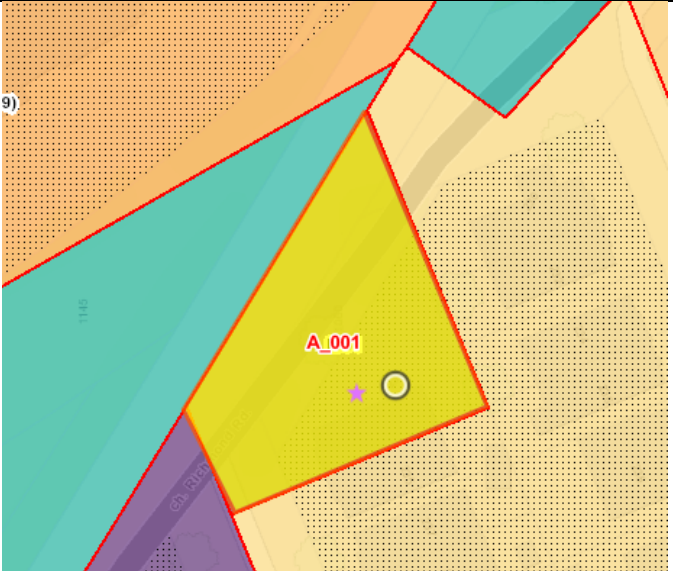
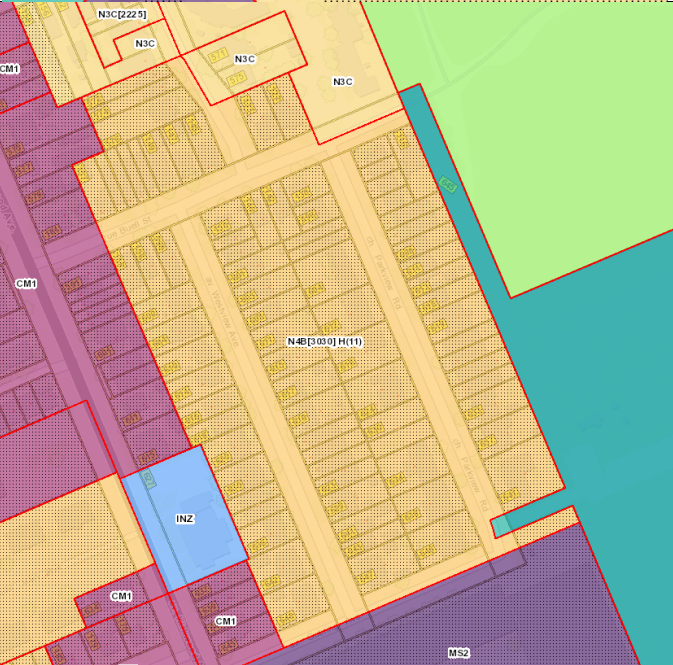
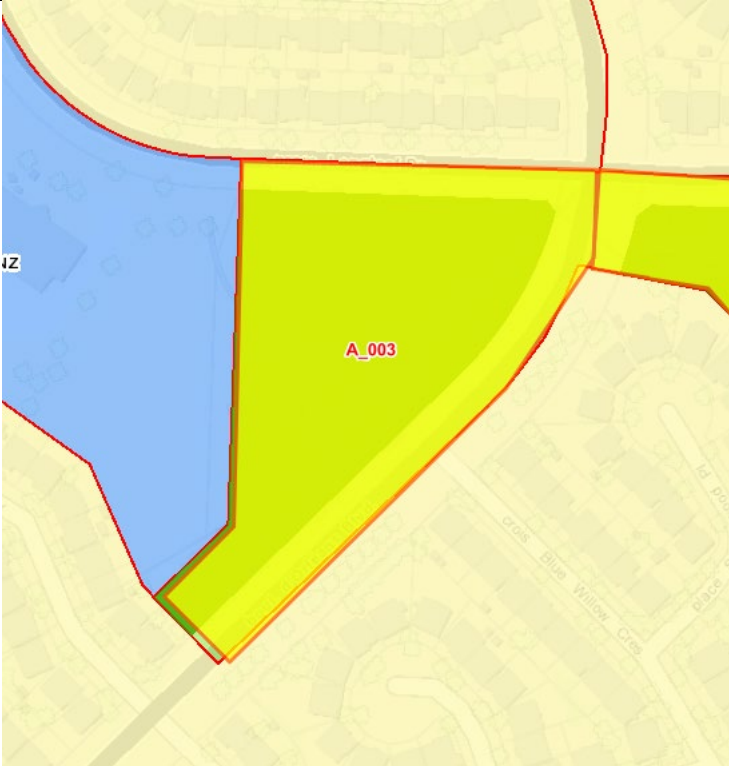

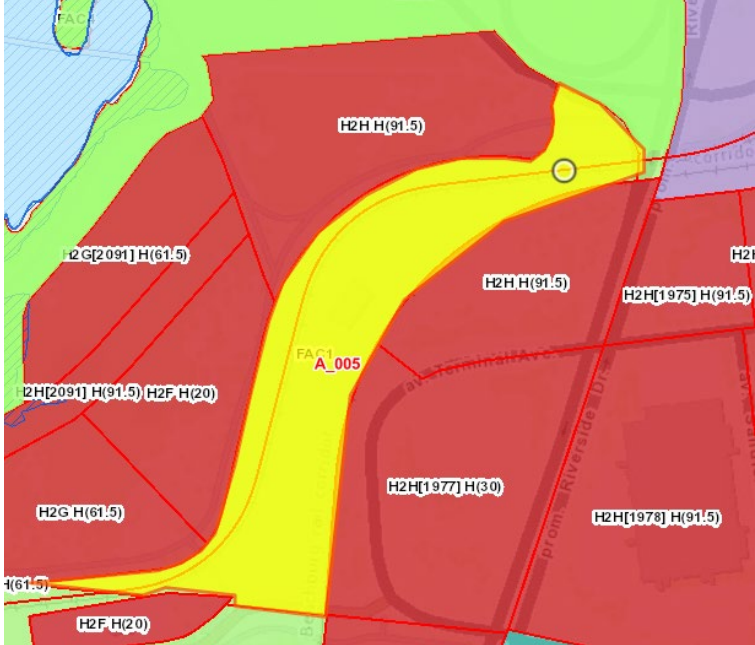

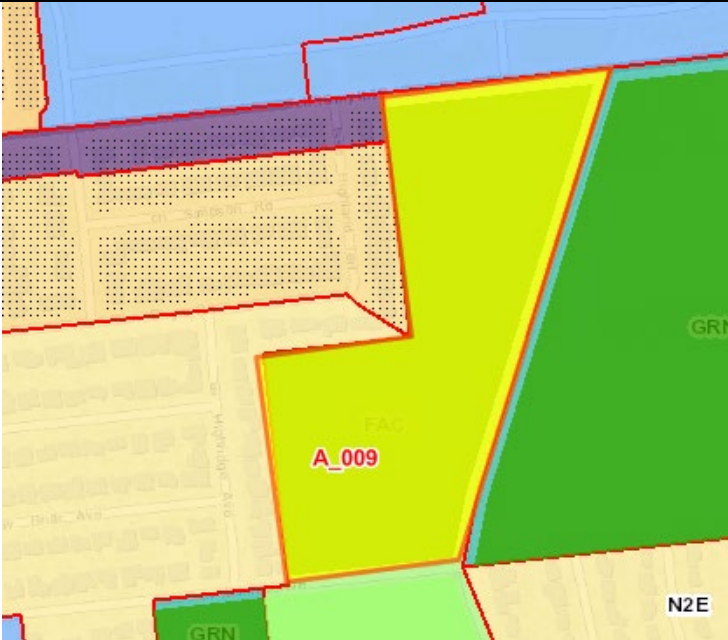


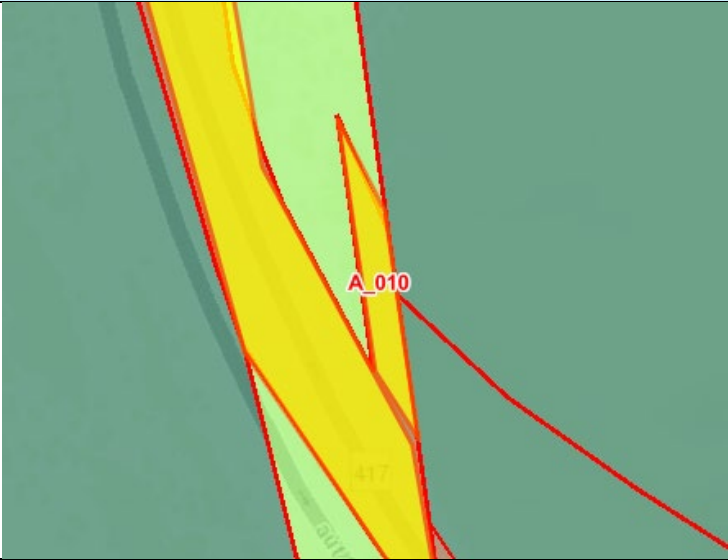
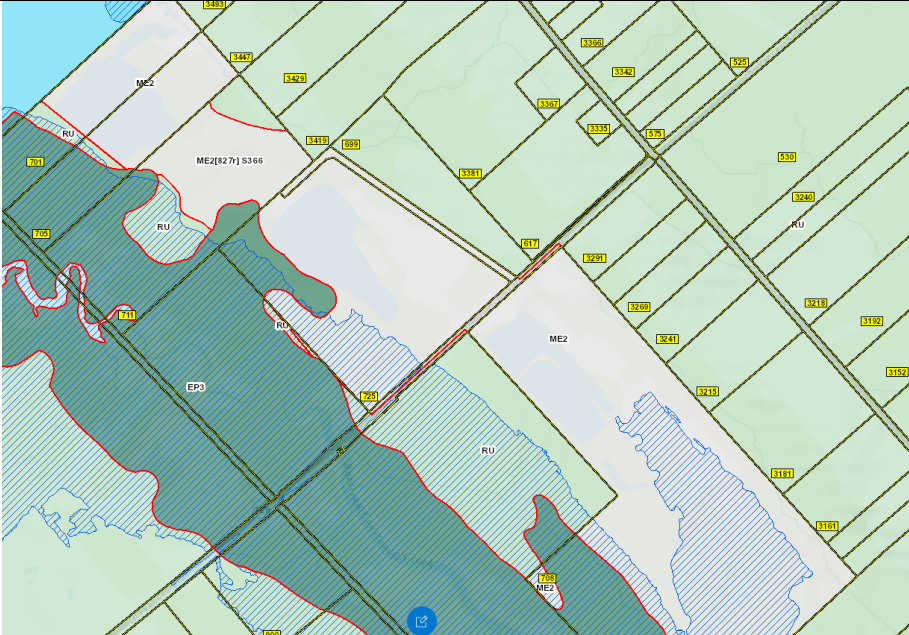
Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_001	233 Hartleigh Avenue	Change zoning to N3B.	This property was zoned MS1 in error, the MS1 zone applied to half of a building. Changing the zoning to N3B to match the surrounding properties.	
A_002	Buell Street, Westview Avenue, Parkview Road except 609, 611, 613, and 615 Parkview	Remove exception [3030] from the N4B H(11) zone code.	Exception [3030], created through a recent Zoning By-law Amendment (By-law 2025-148) was intended to apply only to the properties at 609-615 Parkview Road, but was instead applied to all properties along these streets in error.	

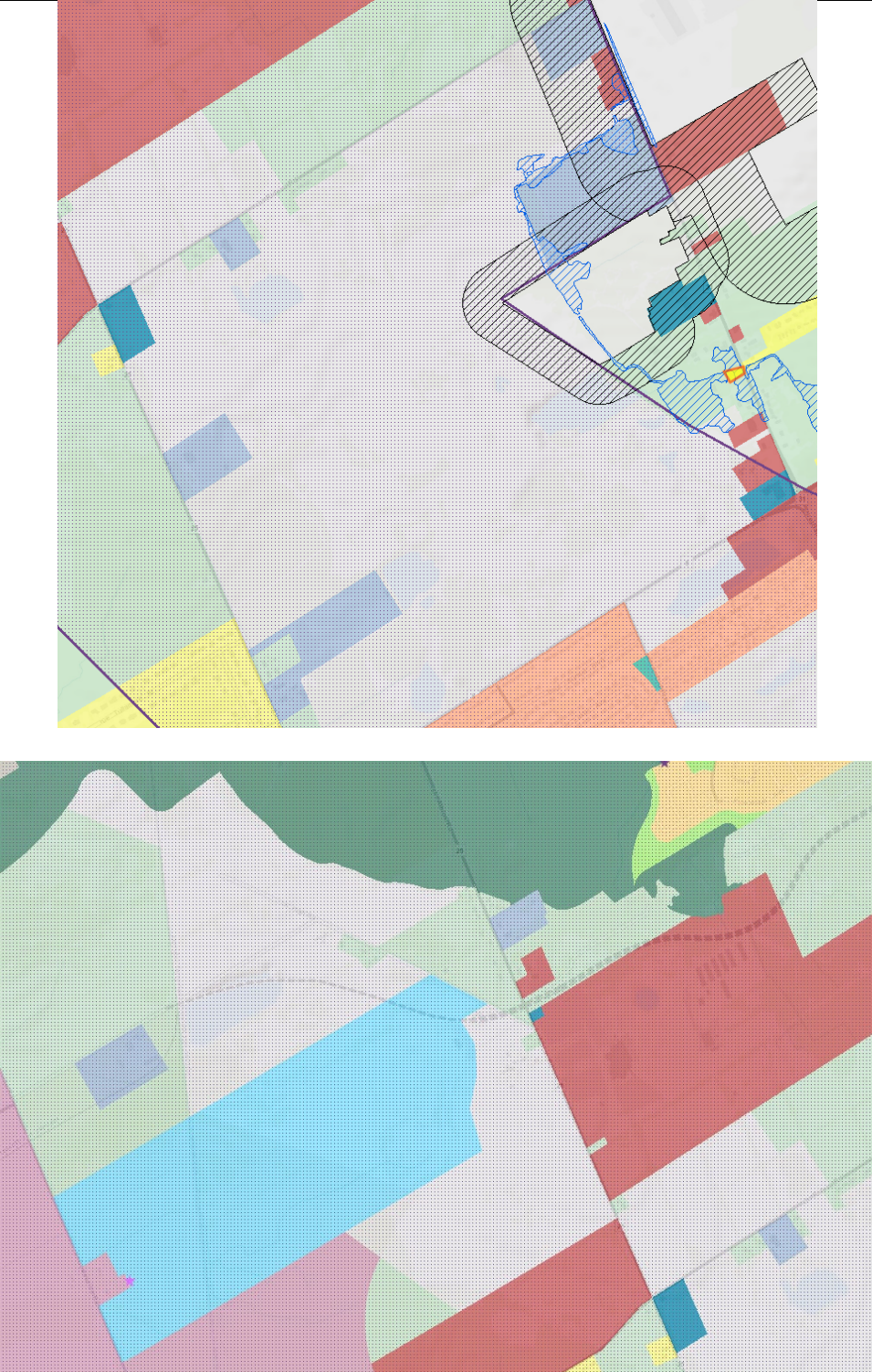
Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_003	6011 Longleaf Drive	Change zoning to GRN.	This property was zoned FAC in error, the zoning should be GRN to reflect the Park sub-designation in the Official Plan.	

