

PRELIMINARY

**PLAN OF SURVEY OF
LOTS 1675, 1676, 1677, 1678
REGISTERED PLAN 375
CITY OF OTTAWA**
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Committee of Adjustment
Received | Reçu le
Revised | Modifié le : 2026-01-06
City of Ottawa | Ville d'Ottawa
Comité de dérogation

SCHEDULE			
PART	LOTS	PLAN	PIN
1	1678 AND PART OF 1677	375	ALL OF 04688-0118
2	1675, 1676, AND PART OF 1677		



Metric
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

Surveyor's Certificate
I CERTIFY THAT :
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
2. The survey was completed on the 26th day of June, 2025.

July 16, 2025
Date
Emmett Ketchum
Ontario Land Surveyor

This Plan of Survey relates to AOLS Plan Submission Form number V-XXXXX.

Notes & Legend

—□—	Denotes	Survey Monument Planted
—■—	"	Survey Monument Found
SIB	"	Standard Iron Bar
SSIB	"	Short Standard Iron Bar
IB	"	Iron Bar
(WIT)	"	Witness
(AOG)	"	Annis, O'Sullivan, Vollebakk Ltd.
(OU)	"	Origin Unknown
Meas.	"	Measured
Prop.	"	Proportioned
(RP)	"	Registered Plan 375
(P1)	"	Plan 4R-35811
(P2)	"	Plan 4R-31581
(P3)	"	Plan by J.D. Barnes dated January 16, 2019
(P4)	"	Plan by Annis, O'Sullivan, Vollebakk dated November 24, 2020
(P5)	"	Plan by R.W. Arnett Ltd. dated August 24, 1983

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.999928.

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations on reference points (ORP A and ORP B), shown hereon, having a bearing between them of N64°49'10"W and are referenced to the Central Meridian of MTM Zone 9 (76°30' West Longitude) NAD-83 (CSRS)(2010).

