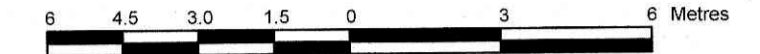


**PART OF LOT 10
(East Irving Avenue In Block Q)
REGISTERED PLAN 73
CITY OF OTTAWA**

Prepared by Annis, O'Sullivan, Vollebek Ltd.

Committee of Adjustment
Received | Reçu le
2026-01-16
City of Ottawa | Ville d'Ottawa
Comité de dérogation

Scale 1 : 150



Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate

- I CERTIFY THAT:
- This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
 - The survey was completed on the 6th day of August, 2025.

Date _____ T. Hartwick
Ontario Land Surveyor

Notes & Legend

□	Denotes	Survey Monument Planted
■	"	Survey Monument Found
SIB	"	Standard Iron Bar
SSIB	"	Short Standard Iron Bar
IB	"	Iron Bar
CC	"	Cut Cross
(WIT)	"	Witness
Meas.	"	Measured
(AOG)	"	Annis, O'Sullivan, Vollebek Ltd.
(P)	"	Registered Plan 73
(PI)	"	(AOG) Plan dated Jan. 2, 2008
(P2)	"	(857) Plan dated May 2, 1990
(P3)	"	(990) Plan dated May 25, 1966
(P4)	"	(AOG) Plan dated May 6, 1993
(P5)	"	(AOG) Plan dated June. 22, 2022
DI	"	CR427312
○ MH-ST	"	Maintenance Hole (Storm Sewer)
○ MH-S	"	Maintenance Hole (Sanitary)
□ CB	"	Catch Basin
○ FH	"	Fire Hydrant
T/G	"	Top of Grate Elevation
GM	"	Gas Meter
UP	"	Utility Pole
—	"	Overhead Wires
BF	"	Board Fence
CLF	"	Chain Link Fence
AC	"	Air Conditioner
∅	"	Diameter
+ 65.00	"	Location of Elevations
+ 65.00	"	Top of Concrete Curb Elevation
C/L	"	Centreline
—	"	Property Line
○	"	Deciduous Tree
RWC	"	Concrete Retaining Wall
RWS	"	Stone Retaining Wall
RWT	"	Timber Retaining Wall
EOA	"	Edge of Asphalt
NF	"	North Face
SF	"	South Face