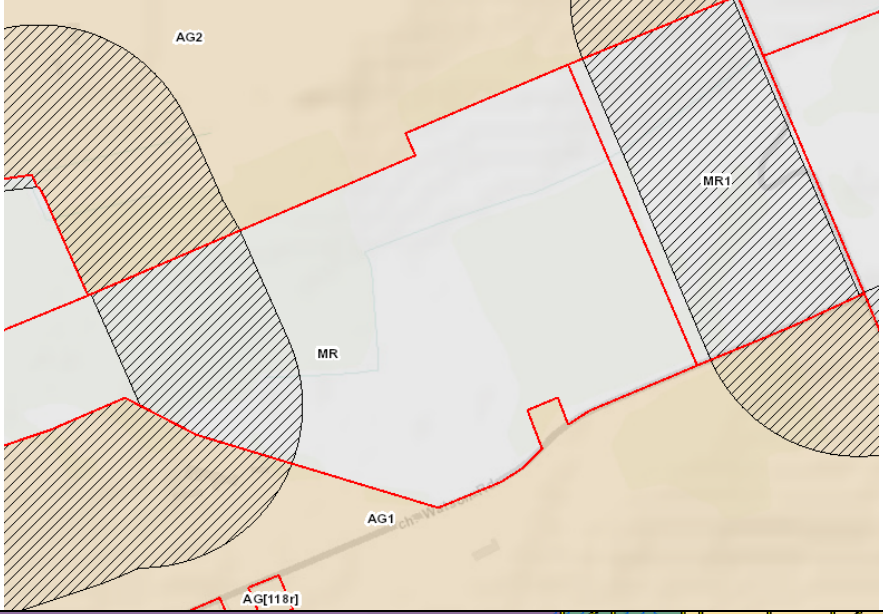

Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_004	6116 Creek Crossing Street, 2179 Auburn Ridge Drive, 2151 Auburn Ridge Drive	Change zoning to GRN.	These lands were zoned FAC and N1B in error, the zoning should be GRN to reflect the Park sub-designation in the Official Plan.	
A_005	Part of 1350 Riverside Drive	Change zoning to FAC.	These lands were zoned FAC1 in error, the zoning should be FAC.	

Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_006	1699 Alta Vista Drive and Part of 1640 Botsford Street	Change zoning to FAC3.	These lands were zoned FAC in error, the zoning should be FAC3.	
A_007	Part of 119 Clearview Avenue	Change zoning to FAC.	These lands were zoned FAC1 in error, the zoning should be FAC.	

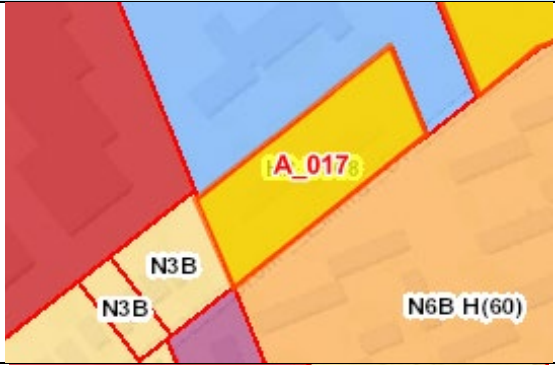
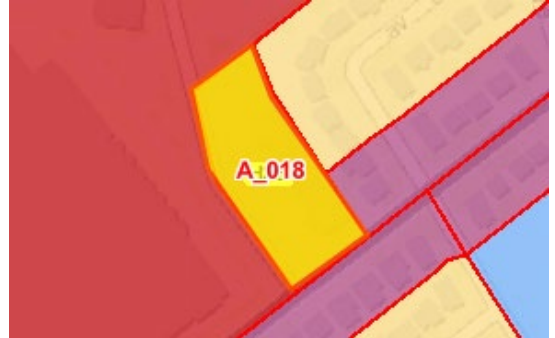
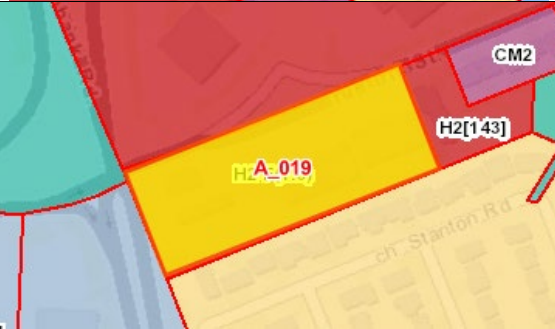

Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_008	Part of 529 Richmond Road	Change zoning to FAC.	These lands were zoned FAC1 in error, the zoning should be FAC.	
A_009	495 Billings Avenue, 550 Smyth Road	Change zoning to GRN.	This property was zoned FAC in error, the zoning should be GRN to reflect the Park sub-designation in the Official Plan.	

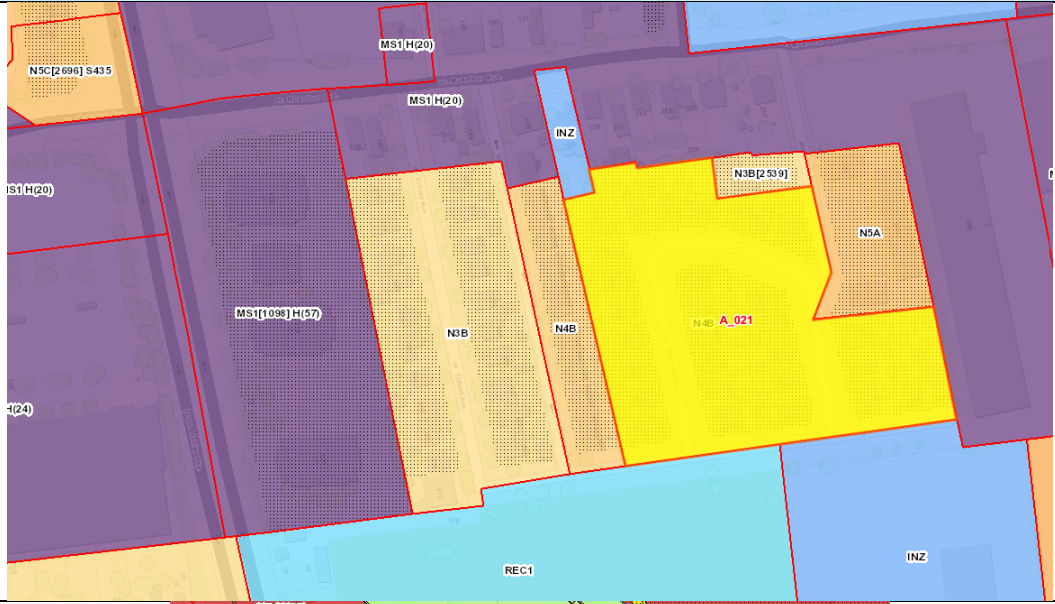
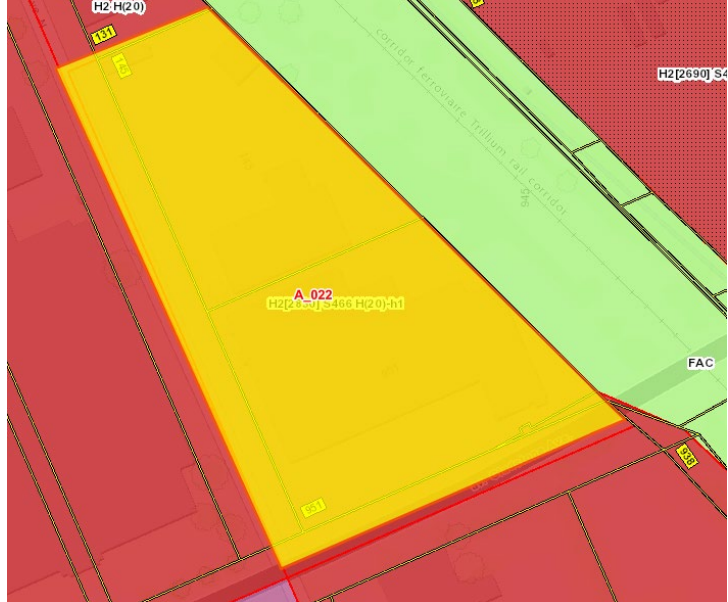
Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_010	Near 2965 Walkley Road	Change zoning to FAC3.	These lands were zoned GBR in error, the zoning should be FAC3.	
A_011	North and south of Vances Side Road, and east of Greenland Road.	Apply the Mineral Aggregate Separation Overlay to ME and MR zones that are outside of the Official Plan Mineral Aggregate Overlay	The Mineral Aggregate Separation Overlay replaces Section 67 in the current Zoning By-law and is based on a buffer from the Mineral Aggregate Overlays in the Official Plan. The current in Zoning By-law 2008-250 Section 67 is measured from ME or MR zones, so this change maintains the existing separation distance. There are three areas where ME or MR zones exist outside of the Official Plan Overlays where staff propose to apply the Mineral Aggregate Separation Overlay.	

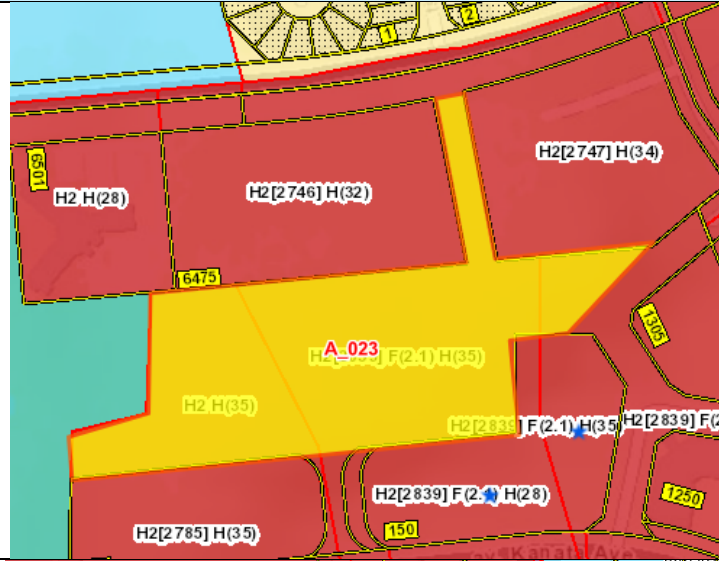
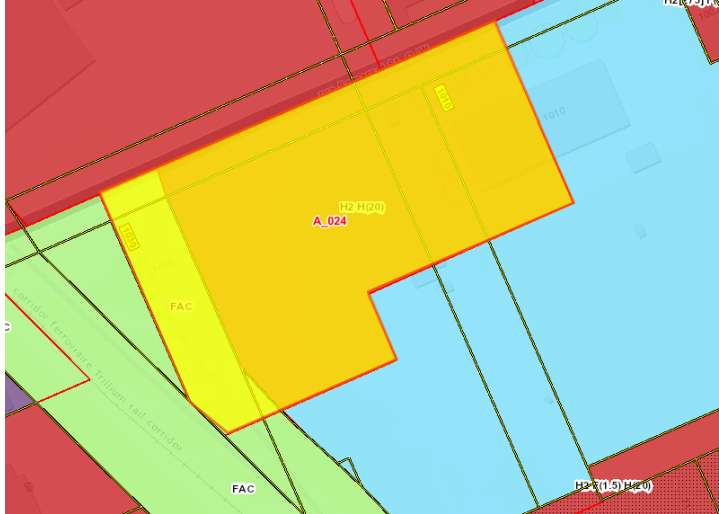
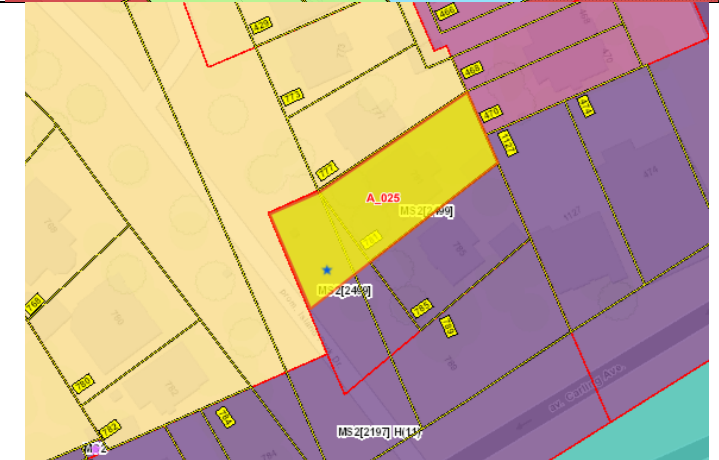
Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_012	Area north and south of Rideau Road located to the south of the Airport and Findlay Creek	Apply the Mineral Aggregate Separation Overlay to ME and MR zones that are outside of the Official Plan Mineral Aggregate Overlay	The Mineral Aggregate Separation Overlay replaces Section 67 in the current Zoning By-law and is based on a buffer from the Mineral Aggregate Overlays in the Official Plan. The currentin Zoning By-law 2008-250 Section 67 is measured from ME or MR zones, so this change maintains the existing separation distance. There are three areas where ME or MR zones exist outside of the Official Plan Overlays where staff propose to apply the Mineral Aggregate Separation Overlay.	

