<sup>2</sup> to 45.69 m<sup>2</sup>, further demonstrating that more rear yard open space is provided than reflected in the formal calculation.

In combination with existing screening and setbacks elsewhere on the lot, the rear yard continues to function effectively for amenity, light/air, and privacy. Accordingly, despite the numerical variance, the proposal maintains the purpose and intent of the Zoning By-law by delivering ample, functional outdoor space and extensive soft landscaping appropriate to the established neighbourhood context and the site's unique geometry.

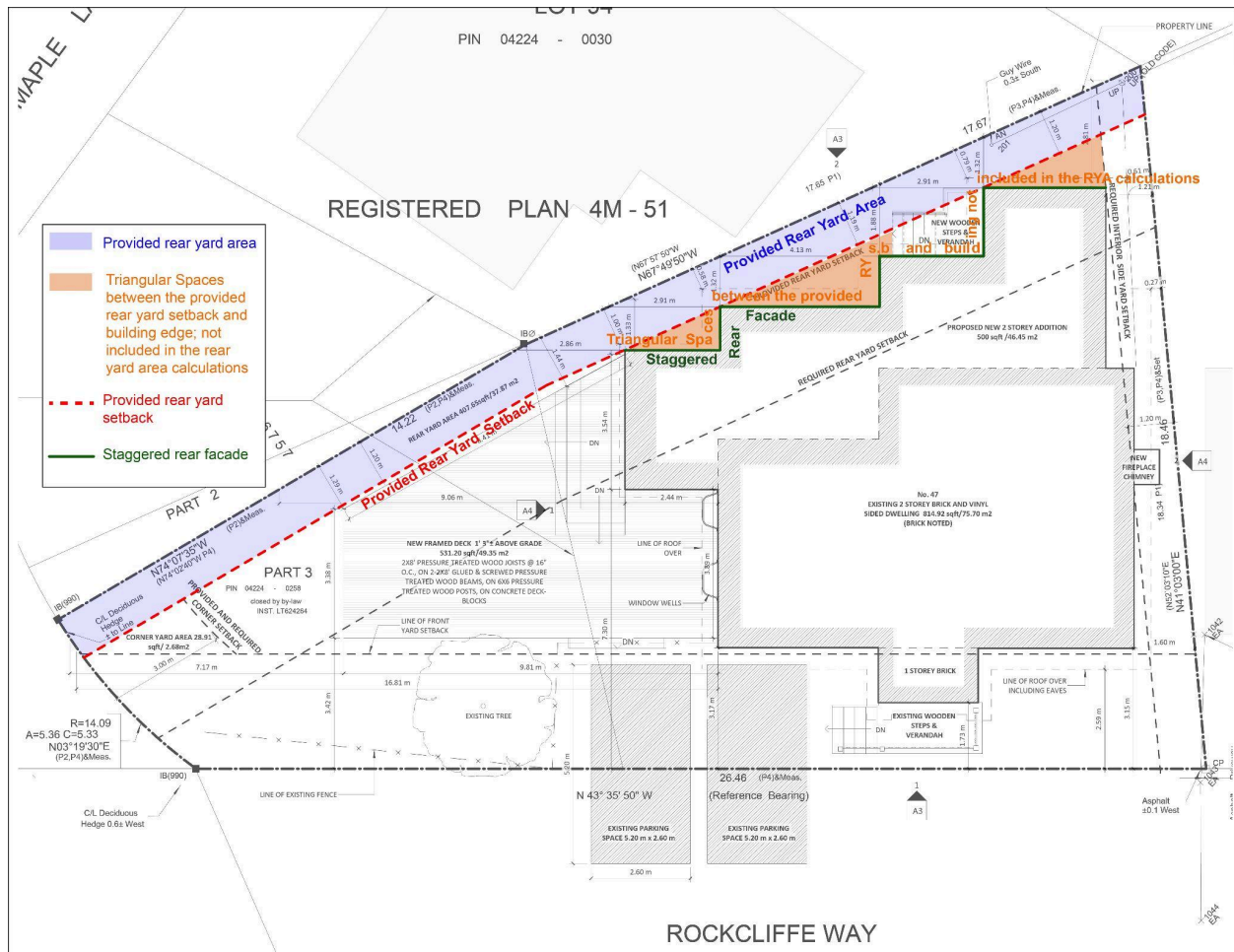
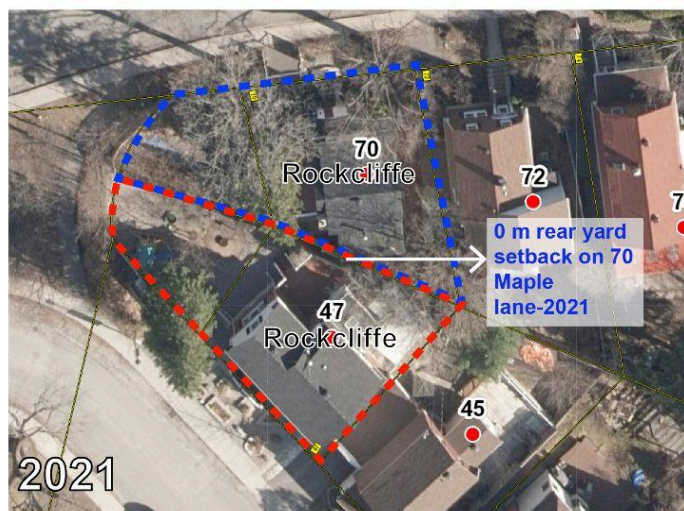
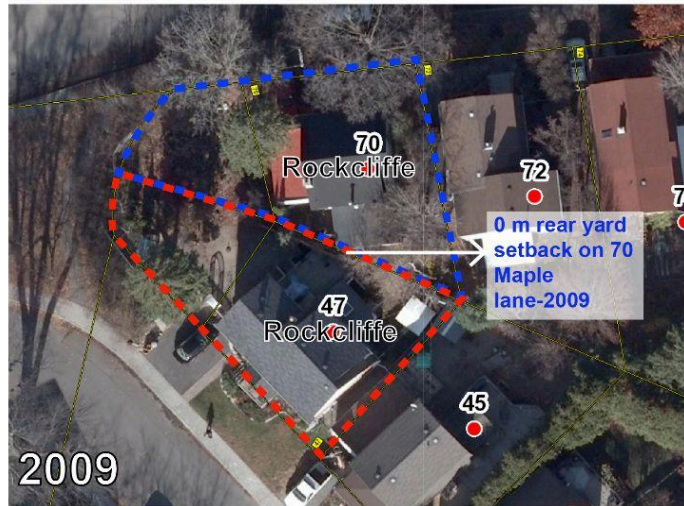
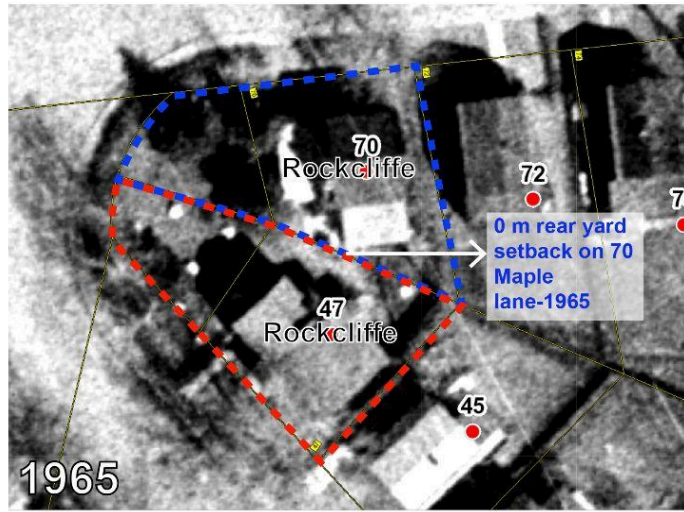