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-110904

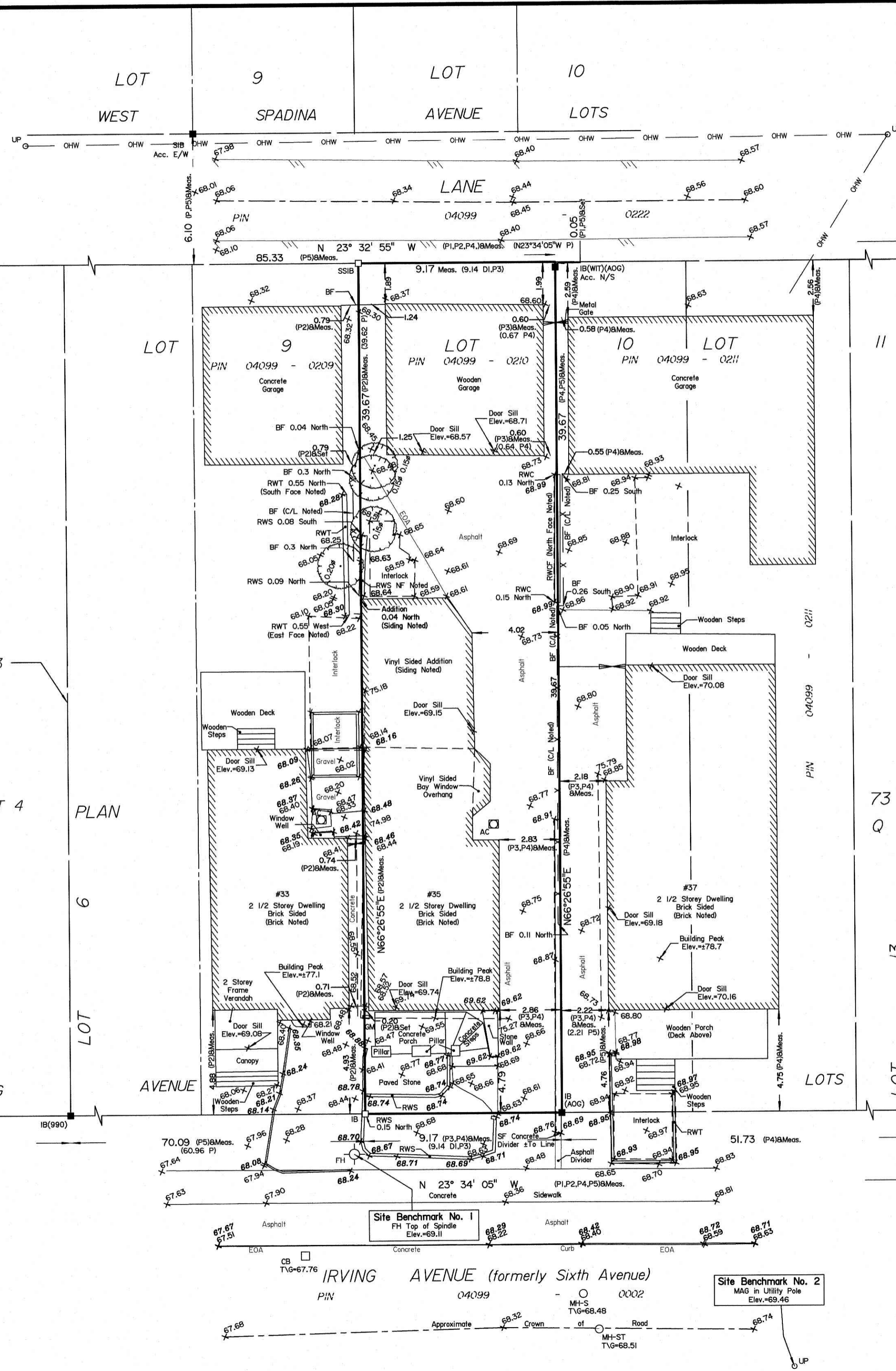
THIS PLAN IS NOT VALID UNLESS
IT IS AN EMBOSSED ORIGINAL
COPY ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29 (3).

SITE AREA = 363.8 sq.m.

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations and are referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

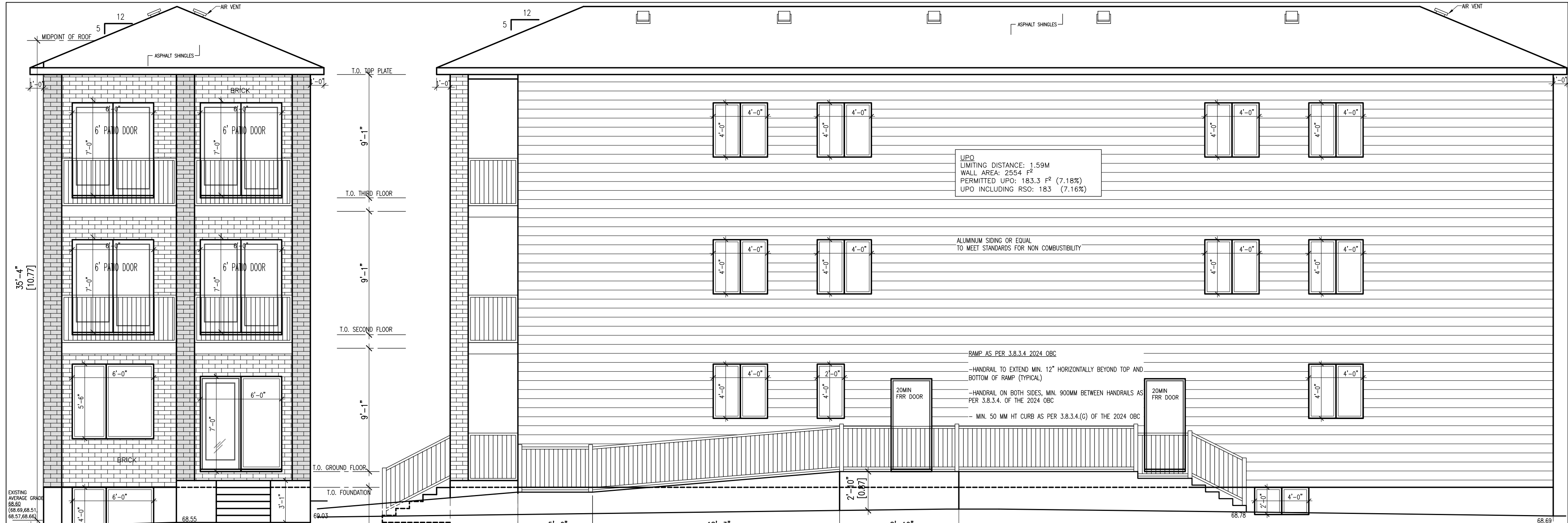
For bearing comparisons, a rotation of 0°28'45" counter-clockwise was applied to bearings on plans (P1),(P2),(P4).