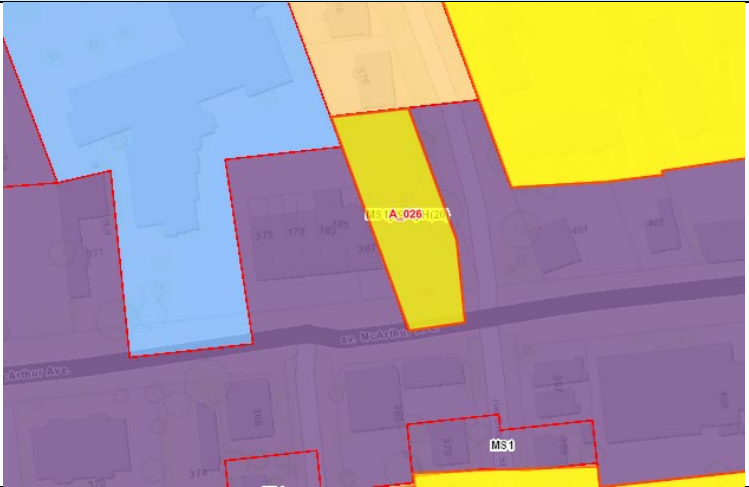
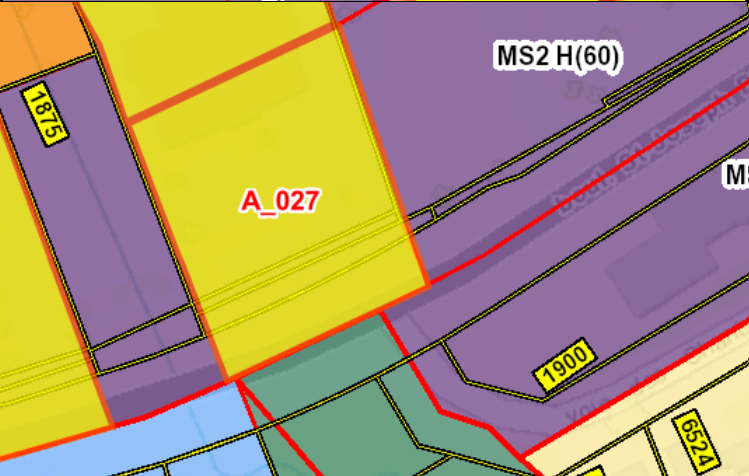
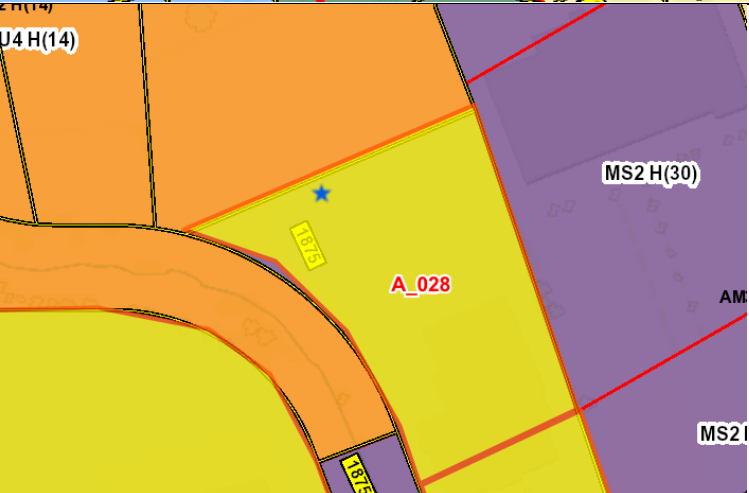
Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_013	3315 and 3551 Watson Road	Apply the Mineral Aggregate Separation Overlay to ME and MR zones that are outside of the Official Plan Mineral Aggregate Overlay	The Mineral Aggregate Separation Overlay replaces Section 67 in the current Zoning By-law and is based on a buffer from the Mineral Aggregate Overlays in the Official Plan. The currentin Zoning By-law 2008-250 Section 67 is measured from ME or MR zones, so this change maintains the existing separation distance. There are three areas where ME or MR zones exist outside of the Official Plan Overlays where staff propose to apply the Mineral Aggregate Separation Overlay.	
A_014	910 March Road	Change zoning from NMU[2962] H(32) to MS2[2962] H(32)	This property is located on a Mainstreet Corridor, so MS2 is the appropriate zoning. NMU is intended to be used in the Neighbourhood designation.	

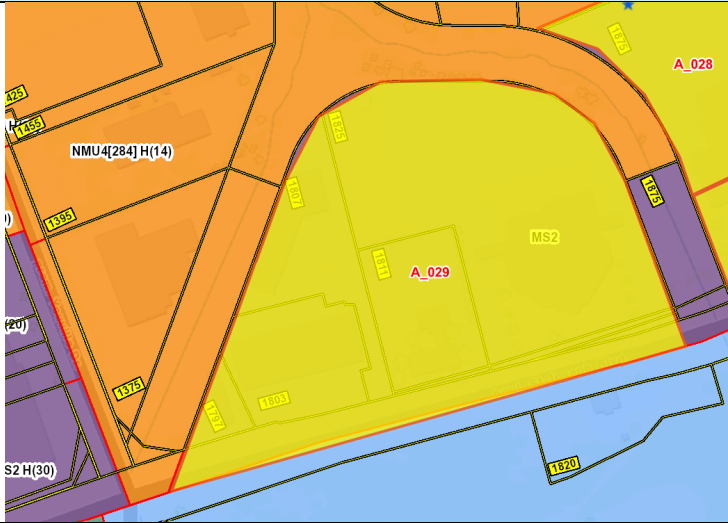
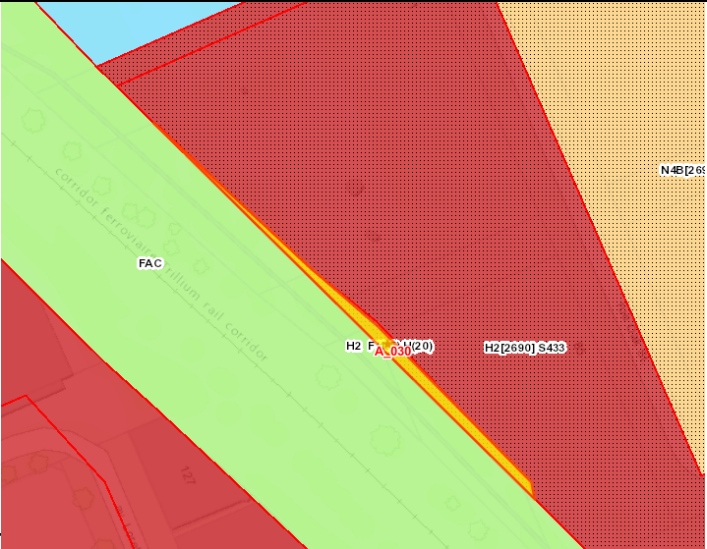
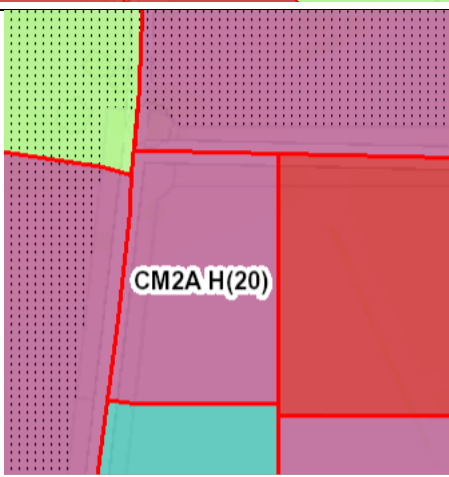
Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_015	250 and 251 Linseed Road	Change zoning from NMU[3021] to MS2[3021]	This property is located on a Mainstreet Corridor, so MS2 is the appropriate zoning. NMU is intended to be used in the Neighbourhood designation.	
A_016	2179 Elmira Drive	Change zoning to H2E S508.	The lands were zoned H2 S508 in error. The zoning should be H2E S508 to reflect the current MC20 S508 zoning in Zoning By-law 2008-250.	

Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_017	2231 Elmira Drive	Change zoning to H2E S508.	The lands were zoned H2 S508 in error. The zoning should be H2E S508 to reflect the current MC20 S508 zoning in Zoning By-law 2008-250.	
A_018	1119 Baxter Road	Add Schedule 508 to the zone code.	Schedule 508 was not included in the zone code for the lands in error.	
A_019	2750 and 2770 Iris Street	Change zoning to H2E S508.	The lands were zoned H2 F(1.0) in error. The zoning should be H2E S508 to reflect the current MC20 S508 zoning in Zoning By-law 2008-250.	
A_020	Part of 6861 Fallowfield Road	Change zoning to RU.	The lands were zoned FAC2 in error. The zoning should be RU.	


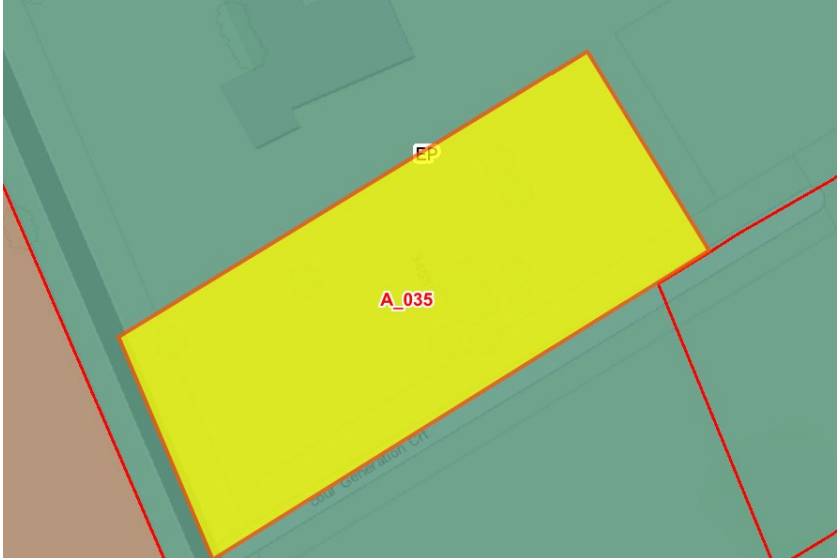
Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_021	Maria Goretti Circle	Change zoning from N4B to N3B	The existing zoning of this s in Zoning By-law 2008-250.reet is R2L. N3B is the correct conversion for this street within the Evolving Neighbourhood Overlay.	
A_022	145 Loretta Ave N. and 951 Gladstone Ave	Remove H(20) suffix from zone code to be H2(2830) S466-h1.	Schedule 466 applies and sets out maximum heights and setbacks. The 20m height suffix was applied in error and should not apply in addition to the schedule.	

Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_023	Part of 6905 Campeau Drive	Change zoning to GRN.	The zoning for a part of the lands should be changed to GRN to apply one zone to the park.	
A_024	1010, 1020 and 1030 Somerset St W.	Remove height suffix.	This area was rezoned to MC in June 2025 with no height suffix. The suffix was applied in error.	
A_025	781 Island Park	Rezone to N3B[2499].	MC2 zone is extended too deeply here; policy does not support going beyond 785 Island Park.	