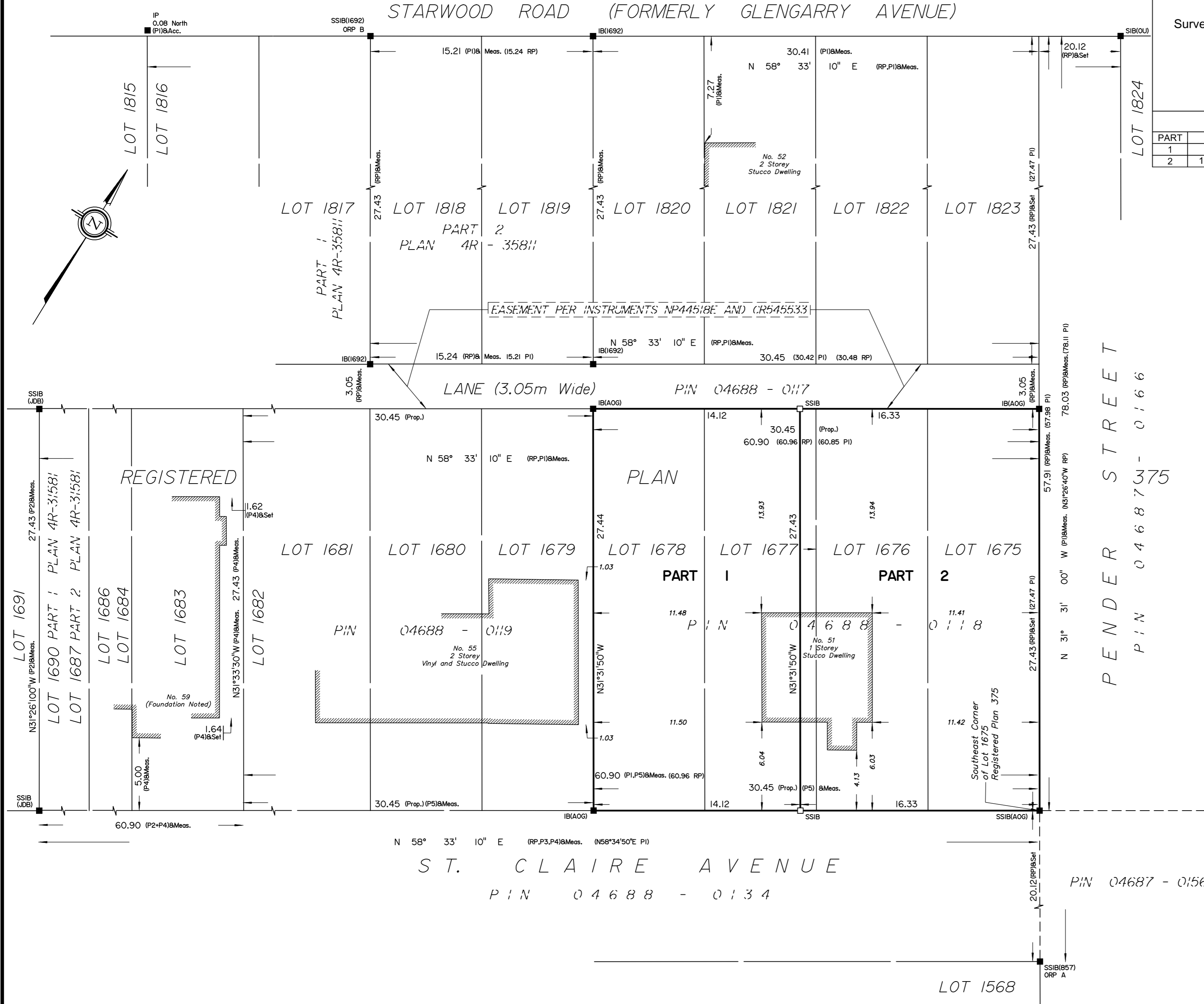
For comparison purposes, a rotation of 0°18'10" clockwise was applied to the bearings on RP, P1, and P4.

Coordinates are derived from Can-Net 2016 Real Time Network GPS observations and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) NAD-83 (CSRS)(2010).

Coordinate values are to urban accuracy in accordance with O. Reg. 216/10.

. ORP A Northing 5024337.20 Easting 364102.25
. ORP B Northing 5024379.91 Easting 364022.52

Caution: Coordinates cannot, in themselves, be used to re-establish corners or boundaries shown on this plan.