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ANNIS, O'SULLIVAN, VOLLEBEK LTD.
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Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: Nepean@aovltd.com
Ontario
Land Surveyors
Job No. 25845-25 Modstone Inc. P.L.L. IO Blk Q RP 73 T DI IBK



- ELEVATION NOTES**
- Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
 - It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.
- UTILITY NOTES**
- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
 - Only visible surface utilities were located.
 - A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

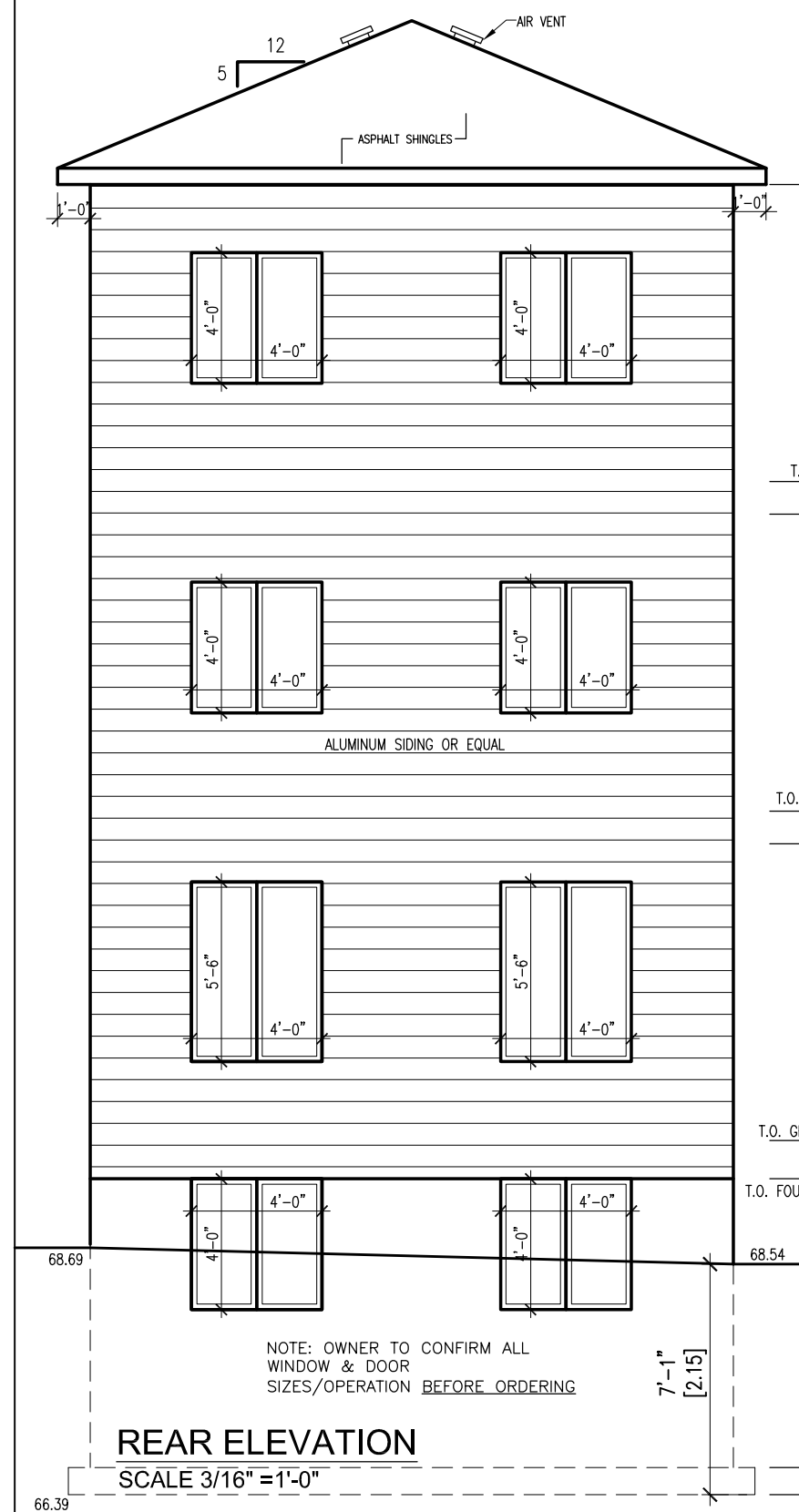
Y:\2020\25845-25 Modstone Inc. P.L.L. IO Blk Q RP 73 T DI.dwg