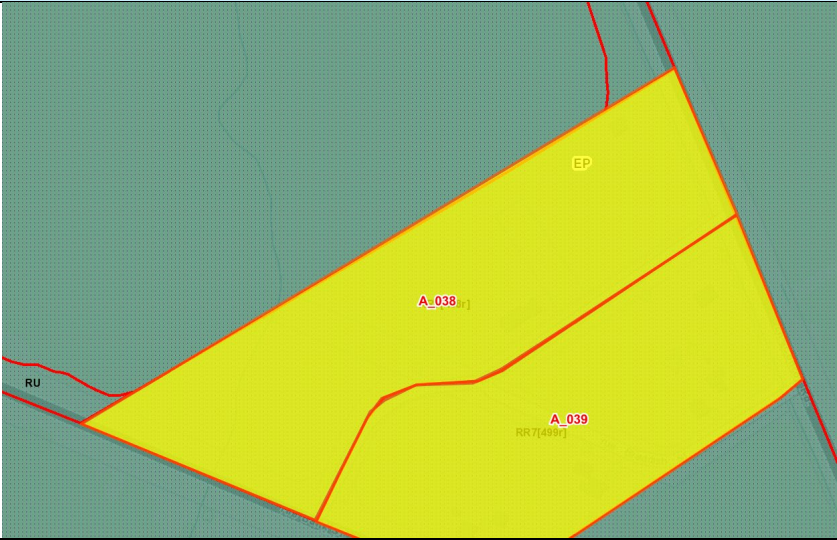
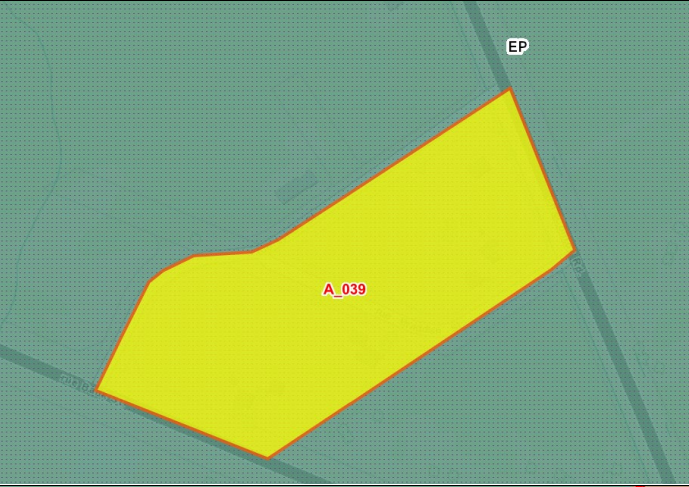
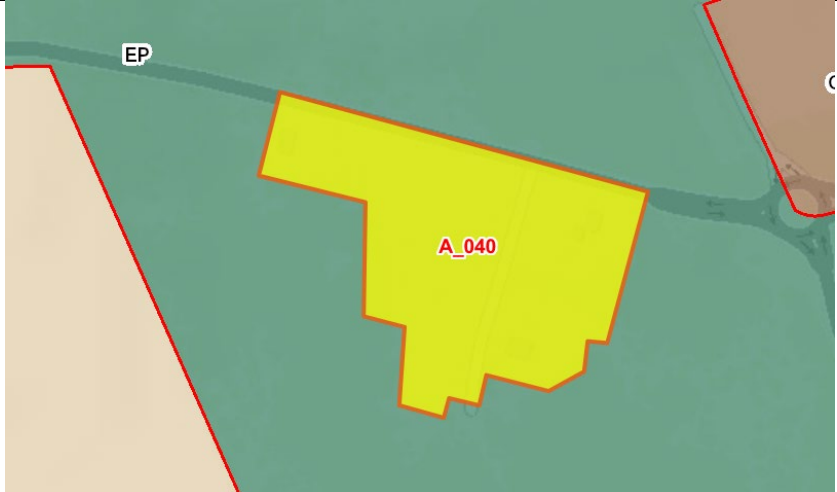
Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_026	393 McArthur	Delete H(20) suffix.	There is no policy reason for a 20-metre height limit here, nor was there a 2the current Zoning By-law 0m limit in 2008-250.	
A_027	Part of 1875 St-Joseph Boulevard	Add a height suffix of 60 metres to the zone code.	The height suffix implements the maximum building height in the Orleans Corridor Secondary Plan.	
A_028	Part of 1875 St-Joseph Boulevard	Add a height suffix of 30 metres to the zone code.	The height suffix implements the maximum building height in the Orleans Corridor Secondary Plan.	

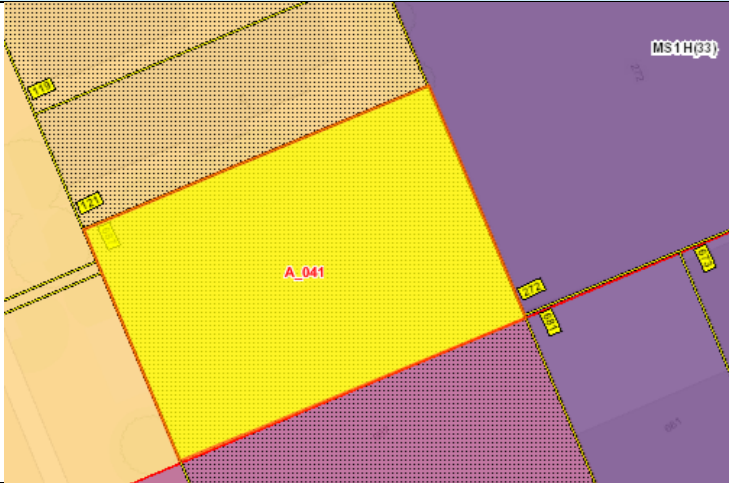
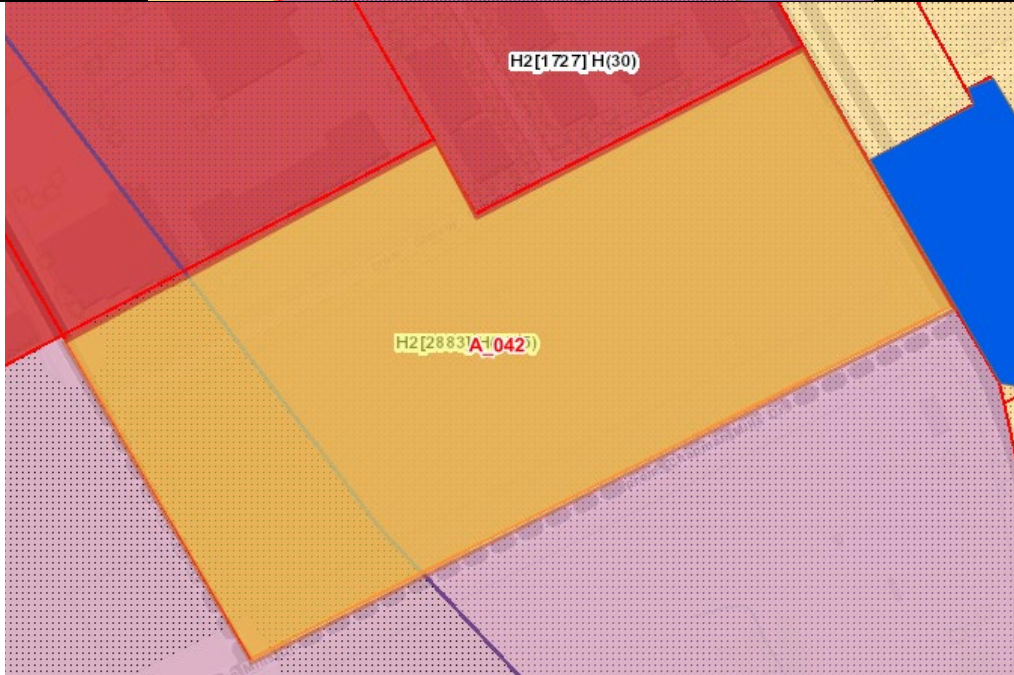
Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_029	1797, 1803, 1807, 1811 and 1825 St-Joseph Boulevard	Add a height suffix of 20 metres to the zone code.	The height suffix implements the maximum building height in the Orleans Corridor Secondary Plan.	
A_030	71 and 85 Oak St	Merge small sliver of H2 (1.5) H(20) zoning that runs along part of the western boundaries of these two properties.	Removing a small, irregular sliver of different zoning from both properties to ensure consistent zoning.	 <p>Word1234ofWor</p>
A_031	Hemlock and Codd's	Increase height from 20m to 30m.	Surrounding area has 30m heights per the Maximum Heights allowed by the Secondary Plan. This portion of land also has a 30m height limit under the SP – the Zoning should implement and align the SP.	

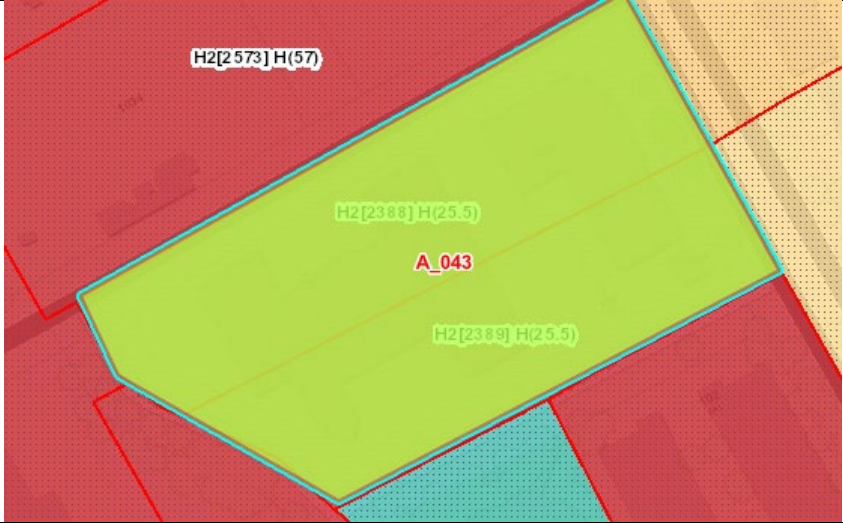
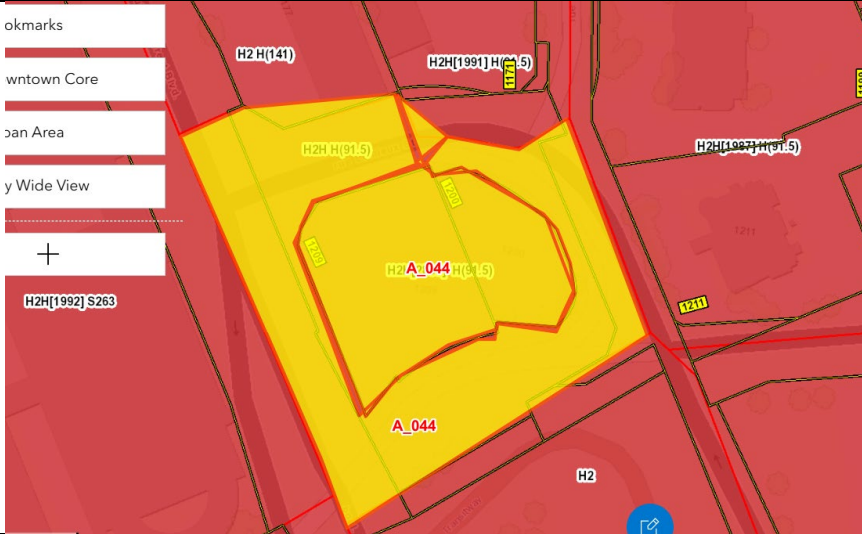

Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_032	Hemlock and Codd's	Change from H3I to H2I	There is no Subzone I in the H3 Zone. There was an error in the mapping and this should be H2I – which implements the SP via the subzone provisions.	
A_033	Near 384 Wellington Street	Change zoning to SDP1 S11.	The lands were zoned REC1 S11 in error. The zoning should be SDP1 S11.	

Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_034	Part of 3248 Carp Road	Change zoning to AG2.	The zoning change reflects the Agricultural designation in the Official Plan.	
A_035	3455 Ramsayville Road	Add rural exception 235r to the zone code.	This rural exception was removed from the zone code in error.	

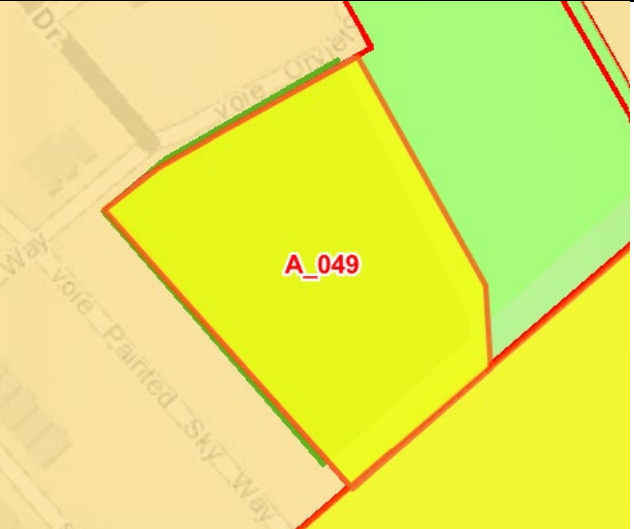
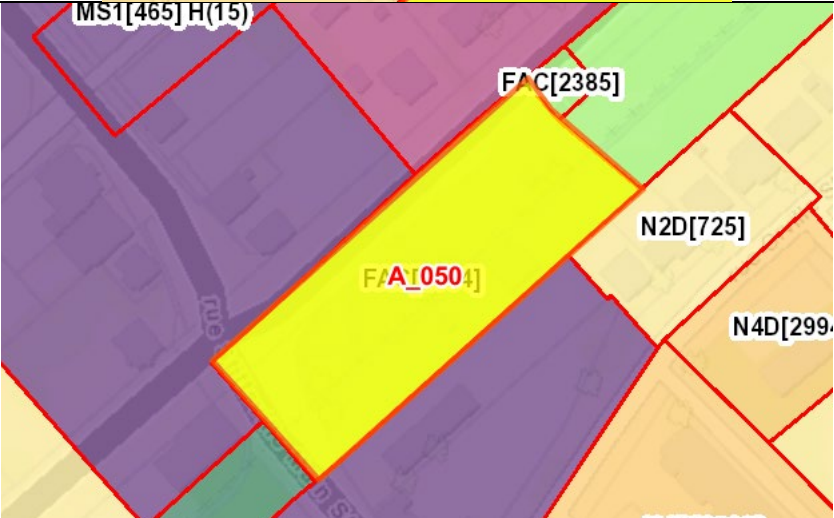
Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_036	Parts of 3170 Davidson Road	Add rural exception 496r to the zone codes.	This rural exception was removed from the zone codes in error.	
A_037	Part of 3585 Bank Street	Add rural exception 497r to the zone code.	This rural exception was removed from the zone code in error.	

Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_038	Part of 3585 Bank Street	Add rural exception 498r to the zone code.	This rural exception was removed from the zone code in error.	
A_039	3275 Braddish Street and Part of 3246 Braddish Street	Add rural exception 499r to the zone code.	This rural exception was removed from the zone code in error.	
A_040	Part of 2090 Innes Road	Add rural exception 542r to the zone code.	This rural exception was removed from the zone code in error.	

Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_041	687 Somerset (north half)	Extend CM1 zone to the back of the site.	This site should not be split zoned.	
A_042	Area subject to exception 2883 northwest of the intersection of Longfields Dr. and Chapman Mills Drive	Change height suffix from 37.5 metres to 16 metres	This area was rezoned in 2023 with a height suffix of 16-metres. A higher maximum height was applied in error. This change maintains the existing height suffix here.	

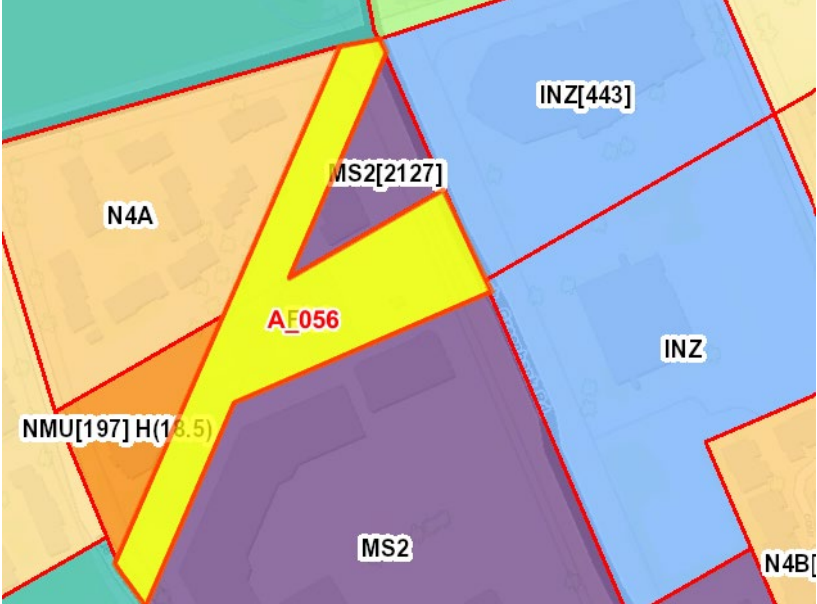
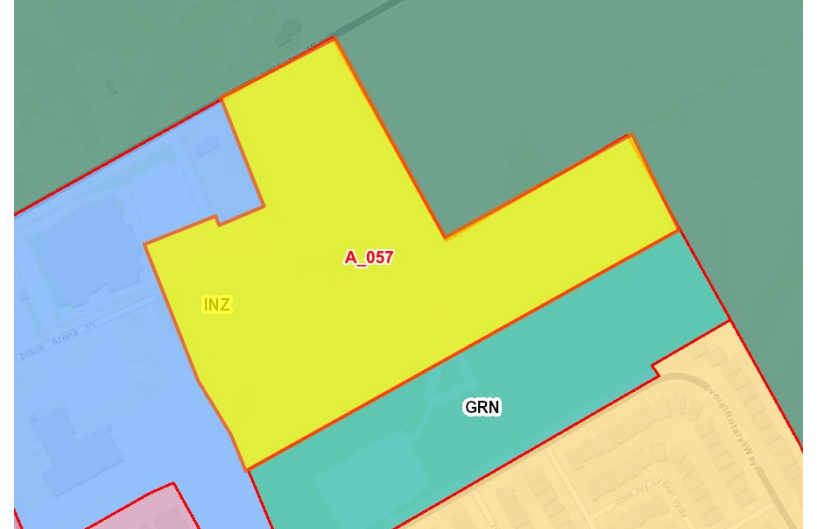
Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_043	121 and 125 Marketplace Avenue and 101 and 109 Lindenshade Drive	Remove 25.5m height suffix	The two exceptions that apply to this development have height maximums in storeys. It is not necessary to also have a maximum height applied through a suffix.	
A_044	1209 St. Laurent Blvd.	Alter Height Suffix from 91.5m to 97m.	A Zoning By-law Amendment granted for this property in 2023 gave a 97m height permission. The draft zoning maps show a 91.5m height permission in error.	
A_045	Part of 101 Princess Avenue and 501 Sir-George-Étienne-Cartier Parkway	Change the zoning to FAC4[XXX3].	The lands were zoned FAC[XXX3] in error. The lands are owned by the NCC so they should be zoned FAC4[XXX3].	

Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_046	NE corner of Portobello/Brian Coburn intersection	Change the zoning to CM2.	These lands are in a Minor Corridor designation in the Official Plan. It is proposed to apply a CM2-Minor Corridor Zone.	
A_047	Near 1590 Alta Vista Drive	Change the zoning to REC1.	The lands were zoned GRN in error. The lands should be zoned REC1 to apply one zone to the entire park.	
A_048	Parts of 1929 Woodroffe Avenue, 3136 Conroy Road, 3880 Ramsayville Road, 4305 Blake Road, 4311 Blake Road, 2090 Innes Road, 5358 Ridge Road, 5176 Ridge Road, 3800 Ramsayville Road, 228 Grenfell Crescent,	Add the new exception [XX27] to the zone code.	Lands with existing dwellings currently zoned RU and AG in Zoning By-law 2008-250 were proposed to be zoned EP in the final draft of the new Zoning By-law to reflect Official Plan sub-designations. The current zoning permits detached dwelling while the proposed zoning does not. This new exception is proposed to be added to the zone code to maintain development rights.	

Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
	216 Grenfell Crescent, 208 Grenfell Crescent, 228 Slack Road, 61 Davidsons Side Road and 4435 Bank Street			
A_049	910 Orvieto Way	Change zoning to GRN.	These lands were zoned FAC in error. The zoning should be GRN.	
A_050	Part of 6000 Abbott Street E	Change zoning to GRN[2384].	These lands were zoned FAC[2384] in error. The zoning should be GRN[2384].	

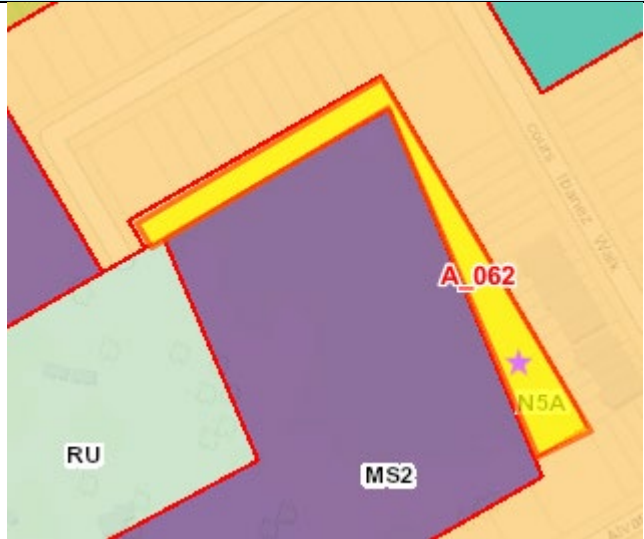
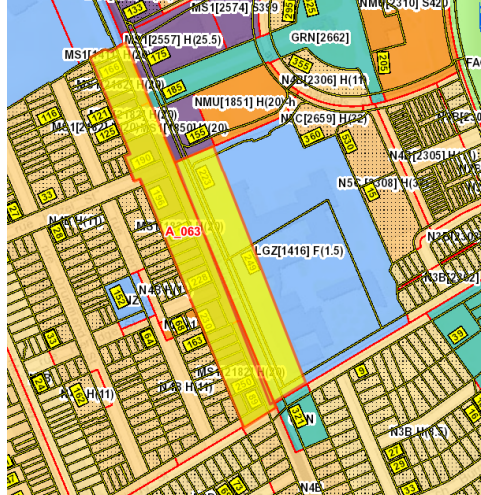
Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_051	590 Rouncey Road	Change zoning to GRN.	These lands were zoned FAC in error. The zoning should be GRN.	
A_052	Part of 631 Putney Crescent	Change zoning to GRN.	These lands were zoned FAC in error. The zoning should be GRN.	

Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_053	123 Echowoods Avenue	Change zoning to FAC.	These lands were zoned GRN in error. The zoning should be FAC.	
A_054	170 Hickstead Way	Change zoning to GRN.	These lands were zoned FAC in error. The zoning should be GRN.	
A_055	Part of 100 Weeping Willow Lane	Change zoning to FAC5.	These lands were zoned GRN in error. The zoning should be FAC5.	

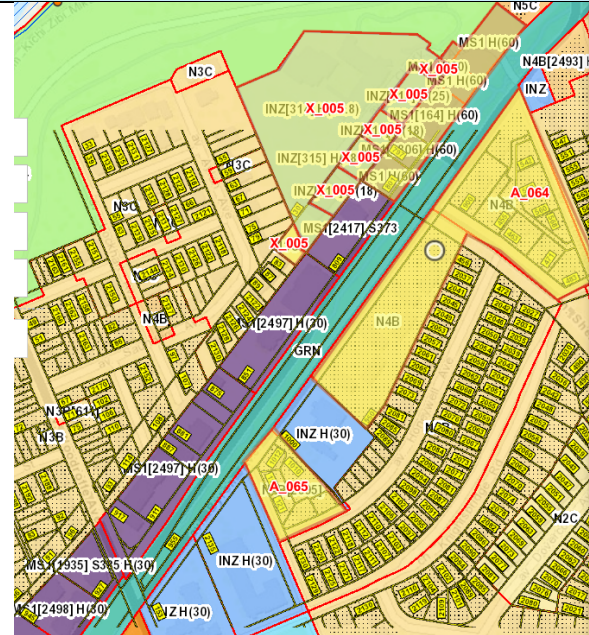
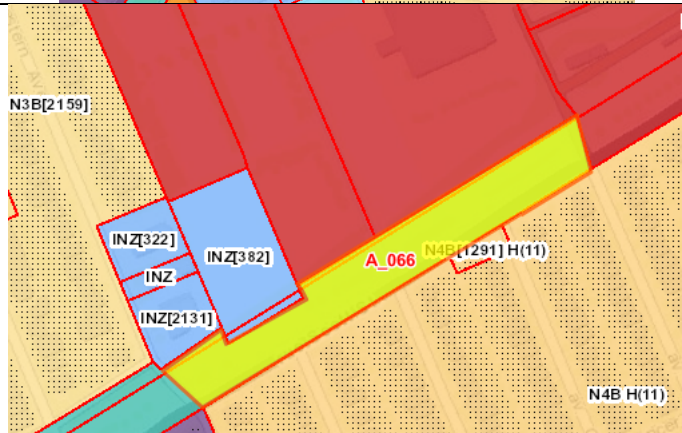

Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_056	28 Glencoe Street and 230 Greenbank Road	Change zoning to FAC3.	These lands were zoned FAC in error. The zoning should be FAC3.	
A_057	3290 Leitrim Road and Part of 4601 Bank Street	Change zoning to GRN.	These lands were zoned INZ in error. The zoning should be GRN to apply one zone to the park.	

Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_058	265, 273 and 275 Churchill Ave.N; 325 Bloomfield Ave	Change zoning from N4B to N5B	Align zoning with the applicable Secondary Plan and OPA 46 amendments.	

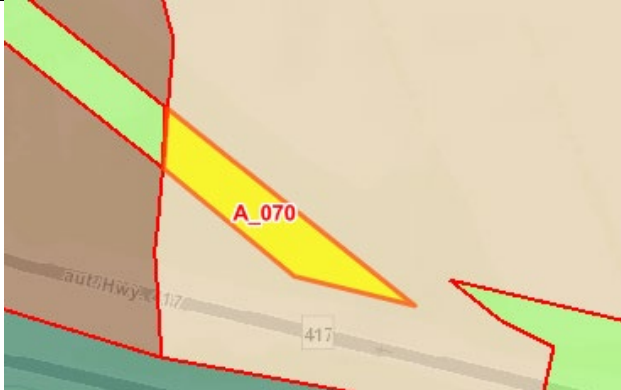
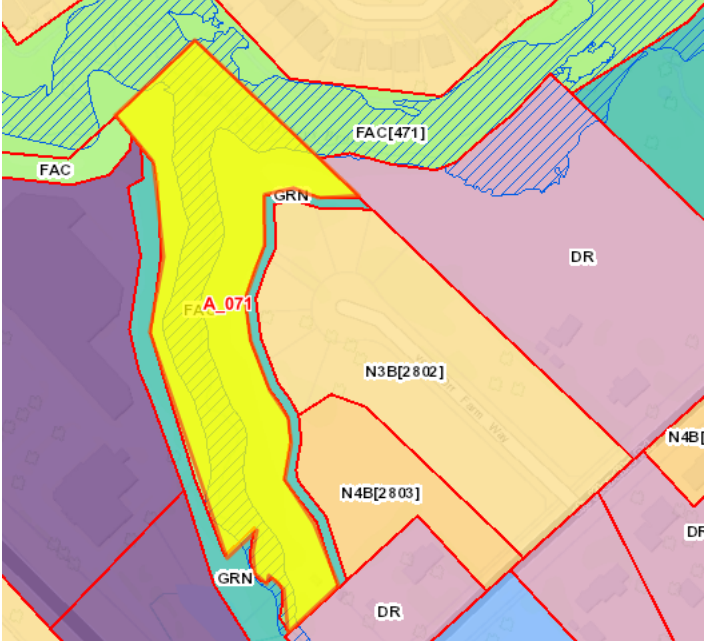
Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_059	279 to 285 Churchill Ave.N; 2 Van Lang Private; 320 Bloomfield Ave; and 270 Lanark	Alter height suffix from H(11) to H(30)	Align zoning with the applicable Secondary Plan and OPA 46 amendments.	
A_060	801 to 747 Richmond Road	Amend height suffix from H(60) to H(90)	Align zoning with the applicable Secondary Plan and OPA 46 amendments.	
A_061	Labrie Avenue	Change zoning to H2F.	The height suffix and FSI limit are incorrect; the H2F subzone exists to implement the Secondary Plan's intent for these lands.	

