








Corrections (X Code)				
ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_001	1910 St Laurent	Reinstate Hold where it current applies. Zone code should be H2[2406] S372-h	Hold was removed in error. The hold on the northern portion of the site was removed in 2019 to allow development of a mid-rise building, but should be retained for the remainder.	
X_002	Codd's Road in Wateridge Village	Change zoning to CM1A instead of CM2A	As Wateridge Village is within the Inner Urban Transect, any parcel within the area should be zoned CM1, Subzone a not CM2 (which is for the Outer Urban and Suburban transects)	
X_003	1186 Wellington St W	Change zoning from MS1[1815] H(20) to MS1[2780] S456.	The proposed zoning did not have the correct exception and schedule in the zone code that was changed though OLT-22-003948.	

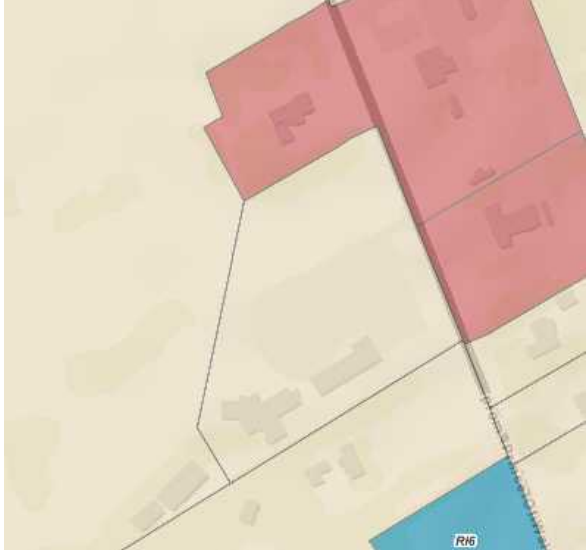


Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_004	4120L Riverside Drive	Change zoning to NU[362] H(10.7) S219	4120L Riverside is an existing unserviced residential property intended to be subject to the same primary zone and exception as 4120A-K Riverside to the north. Exception 362 sets out more specific limits intended to apply to this set of residential properties that do not have direct frontage on Riverside Drive.	
X_005	30 Cleary Avenue	Change zoning to reflect Attachment 1 to By-law Number 2024-381.	The proposed zoning does not reflect By-law 2024-381 which was approved through OLT-24-001093.	




Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_006	160 Lees Avenue	Reinstate N4B zoning.	The designation was changed through the Transportation Master Plan, this reinstates the former zoning.	
X_007	N4B H(11) lands in Old Ottawa East (East of Main Street and North of Hwy 417)	Remove the H(11) suffixes in areas presently zoned R4UD in 2008-250, such that the existing 14.5 m building height limit is retained.	These lands received a H(11) suffix as a result of revisions in accordance with the Old Ottawa East SP. However the existing zoning of these lands is R4UD, which permits 4 storey building heights (14.5 m). A correction is needed to retain existing development rights.	



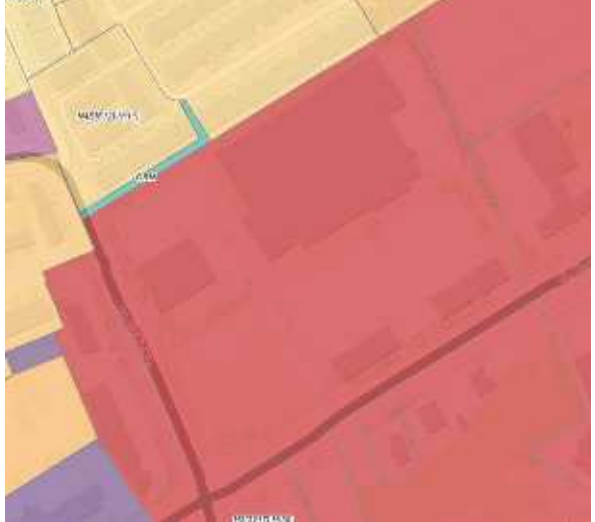
Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_008	5922 Prince of Wales Drive	Change exception in the zone code from XXX8r to XX14r.	The incorrect new exception number was added to the zone code.	
X_014	4711 Rockdale Road and 1131 8th Line Road	Change exception in the zone code from XX10r to XX16r.	The incorrect new exception number was added to the zone code.	
X_010	3248 Carp Road, 6000 Rideau Valley Drive N, 5920 Third Line Road N, and 250 Keatley Road	Change exception in the zone code from XX11r to XX17r.	The incorrect new exception number was added to the zone code.	


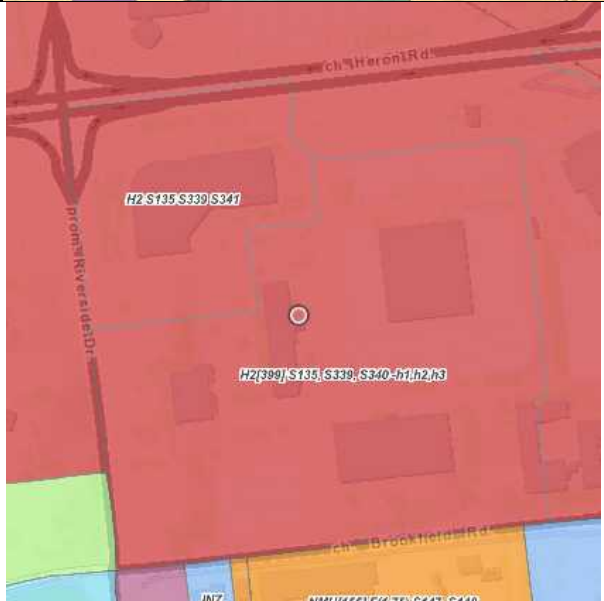

Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
				
X_011	1927 Richardson Side Road	Change exception in the zone code from XXX9 to XX15r.	The incorrect new exception number was added to the zone code.	
X_012	5410 Bank Street	Add exception XX12r to the zone code.	This new exception number should have been added to the zone code to maintain the current minimum interior side yard setback provision.	



Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_013	1600 Princess Patricia Way	Remove S487 from the zone code.	Schedule 487 is proposed to be deleted.	
X_014	33 Beechwood Avenue	Remove S110 from the zone code.	Schedule 110 is proposed to be deleted.	
X_015	1357, 1405 Baseline Avenue	Remove S249 from the zone code.	Schedule 249 is proposed to be deleted.	



Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_016	2785, 2795 Baseline Road, and lands on Draper Avenue, Foliage Private, Cherry Blossom Private, Purple Martin Private	Remove S282 from the zone code.	Schedule 282 is proposed to be deleted.	
X_017	700 Heron Road	Remove S340 and S341 from the zone codes.	Schedules 340 and 341 are proposed to be deleted.	
X_018	114 Richmond Road	Remove S428 from the zone code.	Schedule 428 is proposed to be deleted.	


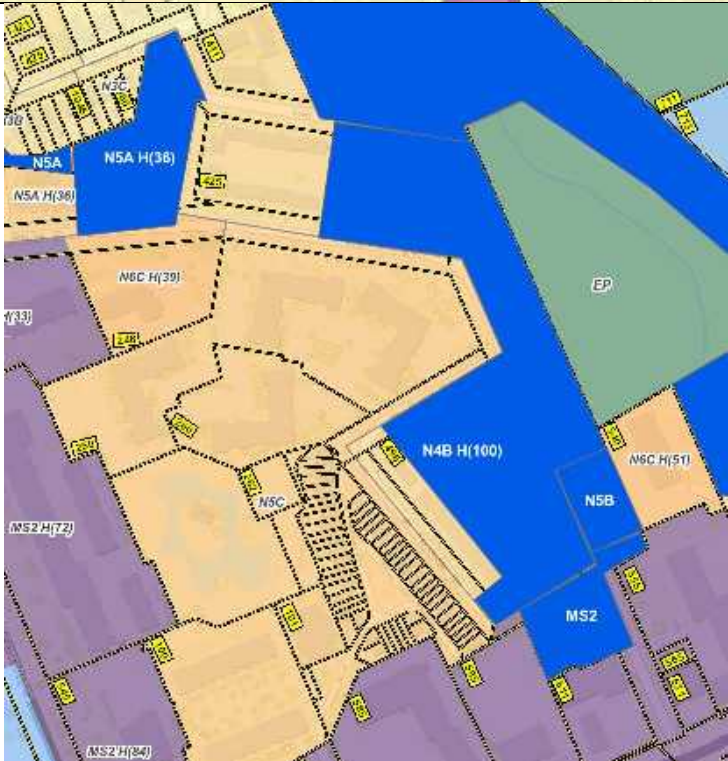
Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_019	Abutting 2019 A Bank St	Change zoning to GRN.	The zoning for the surrounding lands does not extend to the road centreline. The zoning is being changed to GRN – Greenspace to align with the surrounding lands.	
X_020	240 Cedarstone St.	Change zoning from V4A to GRN for Sarah McCarthy Park in Richmond	While parks are permitted broadly, GRN is the preferred zone for city-owned parks.	



Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_021	1360 Kitchener	Changing zoning on a city-owned stormwater management pond from N3C to FAC.	Ensuring city-owned stormwater ponds are zoned FAC. The zoning on a neighbouring city-owned parcel to the west was also changed to FAC from GRN, as this parcel is not part of a park or designated Greenspace in Schedule C of the Official Plan	
X_022	160 Chandelle Private	Change the exception in the zone code from [356r] to [359r].	The exception in the zone code for the lands in the current Zoning By-law is [359r].	




Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_023	3102, 3112, 3150, 3162 Woodroffe and 15 Deerfox	Remove the H(11) height suffix from the CM2 zones and ensure all of these properties are contained within the CM2 zone, but with the exception and holding symbol retained.	3162 Woodroffe and 15 Deerfox are under a single ownership and within 120 m of a minor corridor (Woodroffe). There is no rationale in the Official Plan for maintaining the height suffix (the CM2 zone would allow up to 15 m of building height). The holding provision speaks to adequate servicing required to be demonstrated in addition to a number of other conditions and should be retained.	
X_024	496 Brittany (and others)	Revise N4B H(100) to N6B H(100) as the N6 zone accommodates heights above 30 metres.	This corrects an error created when the manor park secondary plan height of 30 storeys was applied to the N4B zone established based on the existing R4UD zoning under 2008-250	



Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_025	Currently R3-zoned area between Wellington and Byron W of Holland Ave	Adding H(11) height suffix to zone code to retain existing height permission	Present zoning of this area is R3; in accordance with recommended direction retaining a maximum 11 m height	
X_026	Currently R4UB-zoned area south of Wellington between Holland and Parkdale	Adding H(11) height suffix to zone code to retain existing height permission	Present zoning of this area is R4UB which permits a max 11 m height; in accordance with recommended direction retaining a maximum 11 m height	


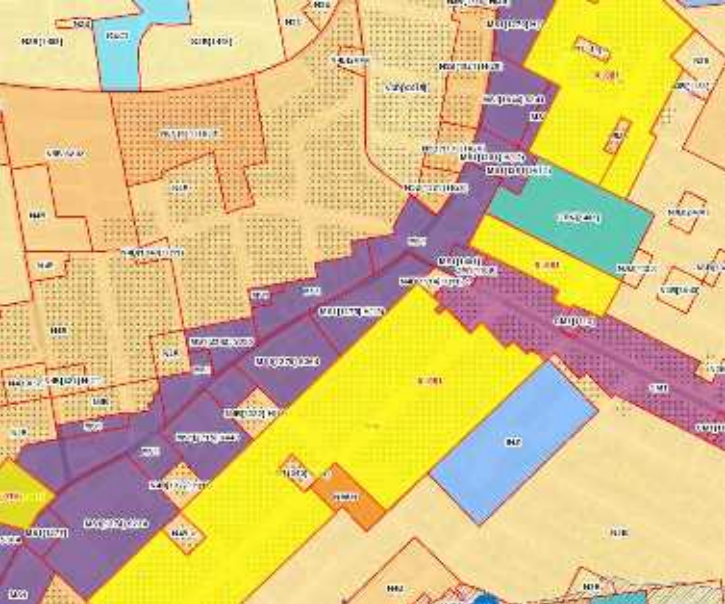
Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_027	Currently R4UB-zoned area south of Gladstone Ave and east of Parkdale Ave	Adding H(11) height suffix to zone code to retain existing height permission	Present zoning of this area is R4UB which permits a max 11 m height; in accordance with recommended direction retaining a maximum 11 m height	
X_028	Multiple - Morley Boulevard	CM2 zone applied to properties without direct frontage on the Minor Corridor designated street (Prince of Wales).	Correction to be consistent with application of Minor Corridor zones across the city.	
X_029	180 Cooper	Change primary zone from N6C to H1 to match surrounding zoning	Implementing Downtown Core Secondary Plan.	