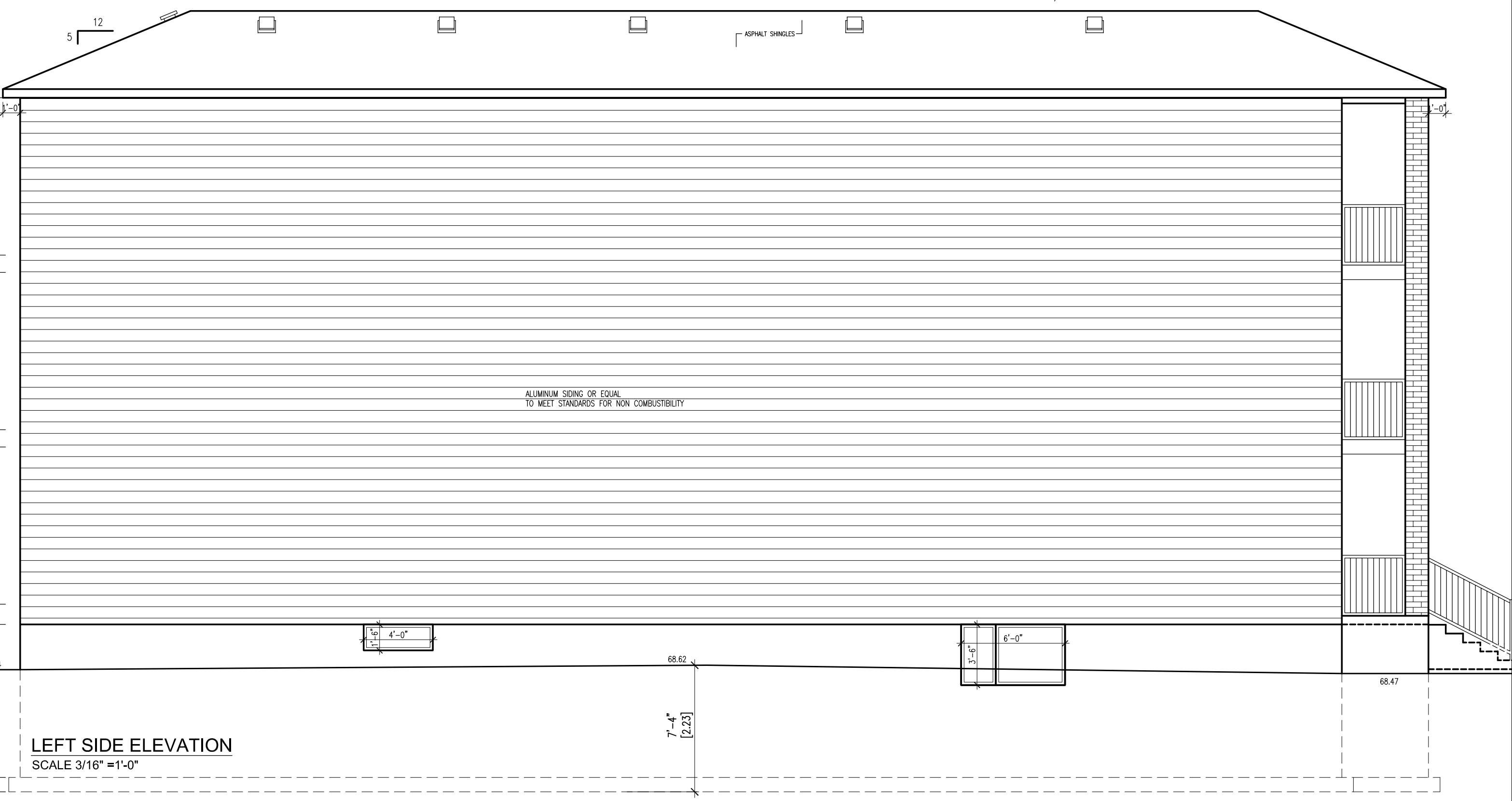
FRONT ELEVATION
SCALE 3/16" = 1'-0"
TOTAL FRONT WALL AREA: 637F² [59.17M²]
TOTAL WINDOW AREA: 267F² [24.8M²] (41.9%)