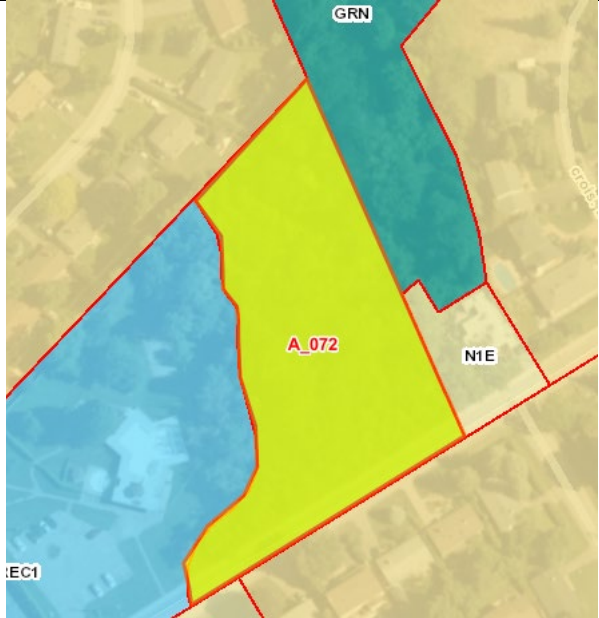
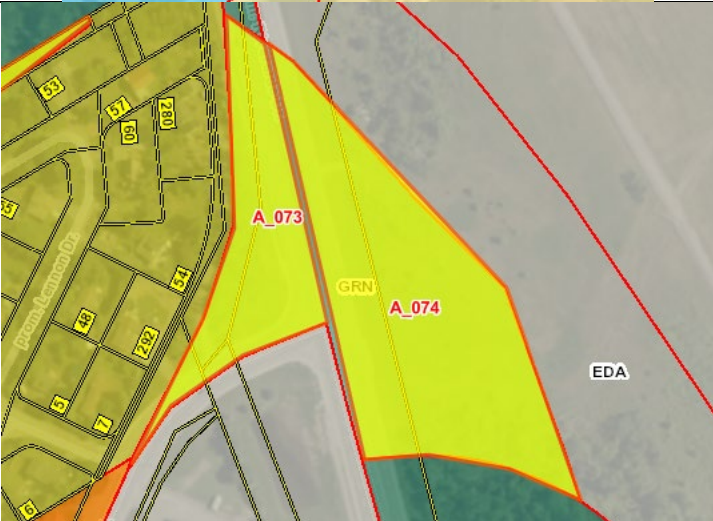
Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_062	Parcel behind 4771 Bank St	Change zoning from N5A to N4B to match surrounding area.	This unaddressed parcel is currently zoned R4Z and should be zoned N4B in accordance with the surrounding neighbourhood.	
A_063	Various properties along Clegg Street	Add H(30) to zoning.	Align with changes made to the Secondary Plan via OPA 46.	

Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_064	950 Byron Ave and block between Byron, Sherbourne, Keenan, and Redwood	Change from N4B to N5B	Align with changes made to the Secondary Plan via OPA 46	

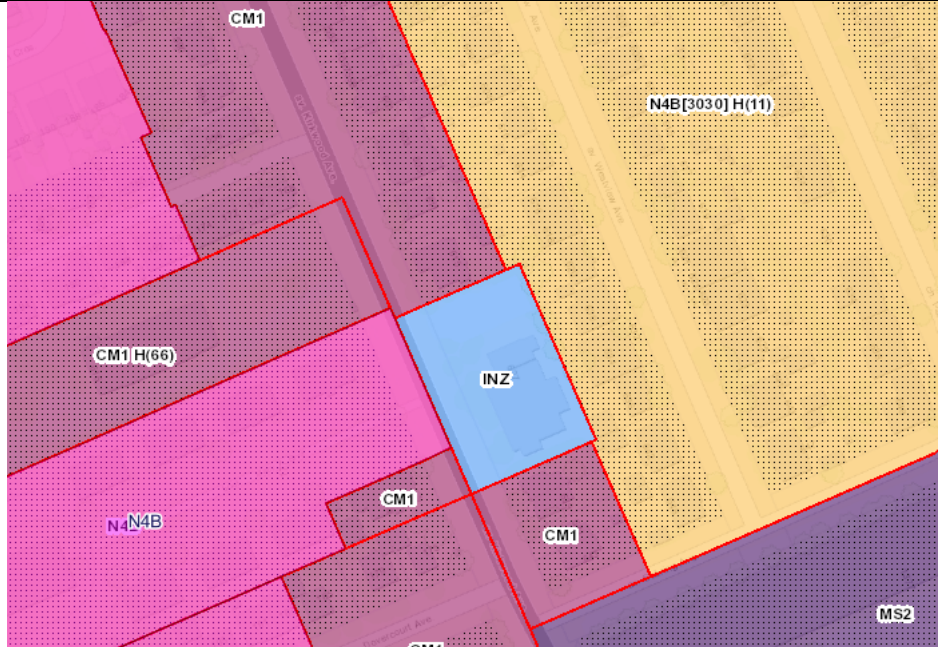
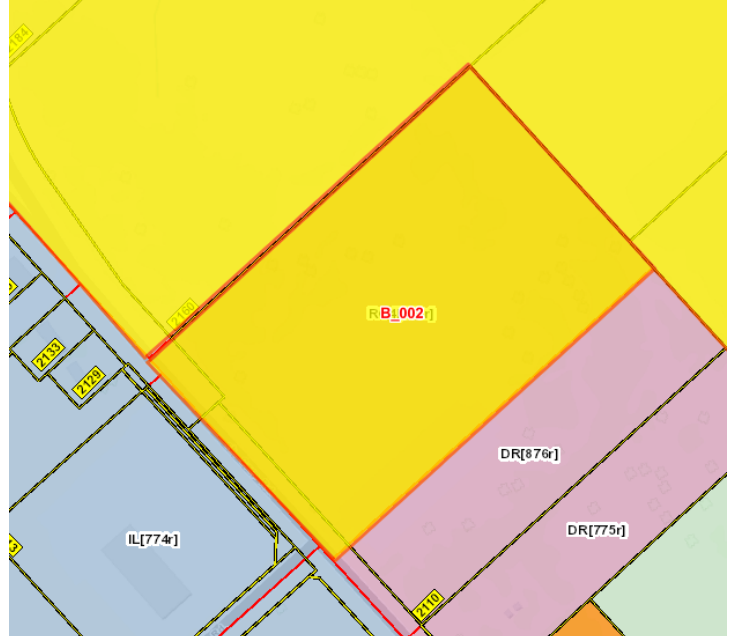
Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_065	Block between Byron, Lockhart and Honeywell.	Change from N4B to N5B	Align with changes made to the Secondary Plan via OPA 46	
A_066	1565 Scott Street	Change zoning to FAC.	These lands were zoned GRN in error. The zoning should be FAC.	
A_067	3340 Hawthorne Road	Change zoning to FAC.	These lands were zoned GRN in error. The zoning should be FAC.	

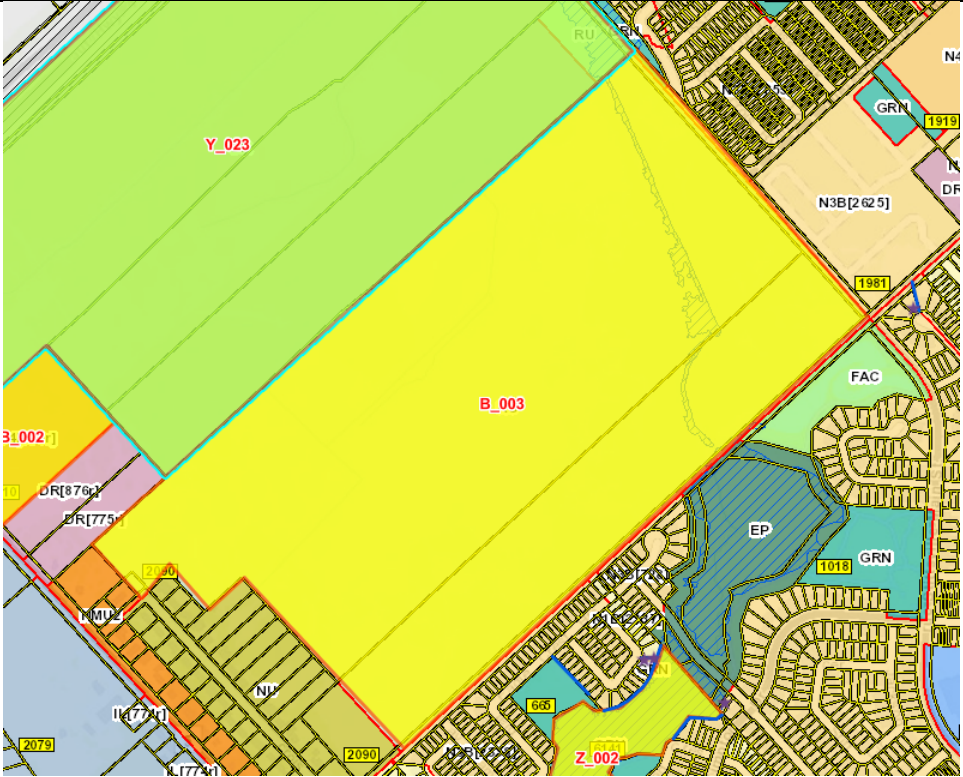

Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_068	1550 Johnston Road, 100 Tapiola Crescent, 3407 Albion Road S and 1534 Cahill Drive	Change zoning to FAC.	These lands were zoned GRN in error. The zoning should be FAC.	
A_069	3460 Conroy Road	Change zoning to FAC.	These lands were zoned GRN in error. The zoning should be FAC.	

Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_070	Near 4610 Russell Road	Change zoning to FAC3.	These lands were zoned AG in error. The zoning should be FAC3.	
A_071	Near 989 Marconi Avenue	Change zoning to FAC5.	These lands were zoned FAC in error. The zoning should be FAC5.	

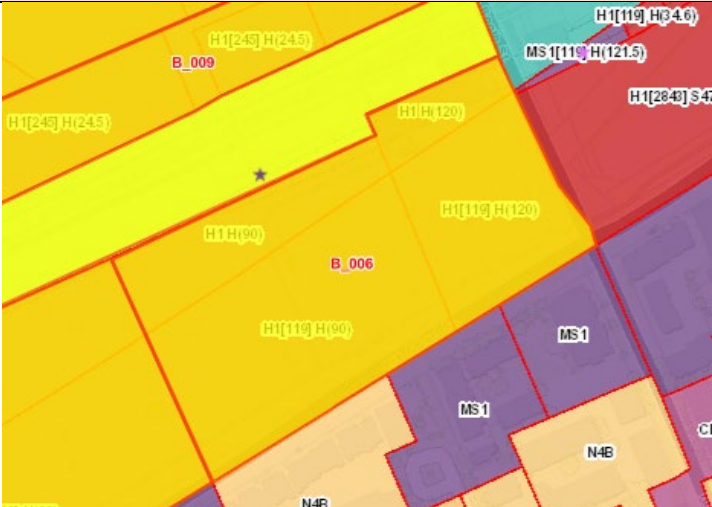
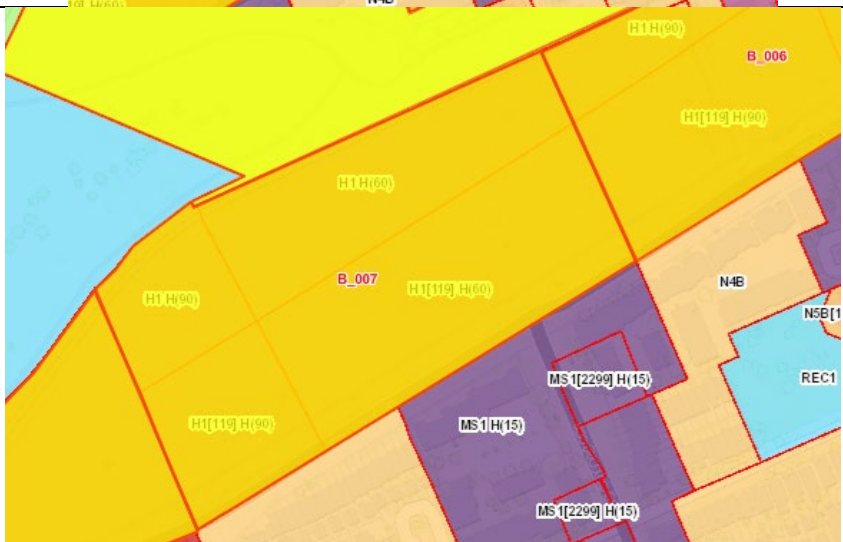
Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_072	Part of 61 Corkstown Road	Change zoning to REC1.	These lands were zoned GRN in error. The zoning should be REC1.	
A_073	Near 54 Lennon Drive	Change zoning to NU.	These lands were zoned GRN in error. The zoning should be NU.	