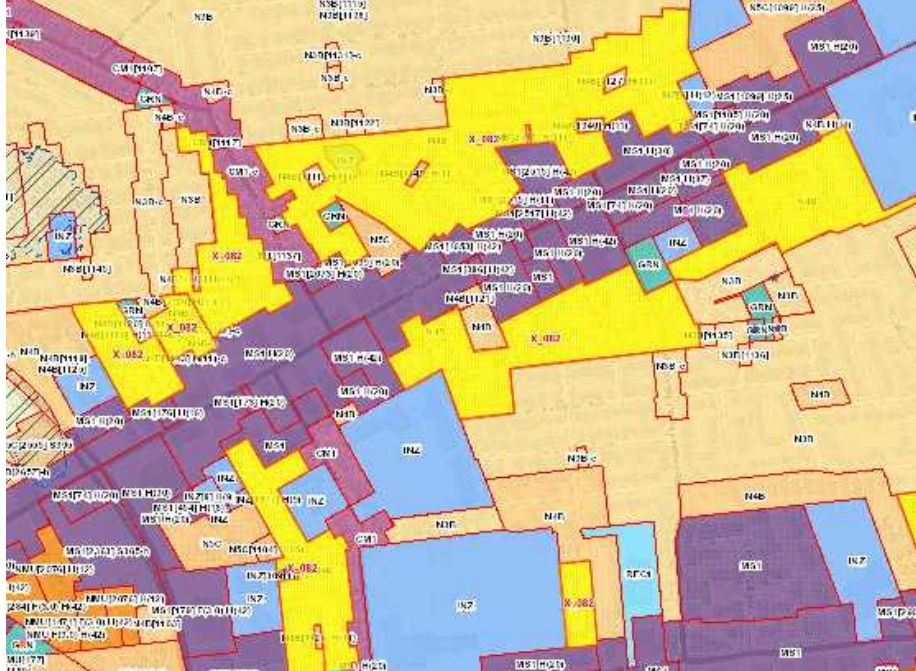
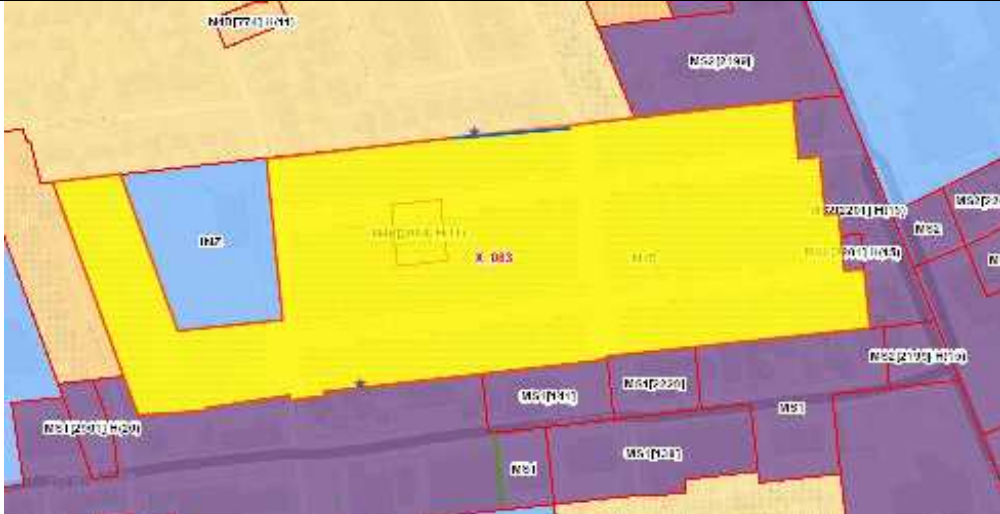
Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_030	Findlay Creek Stormwater Management Facility	Changing zoning for a city-owned stormwater management facility from RU to GRN to match surrounding zoning.	Ensure consistent zoning for city-owned stormwater management infrastructure.	
X_031	1934 Stagecoach Road	Change zoning to RR[756r].	A portion of the lands was zoned GRN where no park is proposed. Changing the zoning to RR[756r] to match the zoning for surrounding lands.	

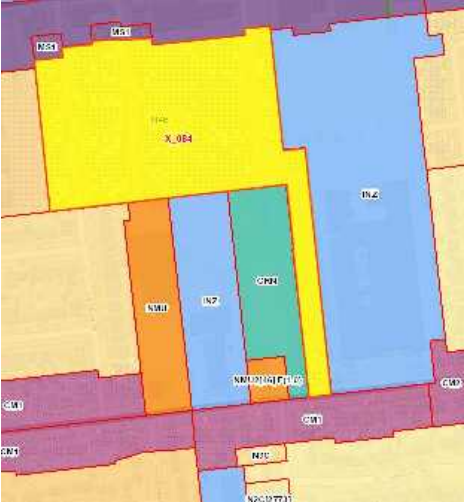


Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_032	3128 Analdea Drive	Change from NU to N3B	The property in question has access to municipal water and sewer as with the adjacent properties to the east (whereas the properties to the west do not).	
X_033	Various presently R4UA-zoned areas south/east of Beechwood Avenue	Adding H(11) height suffix to zone code to retain existing height permission	Present zoning of this area is R4UA which permits a max 11 m height; in accordance with recommended direction retaining a maximum 11 m height	