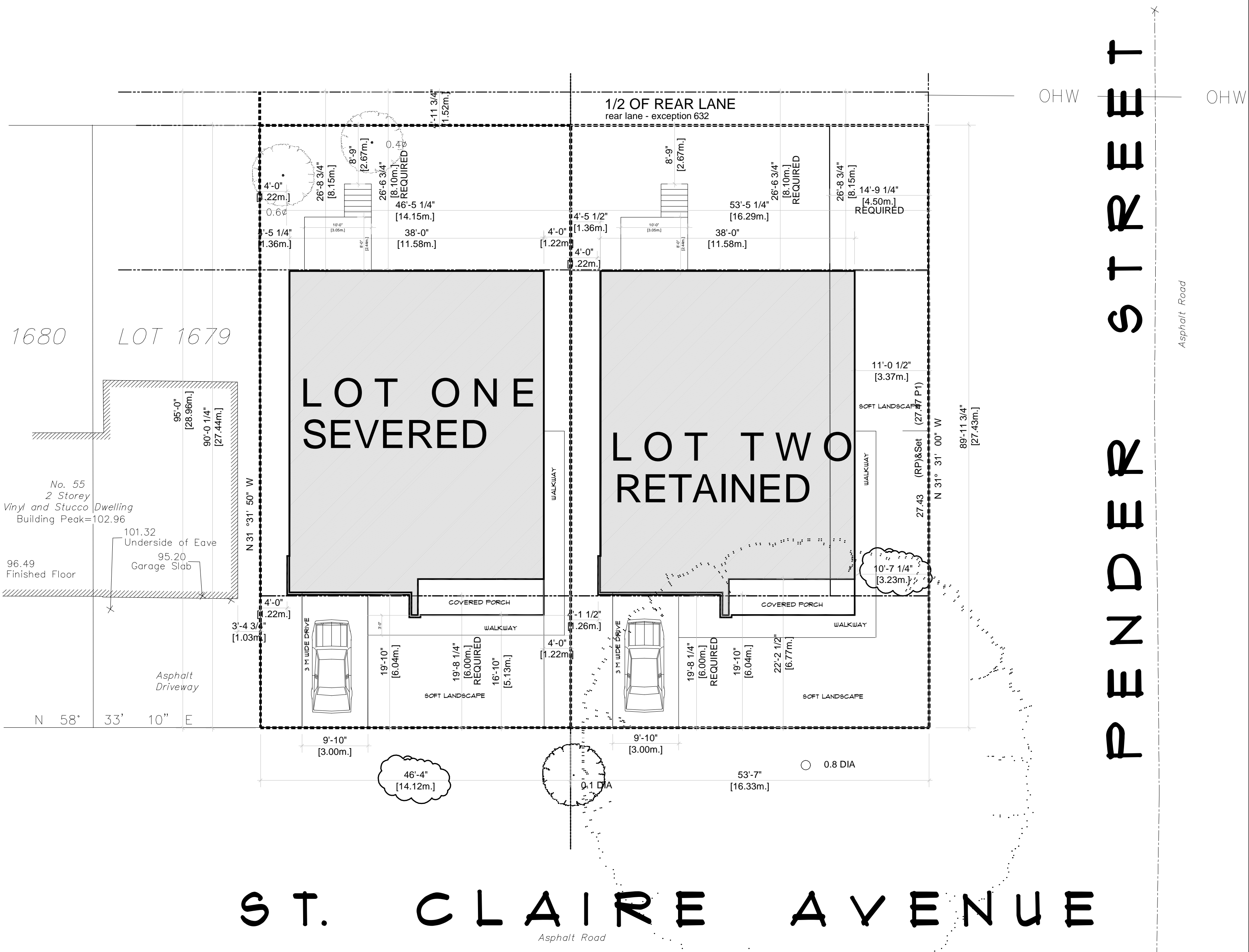
This document is presented in the language it was provided.
Ce document est présenté dans la langue dans laquelle il a été fourni.

ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
113 Prescott Street, Box 1340
Kemptville, Ontario K0G 1J0
Phone: (613) 258-1717
Email: Kemptville@aovltd.com
Ontario Land Surveyors

Committee of Adjustment
Received | Reçu le
Revised | Modifié le : 2026-01-09
City of Ottawa | Ville d'Ottawa
Comité de dérogation