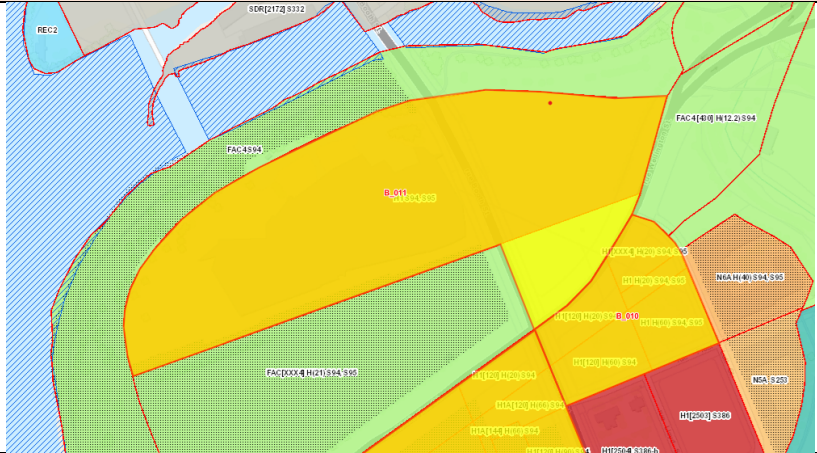
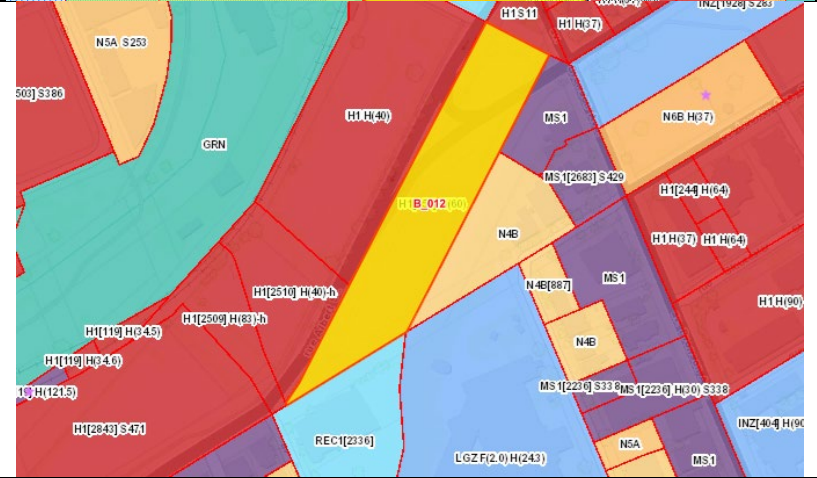
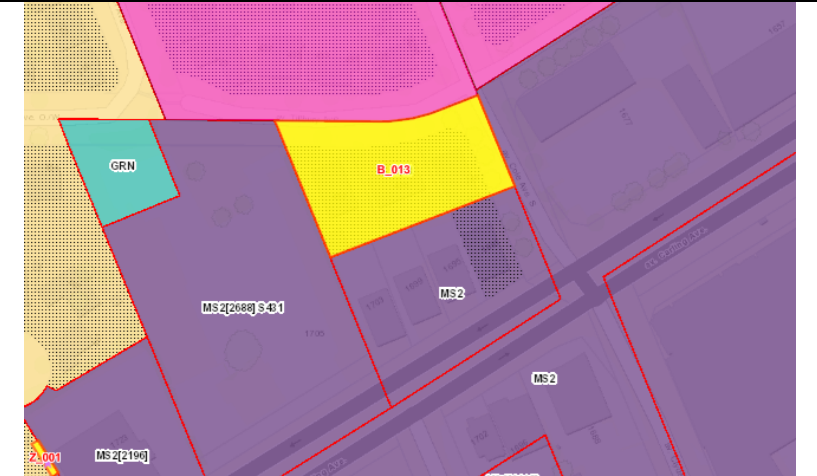
Corrections (A Code)				
ID	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
A_074	Near 54 Lennon Drive	Change zoning to EDA.	These lands were zoned GRN in error. The zoning should be EDA.	
A_075	Near 385 William Mooney Road	Change zoning to FAC.	These lands were zoned RU in error. The zoning should be FAC.	

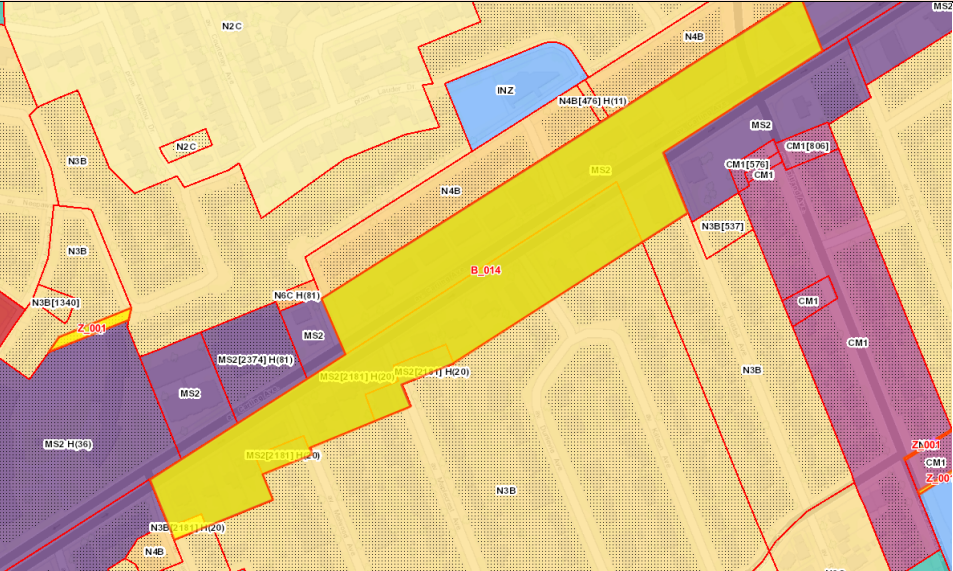
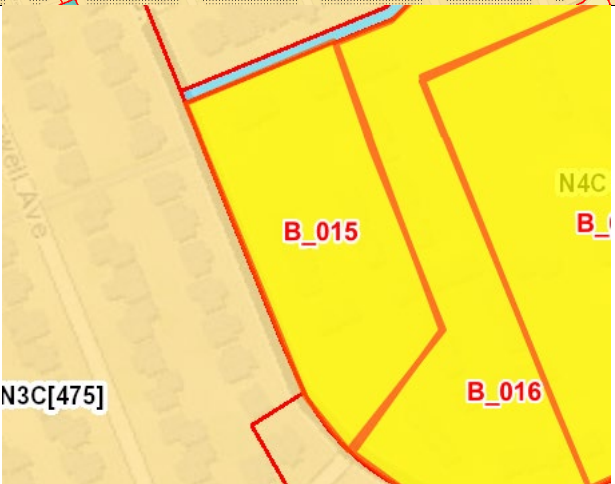
Change of Intent (B Code)				
ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
B_001	627 Kirkwood Avenue	Change zoning from INZ to CM1 to reflect Official Plan designation.	The property is designated Minor Corridor in the Official Plan. The proposed Minor Corridor 1 zone accurately applies that Official Plan designation.	
B_002	2110 Carp Road	Change zoning from RC[876r] to DR[876r]	This is a city-owned parcel that is partially occupied by a park and ride. Unless there is an active Zoning By-law Amendment, application or for lands subject to the Future Neighbourhoods Overlay, rural zones are being converted to urban zones. This parcel has a split Neighbourhood and Industrial and Logistics designation, which may require site-specific zoning to accommodate sensitive uses in proximity to industrial uses if it were to develop in the future.	

Change of Intent (B Code)				
ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
B_003	2090 Carp Road	Change zoning from RU to DR.	This parcel is inside the Urban Boundary, but not subject to the Future Neighbourhoods Overlay. It is currently uDR – Development Reserve Zone developed. DR maintains comparable permissions as the RU zone, but is more appropriate for undeveloped lands that are designated N in the Official Plan neighbourhood.	
B_004	905, 927, 941 and 1035 March Road	Change zoning from RU to DR1	These four parcels are currently Rural Country side zoned RU, but are within the urban boundary. The Community Design Plan for the Kanata North Urban Expansion Area directs that undeveloped parcels be subject to Zoning amendments. Development Reserve subzone 1 amendments. DR1 will recognize the existing dwellings here, while maintaining similar permissions as the RU zone and does not require existing dwellings to be accessory to another use.	

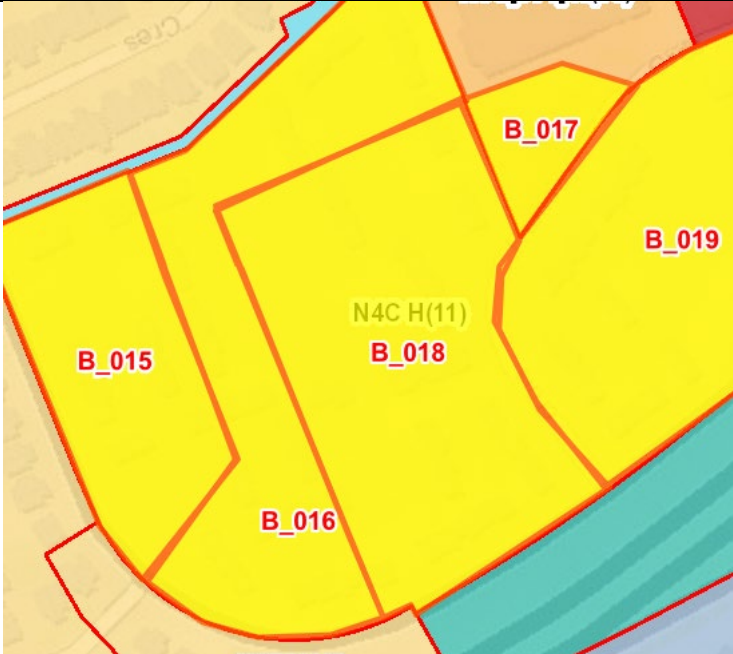
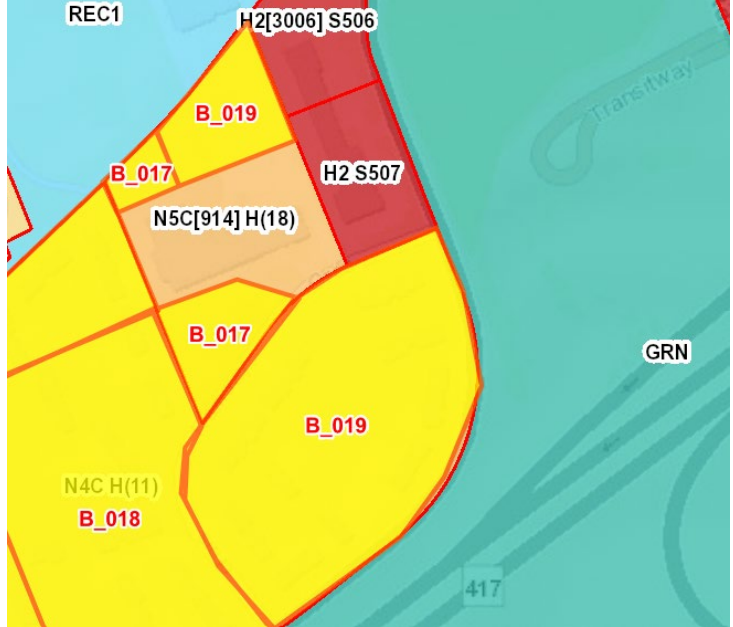
Change of Intent (B Code)				
ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
B_005	1145 Old Carp Road and parcel in between 905 and 927 Carp Road with no municipal address	Change zoning from RU to DR	These two parcels are currently zoned RU, but are within the urban boundary. The Community Design Plan for the Kanata North Urban Expansion Area directs that undeveloped parcels be subject to Zoamendments. Amendments. DR maintains comparable permissions as the RU zone, but is more appropriate for undeveloped lands within the urban boundary.	

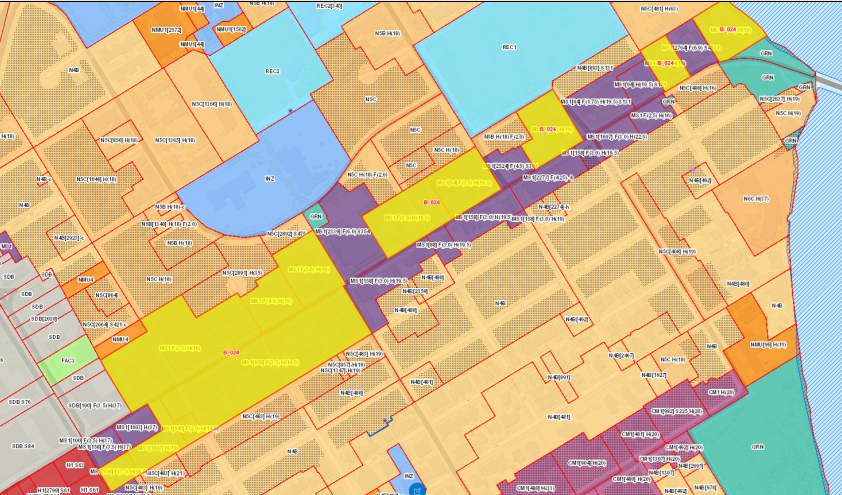
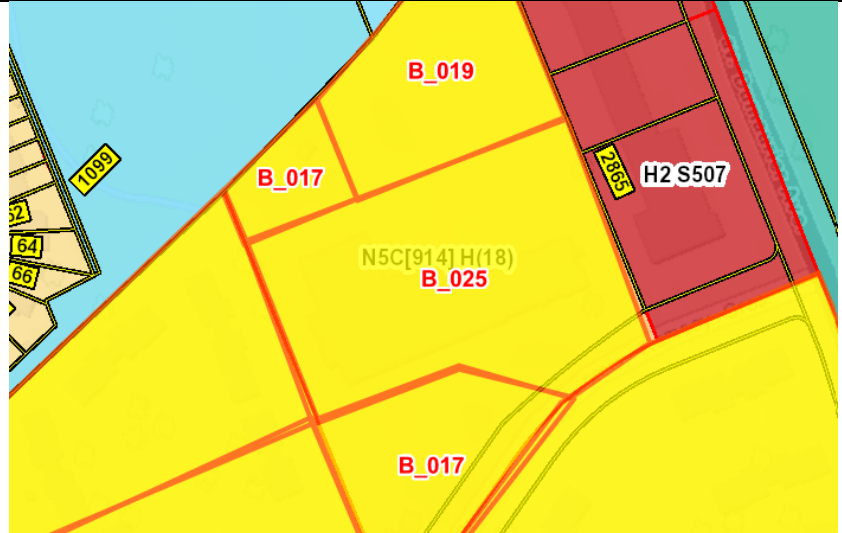
Change of Intent (B Code)				
ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
B_006	Area NW of Albert and Booth	Delete exception [119], add new exception [XX21], revise heights: - H(90) ... H(120) to H(132)	Implementing LeBreton Flats, West Downtown Core Secondary Plan	
B_007	North of Albert & Preston intersection	Delete exception [119]. Add new exception [X22]. Revise heights follows: - H(60) to H(66) - Reverting any H(90) to H(66)	Implementing LeBreton Flats, West Downtown Core Secondary Plan	

Change of Intent (B Code)				
ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
B_011	Area north of Wellington St and war museum	Add a new exception, [XX24].	Implementing LeBreton Flats, West Downtown Core Secondary Plan	
B_012	550 Albert	Delete exception [951]. Add new exception, [XX23]. Ree height up to 66m. Add -h for holding provision.	Implementing LeBreton Flats, West Downtown Core Secondary Plan	
B_013	748 Cole, 428-432 Tillbury	Rezone from N4B to MS2.	These lands are under one ownership; OP 6.2.1(1)(b) supports extension of MS zoning down side street.	