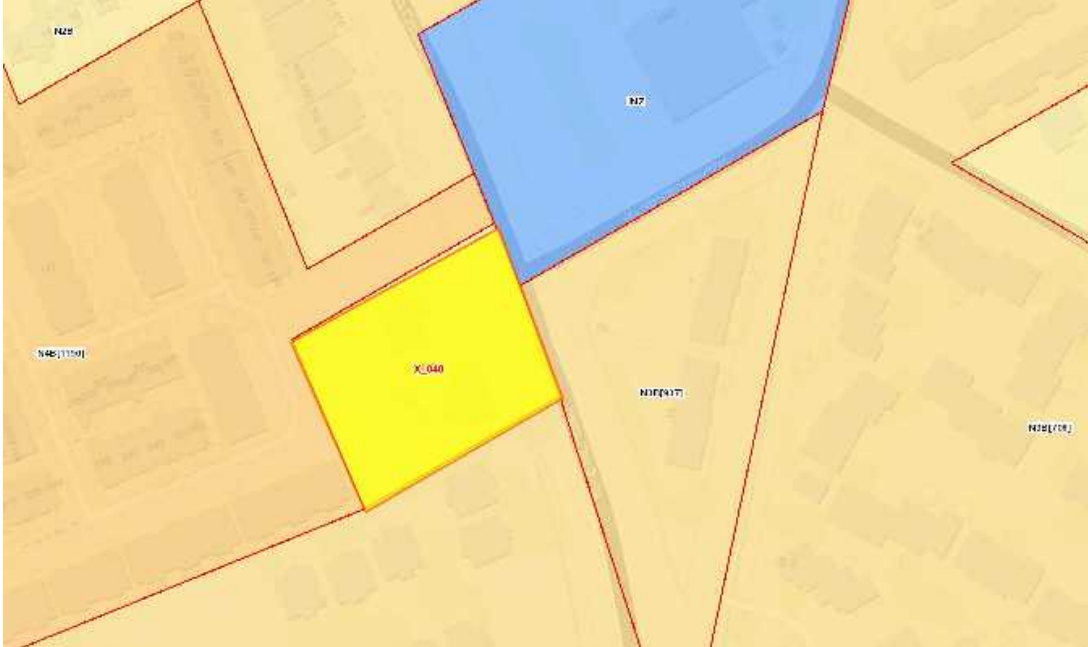
Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_034	Various presently R4UA-zoned areas near Montreal Road in Vanier	Adding H(11) height suffix to zone code to retain existing height permission	Present zoning of this area is R4UA which permits a max 11 m height; in accordance with recommended direction retaining a maximum 11 m height	
X_035	Presently R3A-zoned area northwest of McArthur and St Laurent	Adding H(11) height suffix to zone code to retain existing height permission	Present zoning of this area is R3A which permits a max 11 m height; in accordance with recommended direction retaining a maximum 11 m height	




Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_036	Presently R4UA-zoned area south of McArthur Ave	Adding H(11) height suffix to zone code to retain existing height permission	Present zoning of this area is R4UA which permits a max 11 m height; in accordance with recommended direction retaining a maximum 11 m height	
X_037	Presently R4UC area generally between Lola Street and St Laurent Blvd along King George/Queen Mary/Prince Albert	Adding H(11) height suffix to zone code to retain existing height permission	Present zoning of this area is R4UC which permits a max 11 m height; in accordance with recommended direction retaining a maximum 11 m height	
X_038	Rural area north of Carp and south of Fitzroy Harbour	This large area was zoned RR3 for the final draft in error, but it should retain its existing RU zoning.	Correcting a zone change that was made in error. <i>Note: the triangular markup polygon in the image does not show the extent of the polygon subject to this change.</i>	

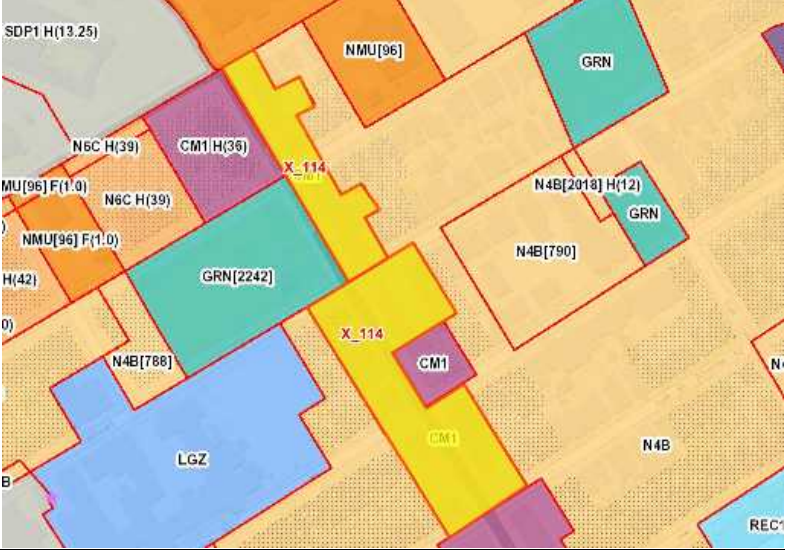
Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_039	Portion of 152 Grandview Road	Change zoning to FAC.	The zoning for the portion of the lands in Zoning By-law 2008-250 is EP3. The Official Plan designation for the portion of the lands is Neighbourhood. There is a drainage ditch on the portion of the lands. Changing the zoning to FAC to reflect this.	
X_040	510 and 512 Moodie Drive	Change zoning to N3B[708]	This change from N2E to N3B would consolidate the zoning of these properties with the existing N3B[708] zones to both the north and south of these properties.	