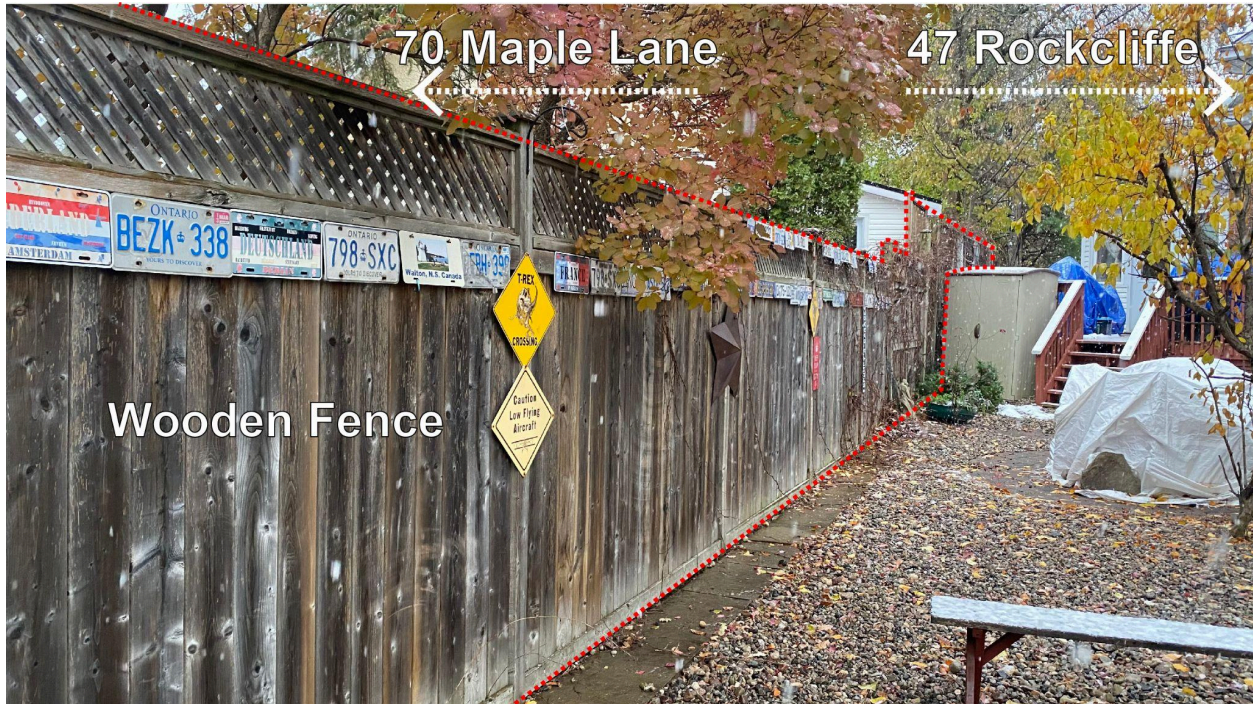
Fig.10. Site plan overlay illustrating the irregular lot configuration of 47 Rockcliffe Way, including the angled rear lot line and triangular spaces adjacent to the provided rear-yard setback, which influence the rear-yard area calculation.