RIGHT SIDE ELEVATION
SCALE 3/16" = 1'-0"

NOTE: OWNER TO CONFIRM ALL WINDOW & DOOR SIZES/OPERATION BEFORE ORDERING
NOTE TRUSS DESIGNS TO COMPLY WITH THE 2024 OBC AND CSA-086.1.
NOTE CONSTRUCTION OF GUARDS SHALL CONFORM TO THE 2024 BUILDING CODE COMPENDIUM SB-7 SUPPLEMENTARY STANDARD DETAIL ED-1 & OBC 9.8.8
EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL SEE GRADING PLAN TO CONFIRM.
PROVIDE EXTERIOR LIGHT @ ALL DOORS TO THE EXTERIOR
PROVIDE MASONRY VENEER TIES CONFORMING TO OBC 9.20.9.5
MAX 31" O.C ALONG BASE OF STONE VENEER & ABOVE DOORS & WINDOWS.
FLASHING AS PER OBC 9.20.13.9.27.3.8
REFER TO STANDARD REINFORCEMENT DETAIL FOR FOUNDATION WALL WHERE OPENING IS 48" TO 72" OR WITH OPENING OVER 25% OF WALL LENGTH
REFER TO STANDARD REINFORCEMENT DETAIL FOR FOUNDATION WALL WHERE OPENING IS 48" TO 72" OR WITH OPENING OVER 25% OF WALL LENGTH
ROOF VENTILATION THE UNOBSTRUCTED VENT AREA SHALL NOT BE LESS THAN 1/300 OF THE INSULATED CEILING AREA (WHERE THE ROOF SLOPE IS LESS THAN 1 IN 6 OR IN ROOFS THAT ARE CONSTRUCTION WITH ROOF JOIST, THE UNOBSTRUCTED VENT AREA SHALL NOT BE LESS THAN 1/150 OF THE INSULATED CEILING AREA) UNIFORMLY DISTRIBUTED ON OPPOSITE SIDES OF THE BUILDING, WITH NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE TOP OF THE SPACE AND NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE BOTTOM OF THE SPACE.



REAR ELEVATION
SCALE 3/16" = 1'-0"



LEFT SIDE ELEVATION
SCALE 3/16" = 1'-0"

- GENERAL NOTES:
1. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE CONSULTANT.
 2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND BY-LAWS.
 3. FOOTINGS DESIGNED FOR 2000 P.S.F. ASSUMED BEARING. BEARING STRATA, GRANULAR MATERIAL AND COMPACTION TO BE INSPECTED AND APPROVED BY SOILS CONSULTANT PRIOR TO POURING CONCRETE.
 4. DO NOT SCALE THE DRAWINGS.

NO.	DESCRIPTION & DATE	REVISIONS
2		
1	AS PER STRUCTURAL REVIEW OCT. 15, 2025	

JOB TITLE:
PROPOSED 8 UNIT
LOW RISE APARTMENT
35 IRVING AVE
CITY OF OTTAWA

SHEET TITLE:
FRONT ELEVATION
REAR ELEVATION
RIGHT SIDE ELEVATION
LEFT SIDE ELEVATION

SCALE: AS SHOWN DWG NO.
DRAWN: C.S.
CHECKED:
DATE: SEPT 2025
PRINT DATE:
A3.4