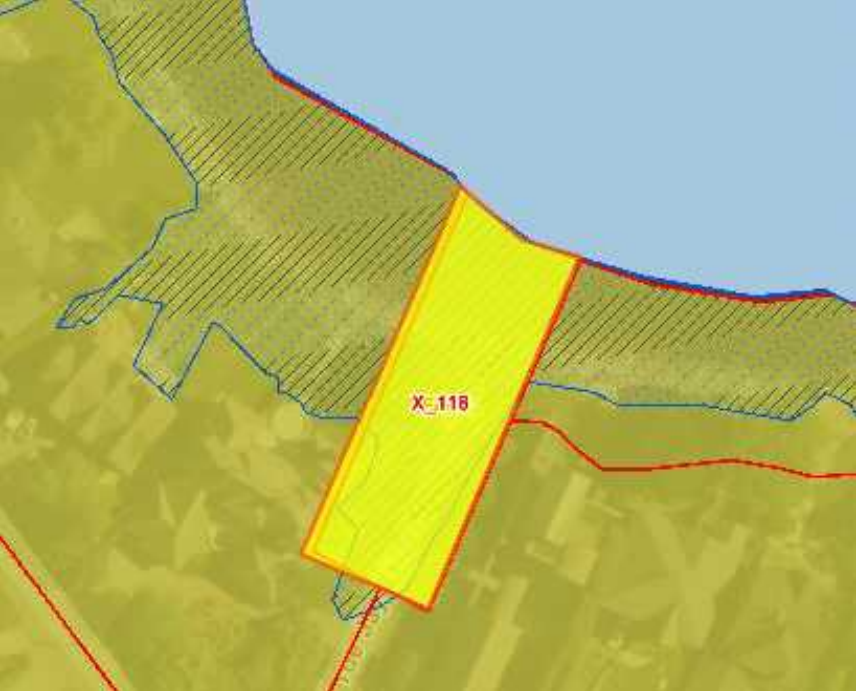
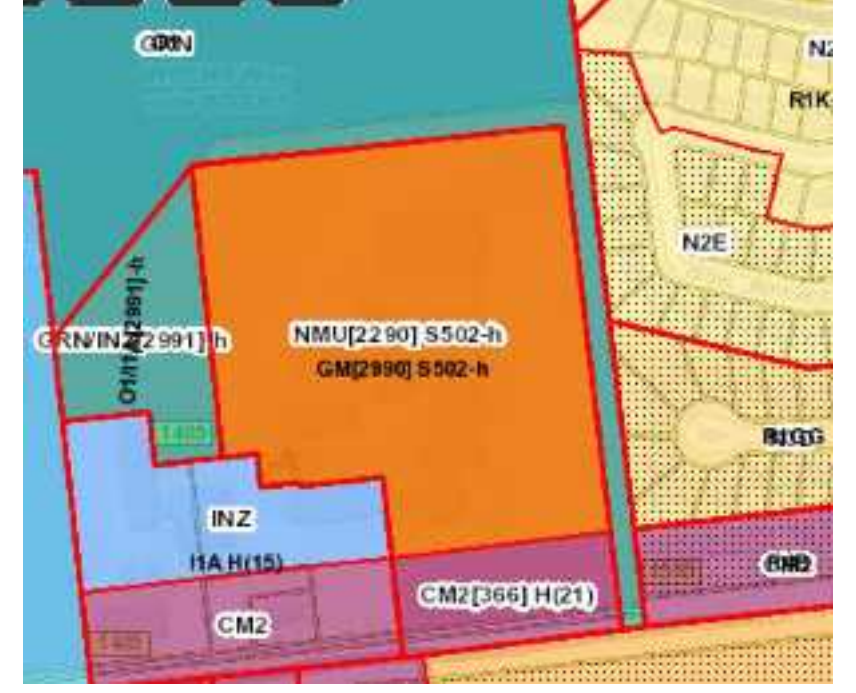
Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_041	3403 St Joseph	Rezone to H2 principal zone with a H(132) suffix.	Implementation of an OLT decision on an appeal of the Orleans secondary plan directs 40 storey height permission for this property..	
X_042	173 to 185 Compton Avenue	Introduce 11-metre height suffix to carry forward R4C height maximum.	Preserving existing height maximums in N4.	
X_043	2196 Flower Avenue	Introduce 11-metre height suffix to carry forward R4D height maximum.	Preserving existing height maximums in N4.	



Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_044	CM1 zones on Dalhousie Street north of St Andrew Street	Reinstate 15 m/14.5 m height suffixes where they exist.	Height suffixes implement policies of the Lowertown Heritage Conservation District and exist in the current zoning.	
X_045	Rocque, St. Pierre, Maisonneuve, Gabriel Streets in Orléans	A series of amendments are proposed to properties within the Orléans Town Centre Secondary Plan, based on policies in the Place d'Orléans Station Periphery designation and Schedule B – Maximum Building heights of that plan. These amendments include applying the maximum heights of 4 and 6 storeys in the Secondary Plan, and revising the neighbourhood zone (N6C) to the neighbourhood mixed use (N5C)-c H(20) zone. That will allow a limited range of commercial uses while limiting the heights to 6 storeys.	These changes to heights and zone code will more accurately reflect the contents of the secondary plan.	



Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_046	Lands between 50 Jay Street and 167 Grandview Road	Change zoning from FAC4 to FAC.	The FAC4 subzone from Draft 1 & 2 was proposed to be deleted and the lands have been rezoned FAC.	
X_047	1495 Heron Road	<p>Change Exception on the NMU and CM zoned portions of the parcel from [2290] to [2990] and remove Exception 366 from the CM zoned portion, re-instate the hold which applies to the whole parcel and remove the height suffix as Schedule 502 establishes varying heights in different parts of the parcel.</p> <p>Zoning has been changed to NMU[2290] S502- h and CM2[2990] S502-h</p>	Exception 2990 applies to the parcel under the current Zoning By-law (2008-250). It was incorrectly referenced for the NMU zoned portion of the parcel. Exception 366 was applied in error.	

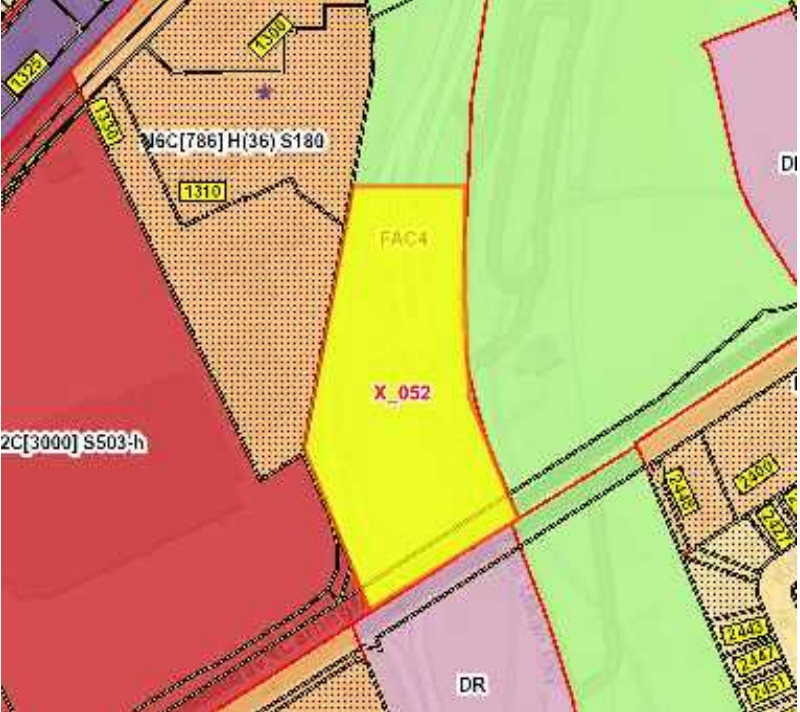

Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_048	Lands between 57 and 61 Grandview Road	Change zoning from FAC4 to FAC.	The FAC4 subzone from Draft 1 & 2 was proposed to be deleted and the lands have been rezoned FAC.	
X_049	Lands between 70 Centennial Boulevard and 1903 Rideau Garden Drive	Change zoning from FAC4 to FAC.	The FAC4 subzone from Draft 1 & 2 was proposed to be deleted and the lands have been rezoned FAC.	



Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_050	Sunnymede Avenue	Change zoning to N2C[2159].	These properties fall outside the Evolving Neighbourhood Overlay in terms of distance from nearby mainstreets/hubs; a N2 zone is consistent with the rest of this section of Sunnymede Avenue.	
X_051	3020 Woodroffe Avenue	Reinstate split INZ/N4C zoning instead of only INZ.	Split residential/institutional zoning will be maintained to enable institutional properties to redevelop into residential without a Zoning By-law Amendment. Property is currently zoned I1A/R4A[1638].	




Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_052	Part of 1250 Richmond Road	Change zoning to DR.	All lands in the Future Development Areas on the Lincoln Field Secondary Plan should have been zoned DR, this corrects the zoning for lands that were not zoned DR in error.	
X_053	201 Crestway Dr	Reinstate split INZ/N3B zoning instead of only INZ.	Split residential/institutional zoning will be maintained to enable institutional properties to redevelop into residential without a Zoning By-law Amendment. Property is currently zoned I1A/R3Z.	



Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_054	2450 River Mist Rd	Reinstate split INZ/N3B[1859] zoning instead of only INZ.	Split residential/institutional zoning will be maintained to enable institutional properties to redevelop into residential without a Zoning By-law Amendment. Property is currently zoned I1A/R3YY[1859] S268. Schedule 268 is proposed to be deleted.	
X_055	601 Longfields Drive	Reinstate split INZ/N3B [1759] zoning instead of only INZ.	Split residential/institutional zoning will be maintained to enable institutional properties to redevelop into residential without a Zoning By-law Amendment. Property is currently zoned I1A/R3YY[1759].	



Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_056	330 Beatrice Drive	Reinstate split INZ[421] H(12)/N3B [937] zoning instead of only INZ[421] H(12).	Split residential/institutional zoning will be maintained to enable institutional properties to redevelop into residential without a Zoning By-law Amendment. Property is currently zoned I1B[421] H(12)/R3Z[937].	
X_057	333 Beatrice Drive	Reinstate split INZ/N3B [937] zoning instead of only INZ.	Split residential/institutional zoning will be maintained to enable institutional properties to redevelop into residential without a Zoning By-law Amendment. Property is currently zoned I1A H(15) H(12)/R3Z[937].	
X_058	373 Sussex Drive	Change zoning from SDP to SDP1.	These lands should have been zoned SDP1 because there is no schedule or height suffix which is used by the SDP zone to set maximum building height.	


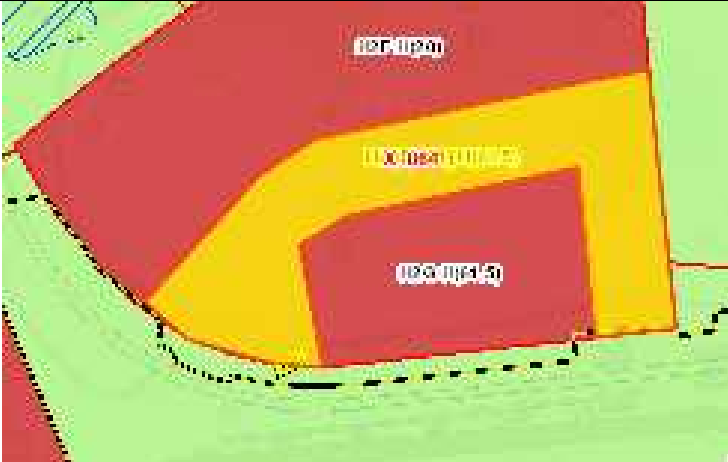
Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_059	1999 Provence Avenue	Reinstate split INZ/N3B zoning instead of only INZ.	Split residential/institutional zoning will be maintained to enable institutional properties to redevelop into residential without a Zoning By-law Amendment. Property is currently zoned I1B/R1U/R3Z, but three zones are not necessary as N3B includes development that could take place under an N1 Zone.	
X_060	1099 Longfields Drive	Reinstate split INZ/N4B zoning instead of only INZ.	Split residential/institutional zoning will be maintained to enable institutional properties to redevelop into residential without a Zoning By-law Amendment. Property is currently zoned I1B/R4Z.	