The rear yard setback exists primarily to preserve usable outdoor amenity space and, secondarily, to protect privacy for abutting properties. The proposed addition would be set 1.2 m from the rear lot line. GeoOttawa basemaps indicate the abutting property at 70 Maple Lane has a 0 m rear setback to the shared lot line, and historical aerial imagery shows this rear yard pattern has been in place since 1965 (and likely earlier), although the available GeoOttawa aerial imagery is not of sufficient quality to clearly illustrate the condition prior to 1991. (refer Fig.11). The proposed development also meets and exceeds the minimum rear yard soft landscaping requirement, providing 37.87 m<sup>2</sup>, or 100 % of the provided rear yard well above the required 15% of the rear yard area (5.68 m<sup>2</sup>). Outdoor amenity space on the subject property is thereby preserved, and existing screening features including a Manitoba maple in fair/good condition on 70 Maple Lane and a wooden fence along the shared boundary (Fig.12), maintain privacy for both properties. Accordingly, the reduced setback continues to meet the intent of providing functional outdoor space while respecting neighbour

privacy.



*Fig.11. Historical aerial imagery from 1965, 2009, and 2021 illustrates the rear yard setback pattern between 47 Rockcliffe Way and 70 Maple Lane, Geottawa.*



*Fig.12. Wooden fence along the shared boundary between 47 Rockcliffe Way and 70 Maple Lane.*

The intent of the maximum eaves projection provision is to ensure that roof overhangs do not encroach excessively into required yards, thereby maintaining adequate separation between buildings, protection for adjacent properties, and space for drainage and maintenance access. The proposed eaves project 1.18 m into the side yard and are located 0.27 m from the interior side lot line, representing an additional 0.18 m of projection and a 0.03 m reduction in setback compared to the By-law standard of a maximum 1.0 m projection and a 0.30 m minimum distance from the lot line. This condition applies only to the new rear addition of the dwelling at one location. At this portion of the property, the abutting lot to the east (45 Rockcliffe Way) contains no building or structure adjacent to the proposed overhang, ensuring that the intended spatial separation and privacy are fully preserved.