ITEM	REQUIREMENT	SEVERED LOT ONE - INTERIOR LOT - ST. CLAIRE	RETAINED LOT TWO CORNER LOT - ST. CLAIRE & PENDER	VARIANCE REQ'D
PERMITTED USE	DETACHED HOUSE	DETACHED HOUSE W/ ACCESS DWELLING	DETACHED HOUSE W/ ACCESS DWELLING	
LOT DIMENSIONS LOT AREA	600 SQ.M.	749.3 SQ.M. INCLUDES 1.92M DEPTH OF REAR LANE NOT INCLUDING REAR LANE AREA	747.0 SQ.M. INCLUDES 1.92M DEPTH OF REAR LANE NOT INCLUDING REAR LANE AREA	YES
LOT WIDTH	19.5 M	14.12 M	16.33 M	YES
FRONT YARD SETBACK	6.0 M	6.04 M	6.04 M	
REAR YARD SETBACK PART V - SECTION 144	28% OF LOT DEPTH (ON 8.1M)	LOTS 25-32 M DEEP) INCLUDES THE 1.92 M LANE 8.15 M	8.15 M	
REAR YARD AREA	114.6 SQ.M LOT ONE, 132.18 SQ.M LOT TWO	114.7 SQ.M INCLUDES 1.92M DEPTH OF REAR LANE	132.15 SQ.M INCLUDES 1.92M DEPTH OF REAR LANE	
INTERIOR SIDE YD. SETBACK	21 M TOTAL NO SIDE LESS THAN 0.9M	LOTS 25-32 M DEEP) INCLUDES THE 1.92 M LANE 1.22 M	1.22 M	
EXTERIOR SIDE YD. SETBACK	4.5 M		3.23 M	YES
MAXIMUM HEIGHT	8.5 M	8.5 M	8.5 M	
MAX. LOT COVERAGE	45%	176.54 + 1.44 SQ.M (DECK) = 183.98 SQ.M 41.43 % DOES NOT INCLUDE HARD SURFACES INCLUDES 1.92M DEPTH OF REAR LANE	176.54 + 1.44 SQ.M (DECK) = 183.98 SQ.M 39 % DOES NOT INCLUDE HARD SURFACES INCLUDES 1.92M DEPTH OF REAR LANE	YES
PERMITTED PROJECTIONS INTO REQUIRED YARDS	UP TO 2M BUT NO CLOSER THAN 1M TO LOT LINE	OVERHANGS ARE PROPOSED TO BE 0.6 M	OVERHANGS ARE PROPOSED TO BE 0.6 M	
FRONT YARD SOFT LANDSCAPE	45%	84.11 SQ.M. TOTAL FRONT YD. 22.22 SQ.M. HARD LANDSCAPING 14.8 SQ.M. SOFT LANDSCAPING	91.55 SQ.M. TOTAL FRONT YD. 22.11 SQ.M. HARD LANDSCAPING 16.18 SQ.M. SOFT LANDSCAPING	
REAR YARD SOFT LANDSCAPE	15% MIN	114.1 SQ.M. TOTAL REAR YD. 101.26 SQ.M. SOFT LANDSCAPING - 53.4%	132.1 SQ.M. TOTAL REAR YD. 125.3 SQ.M. SOFT LANDSCAPING - 54.4%	
REAR YARD HARD SURFACE	10% MAX	0%	0%	

ZONING REQUIREMENTS
51 ST. CLAIRE AVE.
OTTAWA, ON
ZONING - (R1-HP) - ZONING BY-LAW 2008-250
CITY OF OTTAWA
UPDATED JANUARY 8-2025