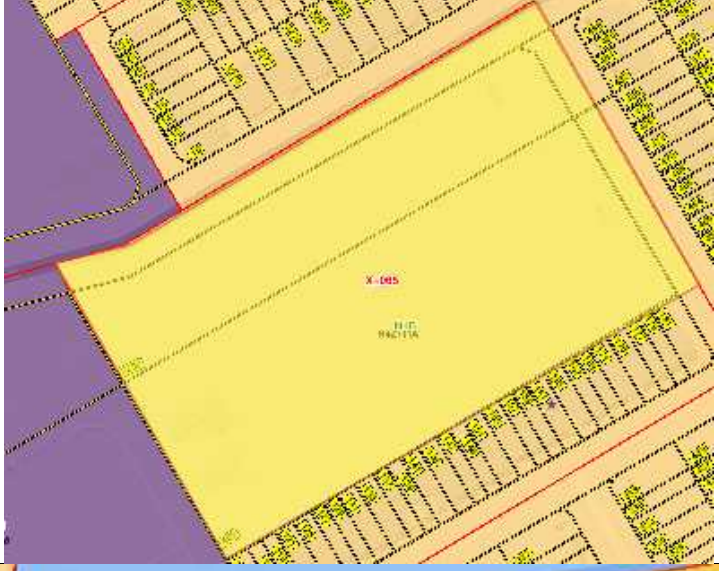
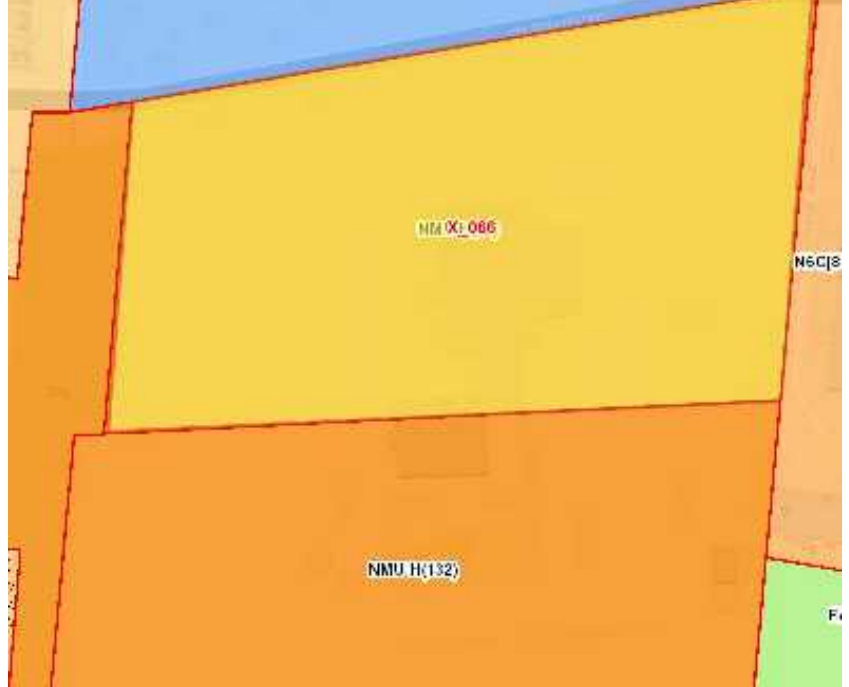
Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_061	75 Waterbridge Drive	Reinstate split INZ/N3B zoning instead of only INZ.	Split residential/institutional zoning will be maintained to enable institutional properties to redevelop into residential without a Zoning By-law Amendment. Property is currently zoned I1A/R3Z.	
X_062	925 Ralph Hennessy Avenue	Reinstate split INZ/N4B zoning instead of only INZ.	Split residential/institutional zoning will be maintained to enable institutional properties to redevelop into residential without a Zoning By-law Amendment. Property is currently zoned I1A/R4Z.	




Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_063	550 and 560 maple Lane	Amendments to the Rockcliffe Park Secondary Plan under OPA 46, change #2.83, that increased maximum heights were mistakenly applied to 2 additional properties beyond the extent of the amendment. The correction revises the zoning of these two properties from N4F[xx12] H(14.5) to N3F[xx12] to re-instate a 3, rather than 4 storey height maximum.	The zone changes made to these two properties were done in error.	
X_064	Part of 105 Terminal Avenue	Change zoning to H2H[2091] H(91.5).	A height suffix of 61.5 metres was proposed in error as the Inner East Lines 1 and 3 Secondary Plan illustrates a maximum height of 30 storeys for the lands.	



Corrections (X Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
X_065	3290 Findlay Creek Drive and 465 Trident Mews	Reinstate split INZ/N4B zoning instead of only INZ.	Split residential/institutional zoning will be maintained to enable institutional properties to redevelop into residential without a Zoning By-law Amendment. Property is currently zoned I1A/R4Z.	
X_066	250 Lanark	Correctly apply maximum heights in zoning that were established under OPA 46.	<p>The zoning of this property applied heights lower than the maximums established through Official Plan Amendment #46.</p> <p>A height suffix of 90 metres is proposed to be applied to the north half of the property.</p>	




Change of Intent (Y Code)




ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
Y_001	175 Richmond	Change zoning from IM to MS1C[1959]	A zoning by-law amendment was approved for this site in 2014 and was appealed to the Ontario Land Tribunal. The dismissal of all third-party OLT appeals in 2024 as a result of the passage of Bill 185 means that the zoning is now in effect for the site and has been implemented through the new Zoning By-law.	
Y_002	401 Chapel	Add a lower case -c suffix to the N4B [480] zone.	As requested by Councillor Plante, to permit small-scale commercial uses in this location adjacent to a Minor Corridor zone.	
Y_003	1542 Chatelain Ave	Change zoning from N5C[1195] H(18) and N4B to NMU4.	The property is currently occupied by a multi-tenant, light industrial building, which was rendered legal non-conforming when the zoning was changed with the implementation of the current Zoning By-law 2008-250. NMU4 zoning would permit the existing uses instead of rendering them legal non-conforming and reinstate zoning permissions from former Nepean Zoning By-law.	

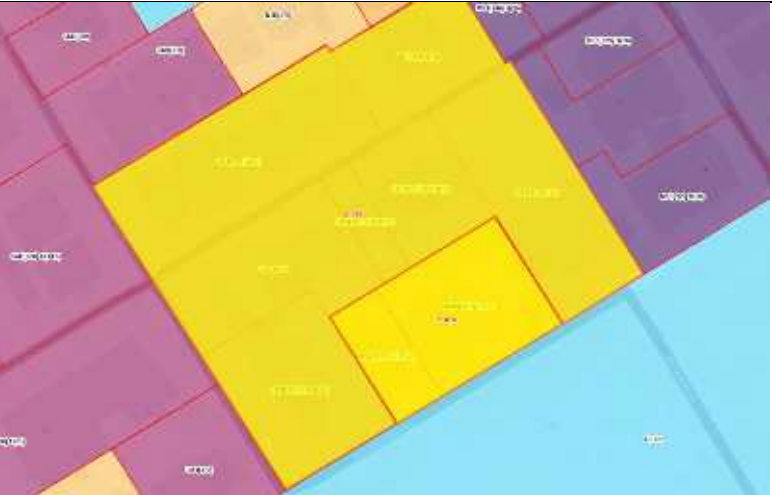

Change of Intent (Y Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
Y_004	Clemow Avenue, Monkland Avenue (Clemow-Monkland HCD)	Add a new exception ([XX20]) to the zoning of these streets to address minimum front yard setbacks.	A new exception is necessary to implement policies of the HCD Plan addressing the existing front yard setback patterns of the HCD area.	
Y_005	1177 Gladstone	Change zoning from REC1 to CM1 to reflect Official Plan designation.	The property is designated minor corridor in the official plan. The proposed minor corridor 1 zone accurately applies that Official Plan designation.	