Importantly, the proposal removes the existing shed along the side lot line, whose eaves currently encroach toward the neighbouring property at 45 Rockcliffe Way (0.17 m) and contribute to roof runoff draining onto adjacent lands. In replacing this condition with a modest building overhang set entirely on the subject property, the development improves drainage and separation relative to the existing situation, while still providing unobstructed space for maintenance along the side yard. As such, the proposed eaves projection maintains (and in practice improves) the purpose and intent of the Zoning By-law with respect to side yard relationships, protection of neighbouring properties,

and functional access.

Performance Standard Review

Provision	Section	Required	Proposed	Compliance
Permitted uses	S.155, (1)	Detached dwelling	Detached dwelling	Y
Lot depth	-	-	12.22 m	N/A
Min. lot width	T. 156A, II	12 m	25.5 m	Y
Min. lot area	T. 156A, III	360 m <sup>2</sup>	<b>339.4 m<sup>2</sup></b>	<b>N</b>
Max. building height*	Part 15, [1493]	8 m	7.69 m	Y
Min. front yard setback	T. 156A, V	3 m	1.72 m	Existing legal non-complying condition*
Min. rear yard setback	T. 156B (Endnote 7)	4 m	<b>1.20 m</b>	<b>N</b>
Min. rear yard area	T. 156B (Endnote 7)	25% of the area of the lot= 84.86 m <sup>2</sup>	<b>37.87 m<sup>2</sup> (~11% of the lot area)</b>	<b>N</b>
Min. corner yard setback	T. 156A, VI	3 m	3 m	Y
Min. int. side yard setback	T. 156B (Endnote 4)	1.2 m	0.84 m	Existing legal non-complying condition*
Max. extent of eaves projection into yards	T.65, (2), (II)	1 m, not closer than 0.3 m to a lot line	<b>1.18 m, 0.27 m to the interior side lot line</b>	<b>N</b>

Min. rear yard soft landscaping area	S. 139, (7)	15% of the yard area = 5.68 m <sup>2</sup>	37.87 m <sup>2</sup> (100% of the yard area)	Y
Min. corner yard soft landscaping area	T. 139 (1)	40% of corner yard area= 1.07 m <sup>2</sup>	2.68 m <sup>2</sup> (100% of corner yard area)	Y
Location of parking	S. 109, (3) (a)	Prohibited in the front and corner side yard	Located at the front yard from pre-1991	Existing legal non-complying condition*
Location of a driveway	S. 107, (3) (b) (i)	Prohibited between the front lot line and a residential use building	Located between the front lot line and a residential use building from pre-1991	Existing legal non-complying condition*

\* The existing legal non-complying condition was reviewed with City planning staff, who confirmed that a minor variance is not required to address it. As shown in the figure 13 below, this legal non-complying condition has existed since before 1991 (and likely earlier), although the available GeoOttawa aerial imagery is not of sufficient quality to clearly illustrate the condition prior to 1991.



**We request the Committee of Adjustment authorise the requested variances in accordance with the plans filed as they relate to the variances being requested.**

At this time we are submitting the following in support of the application:

- Completed application form for the minor variance application;
- Property owner's authorization for submission of the applications;
- Tree Information Report;
- Site Plan showing the entirety of the proposed site;
- Elevations from all four sides of each proposed building;
- Survey plan of the entire property;
- Application fees.

When the notification signs are ready for this application please email the undersigned and we will arrange for their installation on the property.

Should you have any questions or require anything further, please do not hesitate to contact the undersigned at (613) 695 0192 or via email at [planning@p2concepts.ca](mailto:planning@p2concepts.ca).

**P-Squared Concepts Inc.**

A handwritten signature in black ink that reads 'Amrinder Kaur'.

Amrinder Kaur, Planner  
BPlan, MPlan

**P-Squared Concepts Inc.**

A handwritten signature in black ink that reads 'Yasaman Bahadori'.

Yasaman Bahadori, Planner  
B.Sc, M.A, MPlan