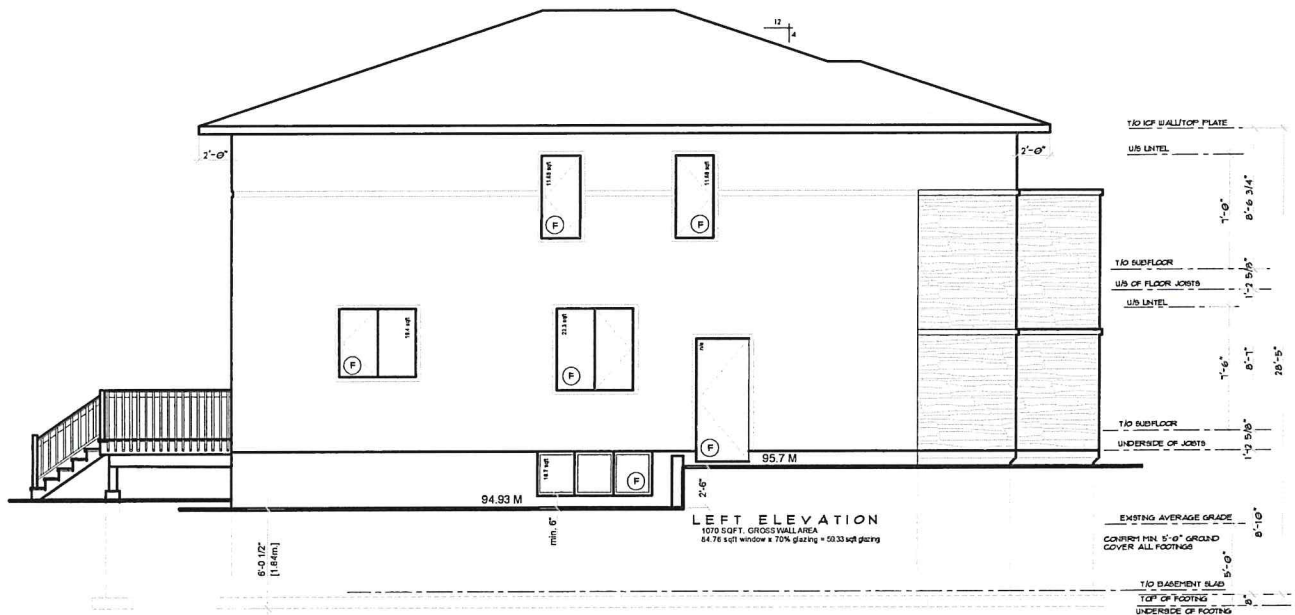
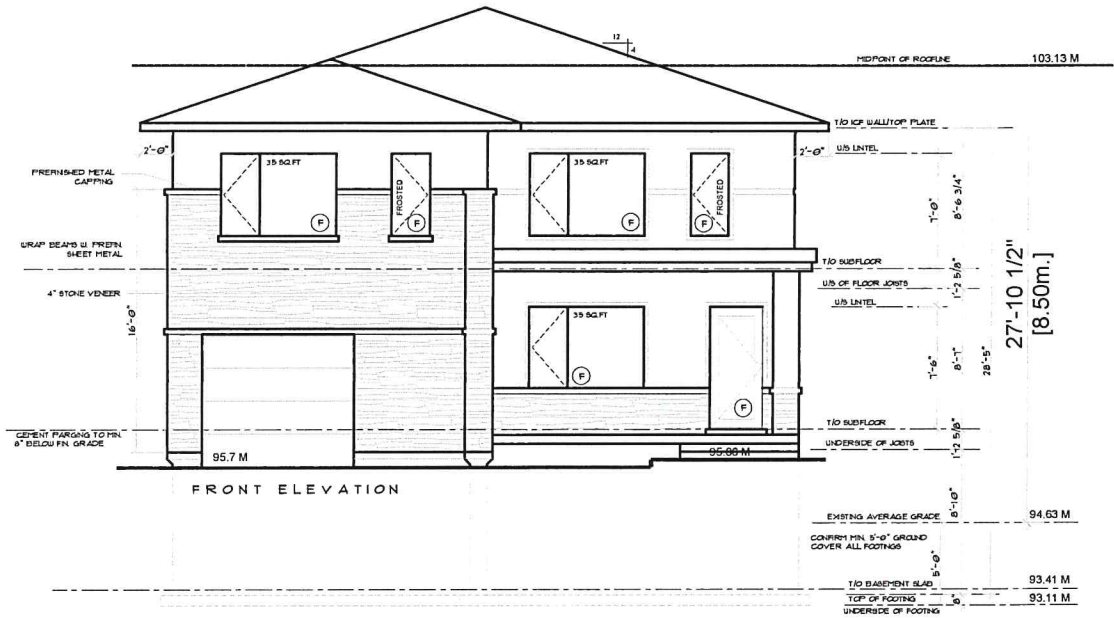
DATE	REVISION	INT.
01-09-2025	CLARIFIED PLAN DETAILS	C2
11-21-2025	FOR SEVERANCE AND PRIOR YAR	C2