Change of Intent (Y Code)




ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
Y_006	93 to 101 Springcreek Cres	Current zone boundary runs through an existing dwelling. There is also a cluster of townhouses next door that are zoned R1T and were proposed to go to N1B, which would make them legal non-conforming. Zoning for these properties has been changed to N3B to correct zone boundary and recognize existing uses	Correction to ensure zone boundaries do not bisect dwellings and to recognize existing townhouse dwellings.	
Y_007	2676-2678 Marie Street	Changing zoning on a semi-detached dwelling from INZ to N3B to reflect existing development	There has been a semi-detached dwelling on this property since at least 1991, which would have been legal non-conforming under the current Zoning By-law. N3B recognizes the existing use on the property.	
Y_008	425 and 429 Nelson Street	Change zoning from INZ to N4B.	Half of a semi-detached welling and a neighbouring semi-detached welling were both zoned INZ, but do not have an institutional uses present. N4B is a more appropriate zoning for the existing uses	

Change of Intent (Y Code)				
ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
Y_009	360 Montreal Road	Change zoning from INZ to MS1 H(20) for part of an existing PUD.	Part of the PUD has institutional zoning, which bisects a building and applies to one block of townhouses that have existed since at least 1991. Zoning has been changed to align with the remainder of the PUD.	
Y_010	Park space in LeBreton Flats	Change FAC4 zone to REC1 zone	NCC special request. Staff concur as REC1 better accommodates potential uses.	
Y_011	3978 Old Richmond Road	Remove exception and holding provision from N4B zone code.	Exception/holding provision only refer to "submission of a site plan control application by the City". Staff are of the opinion that this is not necessary.	



Change of Intent (Y Code)				
ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
Y_012	413 and 447 March Road	Apply new special exception (xx21) to recognize existing uses at these locations. Zone code should be revised to EDK2[xx21]	This new exception recognizes existing land uses at these locations.	
Y_013	210 Gladstone & surrounding lands on block east of Metcalfe St	Delete height suffix and FSI cap.	The height limit and FSI cap are not consistent with OP or SP direction and should be deleted.	
Y_014	1633 Grasmere Crescent	Detached dwelling next to library was zoned INZ. Changed to N2D to recognize existing use.	Correction to ensure appropriate zoning applies to the existing dwelling.	
Y_015	215-223 McLeod	Change H(23) suffix to H(30) and delete F(1.0).	Correction to better reflect secondary plan direction.	Same area as Y_013 above. Y_015 is nested inside the larger shape.

Change of Intent (Y Code)



ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
Y_016	Booth Street from Primrose Avenue to Spruce Street	Remove 2825 exception.	Exception 2825 only applies to 2 and 4 Spruce Street, but was applied to the CM1 Zone along Booth Street in error.	
Y_017	5361 Old Richmond Road	Apply new xx18r exception to this property to recognize automobile service station that has existed since the mid-1960s.	Exception would legalize existing use that has been in operation for over 50 years.	

Change of Intent (Y Code)				
ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
Y_018	Creeks End Ln	Rezone from H3 to N3B.	Notwithstanding OP designation, existing conditions do not support Hub zoning.	
Y_019	Townhouse area west of Tenth Line, north of Gerry Lalonde	Rezone from H3 to N3B	Notwithstanding OP designation, existing conditions do not support Hub zoning.	
Y_020	Townhouse area east of Tenth Line, north of Gerry Lalonde	Rezone any H3 to N3B (keep the GRN though)	Notwithstanding OP designation, existing conditions do not support Hub zoning.	

Change of Intent (Y Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
Y_021	341 to 373 Mishawashkode Street	Remove INZ Zoning from townhouses that are currently split zoned INZ/N3B.	Removing Institutional zoning from existing residential properties. Split zoning will remain on the potential school site to the north.	
Y_022	375 Queen Elizabeth Driveway	Change zoning from FAC[XXX5] to SDC.	New urban exception [XXX5] was proposed to carry forward restaurant as a permitted use on these lands. The lands are within the Rideau Canal Special District and the surrounding lands are zoned SDC – Rideau Canal Special District Zone which lists restaurant as a permitted use. Changing the zoning maintains the permitted use and reflects the Official Plan designation.	

Change of Intent (Y Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
Y_023	2160 and 2184 Carp Road, and two parcels with no municipal addresses to the south	Change zoning from DR to IL.	These lands are designated Industrial and Logistics and were added to the Urban Boundary. Staff feel that applying the Industrial and Logistics Zone is appropriate and consistent with the implementation of Official Plan designations elsewhere.	
Y_024	3625, 3635, 3809, 3933 and 3882 Borrisokane Road	Change zoning from DR to IL[XX25]	These lands are designated Industrial and Logistics and were added to the Urban Boundary. Staff feel that applying the Industrial and Logistics Zone is appropriate and consistent with the implementation of Official Plan designations elsewhere. A new exception is proposed for these sites to require a 15m landscaped buffer where abutting a Neighbourhood Zone.	

Minor Technical Change (Z Code)

ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
Z_001	City-wide	Minor adjustments to zone polygons to follow property lines.	<p>Zone boundaries are typically intended to follow property lines. This change eliminates small slivers of different zoning and modifies zone polygon boundaries to match property lines. These changes are sufficiently small to not change the development potential of properties.</p> <p>This change also corrects boundaries that run through buildings and relocates them to match property lines. While there are occasions where split zoning of buildings is intentional, it should be avoided for individual houses or townhouses.</p> <p>This change includes minor corrections to park boundaries where GRN or REC zoning did not match the extent of the park.</p>	
Z_002	City-wide	Changes to Environmental Protection zone boundaries to align with Official Plan designations.	Boundaries needed to be adjusted to match the Significant Wetlands, Natural Environment Areas, Urban Natural Features, Greenbelt Natural Area, or Greenbelt Natural Linkage designation in the Official Plan.	
Z_003	City-wide	Remove boundaries between zones where the zone code is the same.	When zone codes change from the current zoning by-law to the draft zoning by-law abutting zone boundaries may change to the same zone code, but the zone boundaries remain. This would remove boundaries where they are not required.	
Z_004	City-wide	Remove [310]-h from zone codes.	Urban Exception 310 and a Holding Symbol are proposed to be removed as outlined in the Overview of Exceptions document. This was not removed from some zone codes in error.	
Z_005	City-wide	Eliminating zone polygons entirely in the right-of-way or in water.	While zoning does not apply in the right-of-way or on water, having polygons entirely located in either is confusing and redundant. These polygons in the will be merged with nearby zone polygons.	