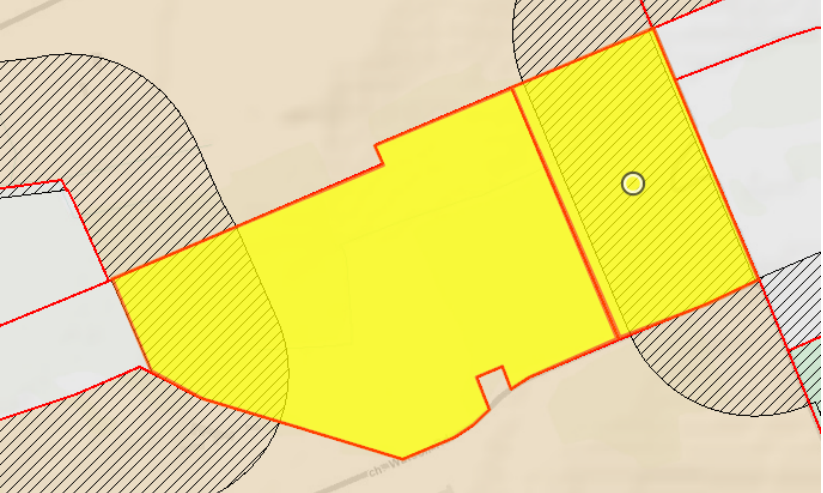
Change of Intent (B Code)				
ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
B_014	South side of Carling Ave between Hare Ave and Riddell Ave; north side Carling from Bromley	Delete H(20) suffix and rezone the N3B parcel at the extreme south-west end of this area to MS2.(2rted to MS2.	No policy justification for this height limit, no relation to the exception applied on The lot at the extreme south-west end of the area was originally zoned AM10 and should receive MS2 zoning to preserve permissions for these lands.	
B_015	Part of 1065 Ramsey Crescent	Remove the height suffix from the zone code.	Removing the height suffix implements the maximum building height in the Pinecrest and Queensview Stations Secondary Plan.	

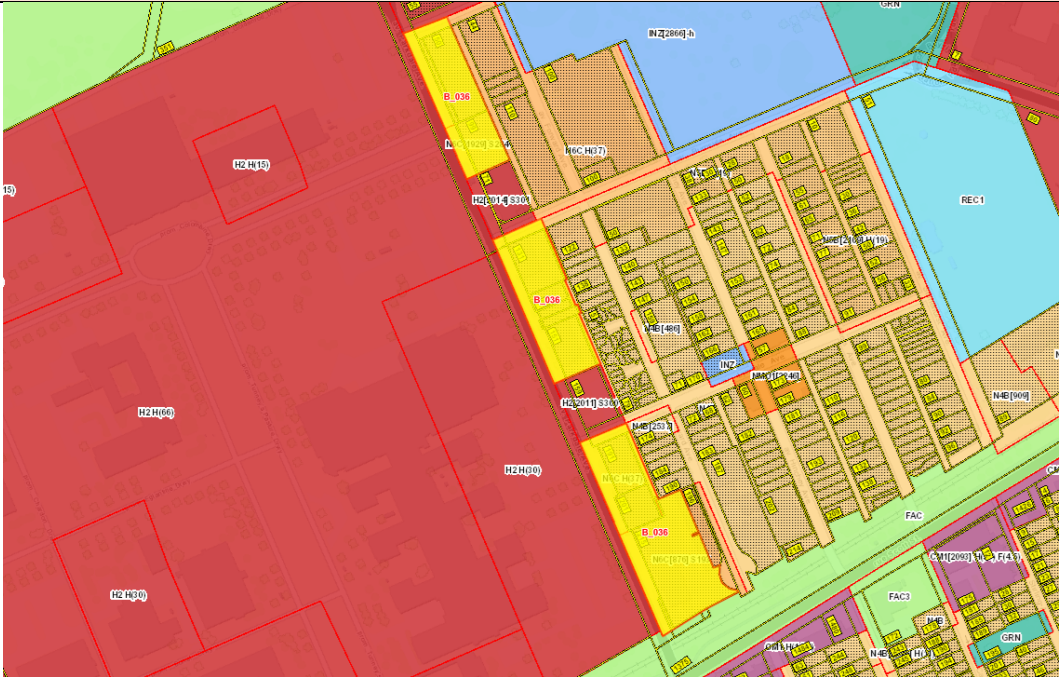
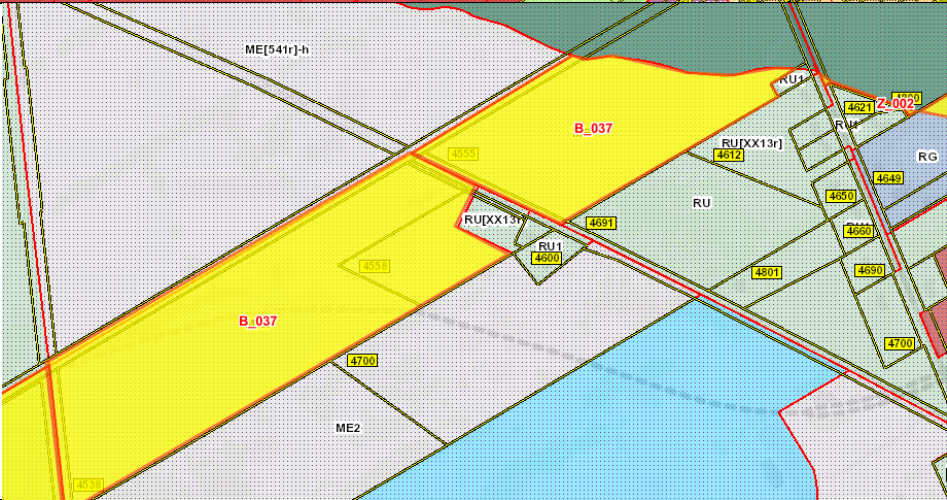
Change of Intent (B Code)				
ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
B_016	Part of 1065 Ramsey Crescent	Change the zoning to N5C.	Changing the zoning implements the maximum building height in the Pinecrest and Queensview Stations Secondary Plan.	
B_017	Part of 1065 Ramsey Crescent	Remove the height suffix from the zone code.	Removing the height suffix implements the maximum building height in the Pinecrest and Queensview Stations Secondary Plan.	

Change of Intent (B Code)				
ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
B_018	Part of 1065 Ramsey Crescent	Change the zoning to N6C H(99).	Changing the zoning to N6C H(99) implements the maximum building height in the Pinecrest and Queensview Stations Secondary Plan.	
B_019	2891 Dumaurier Avenue and Part of 1065 Ramsey Crescent	Change the zoning to N6C H(132).	Changing the zoning to N6C H(132) implements the maximum building height in the Pinecrest and Queensview Stations Secondary Plan.	
B_020	110, 120, 130, 152 Moonstone Road and 6482 Rothbourne Road	Change zoning from Rural Countryside to Neighbourhood Unserviced	These five properties were previously subject to the Future Neighbourhoods Overlay, but it was removed. These properties are now within the urban boundary, but are not anticipated	

Change of Intent (B Code)				
ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
B_024	Rideau Street, from King Edward Ave to the Riple shapes.	Delete H(19) or (19.5) suffix, apply H(30) suffix.	Secondary plan directs nine-storey heights in this area. Lands with greater heights (via site-specific amendment) are omitted from this map change.	
B_025	Part of 1065 Ramsey Crescent	Change the height suffix to 132 metres.	Changing the height suffix implements the maximum building height in the Pinecrest and Queensview Stations Secondary Plan.	

Change of Intent (B Code)				
ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
B_030	Citywide	Implementing urban zones in Urban Expansion Areas.	<p>The Urban Expansion Areas subject to the Future Neighbourhoods Overlay are now within the Urban Boundary and should have urban zoning to reflect that change.</p> <p>Tewin will not receive urban zoning as the boundaries of Tewin have not been finalized.</p>	<p>Zone conversion:</p> <p>AG to DR AG[199r] to DR[199r] – applies to a city-owned snow disposal facility on part of 2263 Portobello Blvd, which is permitted by the exception. AG2 to DR AG3 to DR O1 to GRN O1A to REC3 O1P to FAC5 RC2 to DR RC4 to DR RG1 to DR – applies to Bowesville Station and park and ride. RI3[444r] to DR[444r] – applies to city-owned works yard at 2035 Trim Rd, which is permitted by the exception. RR1, RR2, and RR5 to NU RR9 and RR10 to NU[XX26] – See B_031 RU to DR RU[444r] to DR[444r] – applies to city-owned works yard at 5300 Innes Rd, which is permitted by the exception.</p>
B_031	<p>4895, 4903, 4925, 4931, 4943, 4950, 4952, 4960, 4968, 4976, 4984, 4992, 4996, 5000, 5004 Bowesville Rd.</p> <p>1865, 1871, 1879, 1887, 1893, 1899, 1907, 1951, 1963, 1969, 1977, 1983, 1989, 1995, 2007 Rideau Rd.</p> <p>5548, 5549, 5557, 5562, 5563, 5569, 5572, 5575, 5581, 5586 5587, 5593, 5595, 5623, 5630, 5631, 5637, 5640,</p>	Applying a new exception (XX26) to maintain smaller rear yard setback from RR9 and RR10 subzones	As part of applying urban zones in the Urban Expansion Areas, RR zones are being converted to Neighbourhood Unserviced Zones. All provisions in the NU zone are less restrictive, except that the RR9 and RR10 subzones permit a smaller rear yard setback. This new exception would retain that setback to ensure existing dwellings are not rendered legal non-conforming.	

Change of Intent (B Code)				
ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
	5643, 5646, 5653, 5659 Ficko Cres.			
B_032	3315 and 3551 Watson Rd	Change zoning from MR and MR1 to RU.	The Bedrock Area Overlay was removed from these lands through Official Plan Amendment 1 in September 2023. As such the zoning will be changed to Rural Countryside to reflect the underlying designation.	
B_033	N3-zoned areas generally north of Ruskin Street between Highway 417 and Bayswater Avenue	Change zoning from N3B to N2C.	Amending the boundary between the N2 and N3 zones within the Civic Hospital neighbourhood in accordance with the general intent of the Evolving Neighbourhood Overlay.	
B_034	Part of 2453 A Iris Street	Change the zoning to N4B.	Changing the zoning implements the maximum building height in the Pinecrest and Queensview Stations Secondary Plan.	
B_035	Part of 2453 A Iris Street	Change the zoning to N5B.	Changing the zoning implements the maximum building height in the Pinecrest and Queensview Stations Secondary Plan.	

Change of Intent (B Code)				
ID (insert into ZB Notes)	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
B_036	East side of Parkdale Ave, north of the Transitway.	Change N6C code to H2.	Assigning H2 zoning in conformity with the Scott Street Secondary Plan, which designates these lands Hub.	
B_037	4538, 4555 and 4558 High Road	Change zoning from MR and MR1 to RU	These properties are currently zoned Mineral Aggregate Reserve, but are no longer subject to the Mineral Aggregate Overlay in the Official Plan. RU zoning reflects the underlying Rural Countryside designation.	
B_038	4771 Bank St	Change zoning from RU to DR	This property is within the urban boundary and should no longer have rural zoning.	

Minor Technical Change (Z Code)					
ID (insert into ZB Notes)	PLANNER NAME	Address/General Location	Proposed Amendment Description	Rationale	Existing Mapping (snippet)
Z_002		City-wide	Changes to Environmental Protection zone boundaries to align with Official Plan designations.	<p>This amendment was included in the first staff-recommended amendments to the Zoning Map of the draft Zoning By-law with the rationale:</p> <p>“Boundaries needed to be adjusted to match the Significant Wetlands, Natural Environment Areas, Urban Natural Features, Greenbelt Natural Area, or Greenbelt Natural Linkage designation in the Official Plan.”</p> <p>The rationale for this amendment should have also noted that where lands zoned Environmental Protection in Zoning By-law 2008-250 are not in a Significant Wetlands, Natural Environment Areas, Urban Natural Features, Greenbelt Natural Area, or Greenbelt Natural Linkage designation in the Official Plan the zoning for the lands will be amended to reflect the Official Plan designation that does apply to the lands.</p>	