11.30.2025
SEVERANCE APPLICATION

DECLARATION OF DESIGNER
I, CHARLENE ZANDBELT, DECLARE THAT:
I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES / CATEGORIES.
INDIVIDUAL BCIN: 22185 FIRM BCIN: 21218
I CERTIFY THAT THE INFORMATION CONTAINED IN THIS SCHEDULE IS TRUE TO THE BEST OF MY KNOWLEDGE.
11/21/2025
Charlene Zandbelt
REGISTERED ARCHITECT

TUCKER
DESIGN COMPANY LTD.
COMPLETE DESIGN & DRAFTING SERVICE
WORKING DRAUGHTS
CHARLENE ZANDBELT, M.A.S.T.O
ARCHITECTURAL TECHNOLOGIST (613) 229-9231

PROJECT: 51 ST. CLAIRE AVE. OTTAWA, ON
DRAWING NAME: SITE PLAN & ZONING RESTRICTIONS
SCALE: 3/32" = 1'-0" DATE: 11-2025 DWG. NO.: S1
DWN BY: C. ZANDBELT FILE NAME: SASHA ST. CLAIR AV.
S1



11.30.2025	FOR SEVERANCE AND PRIOR VAR	CE
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11.30.2025
SEVERANCE APPLICATION

DECLARATION OF DESIGNER
I, CHARLENE ZANDELLI, DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 32.4 OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASS / CATEGORIES.

INDIVIDUAL BCN: 2285 FIRM BCN: 2173

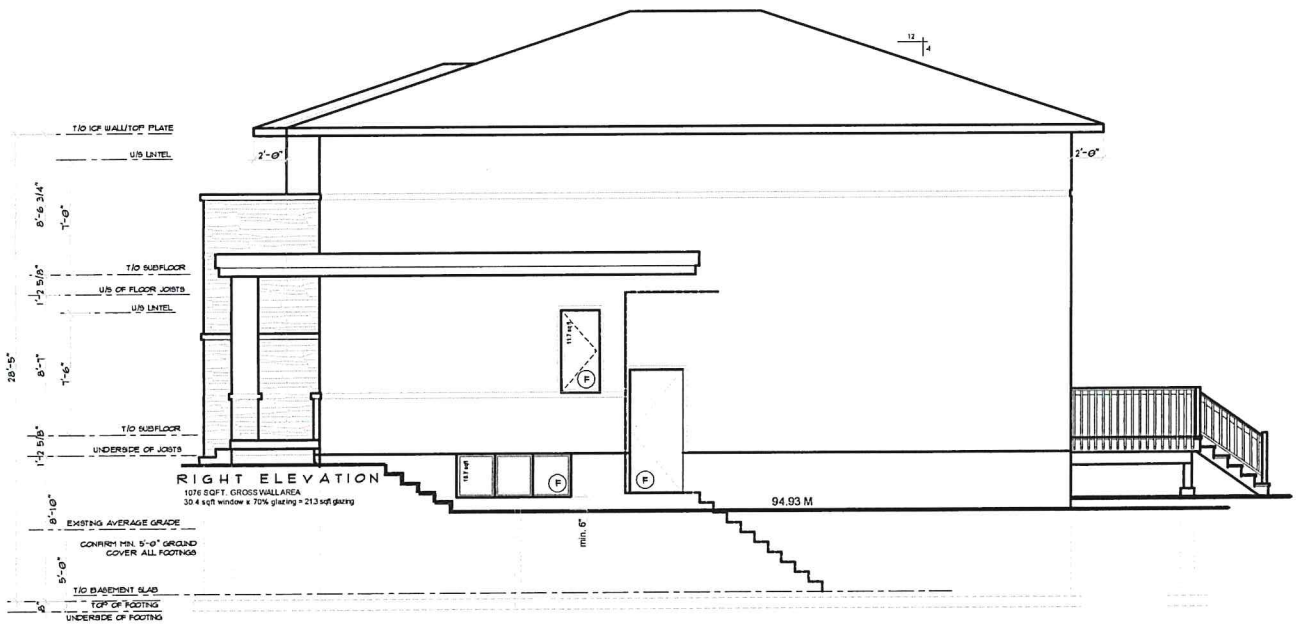
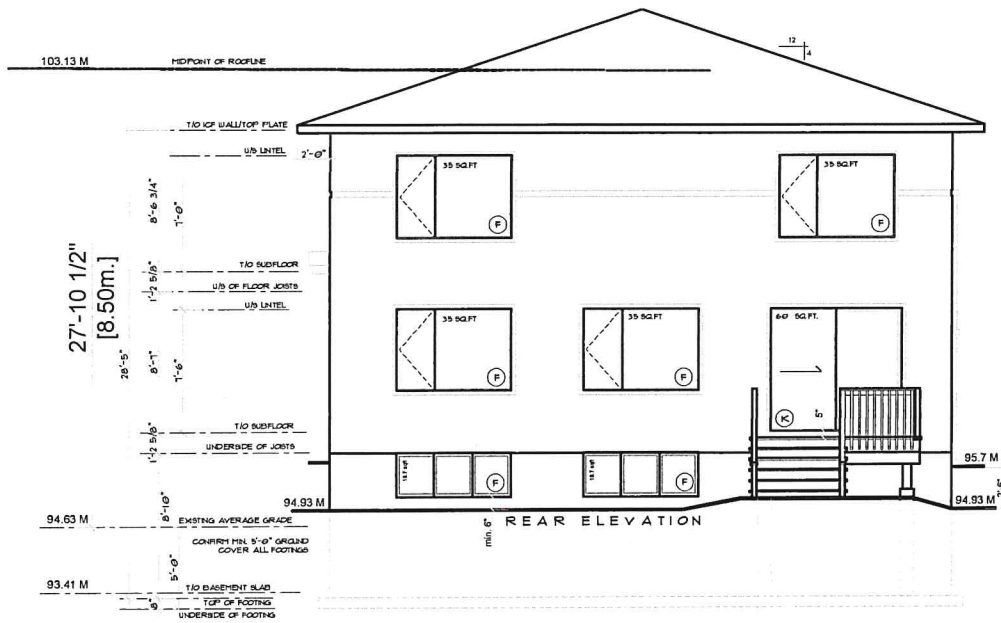
I CERTIFY THAT THE INFORMATION CONTAINED IN THIS SCHEDULE IS TRUE TO THE BEST OF MY KNOWLEDGE.

11.30.25

TUCKER
DESIGN COMPANY LTD.

COMPLETE DESIGN & DRAFTING SERVICE
WORKING DRAWINGS

PROJECT: 51 ST. CLAIRE AVE. OTTAWA, ON		
DRAWING NAME: ELEVATIONS		
SCALE: 3/16" = 1'	DATE: 11.2025	DWG. NO.:
DRAWN BY:	FILE NAME:	A4



1121205	FOR SEVERANCE AND PRIOR VAR	CI
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11.30.2025
SEVERANCE APPLICATION

DECLARATION OF DESIGNER
I, CHARLENE ZANDI, DECLARE THAT:
I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK
ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4
OF THE BUILDING CODE, I AM QUALIFIED, AND THE FIRM IS
REGISTERED, IN THE APPROPRIATE CLASSES / CATEGORIES
INDIVIDUAL DCN: 2289 FIRM DCN: 2706
I CERTIFY THAT:
THE INFORMATION CONTAINED IN THIS SCHEDULE B IS TRUE TO
THE BEST OF MY KNOWLEDGE.

TUCKER
DESIGN COMPANY LTD.
COMPLETE DESIGN & DRAFTING SERVICE
WORKING DRAWINGS

PROJECT 51 ST. CLAIRE AVE. OTTAWA, ON		
DRAWING NAME ELEVATIONS		
SCALE 3/8" = 1'	DATE 11.2025	DWG. NO. A5
DWN BY:	FRS NAME:	