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Minor Variance Application

1035 Galaxie Avenue

City of Ottawa Committee of Adjustment
101 Centrepointhe Drive, 4th Floor
Ottawa, ON K2G 5K7

March 18th, 2026

Committee of Adjustment
Received | Reçu le

2026-03-23

City of Ottawa | Ville d'Ottawa
Comité de dérogation





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City of Ottawa Committee of Adjustment
101 Centrepointhe Drive, 4th Floor
Ottawa, ON K2G 5K7

March 18th, 2026
Original date of submission: April 16th, 2025
Original date of Hearing: May 20th, 2025
(Adjourned sine die)

Attn: Mr. Michel Bellemare
 Secretary Treasurer

Re: 1035 Galaxie Ave. (Minor Variance application) - Ward 19
Gianfranco Falcucci & Lynne Falcucci
Lot 14, Registered Plan 50M-113, City of Ottawa

Site Context

On behalf of our clients, we are submitting the enclosed Minor Variance application for the property located at 1035 Galaxie Ave in Navan. This application is required in order to permit the proposed development on the subject property consisting of a detached dwelling with an attached garage. The dwelling will contain one storey intended as the forever home for the property owner and his wife who are looking to downsize and move into a quiet community.

This application was originally scheduled for a Committee of Adjustment **hearing on May 20, 2025**, but was **adjourned sine die** following comments identifying additional technical requirements and neighbourhood concerns. The planning report requested a Headwater Drainage Feature Assessment (HDFA) and a planting plan; Forestry recommended a Tree Information Report; and South Nation Conservation advised that a natural hazards assessment was required to support a reduced watercourse setback, including preparation of a fluvial geomorphological assessment. In addition, a neighbour raised concerns regarding the dwelling's proximity to the watercourse (previously 3.05 m), the overall size of the dwelling, and the building's setback from the lot line abutting Cougar Court.

Since the adjournment, the application has been revised and resubmitted to address all items raised through the initial circulation. Lot coverage has been reduced from 18.67% (413.47 m²) to 17.8% (394.3 m²), moving closer to the 15% (331.95 m²) maximum identified by the Zoning By-law. Additionally, the dwelling setback to the watercourse has been increased from 3.05 m to 10 m, and the septic setback to the watercourse has increased from 15.28 m to 17.1 m.

These revised setbacks are supported by both the HDFA and the Fluvial Geomorphological Assessment. The HDFA concludes that a reduction in setback from 30 m to 10 m (measured from the top of bank) is acceptable and is not anticipated to reduce base flow, notes the feature is not direct fish habitat, and identifies that key riparian vegetation is concentrated within approximately 0–3 m of the bank. It also confirms the septic system should be located at least 15 m from the top of the bank,



which is satisfied by the proposed 17.1 m setback. The Fluvial Geomorphological Assessment characterizes Reach MC3-3 as an intermittent, weakly defined headwater drainage feature with no erosion hazard; as a precaution, it recommends a minimum 6 m erosion access allowance from the top of slope, and confirms the 10 m dwelling setback shown on the updated site plan is appropriate and exceeds that recommendation. These materials have been reviewed by the City's Environmental Planner and South Nation Conservation staff, and their comments confirm alignment with the study conclusions.

In addition, a Tree Information Report and planting plan have been prepared to respond to City Environmental and Forestry comments. The revised 10 m watercourse setback and reduced building scale also directly respond to the neighbour's concerns regarding proximity and dwelling size. Finally, regarding the corner side setback to the lot line abutting Cougar Court, the Zoning By-law requires 4.5 m and the proposal provides 5.1 m, which addresses the concern about distance to the lot line at the corner condition.

The property is zoned V1E in the City of Ottawa Zoning By-Law 2008-250, as amended. It is in the Rural transect and designated as a Village as per the Official Plan (2022). The subject site is located in the village of Navan, approximately 2.7 km from the urban boundary. The site is approximately 800 m from the Village Core designation. The site is also located within Consolidated Villages Secondary Plan and designated as a Village Residential .

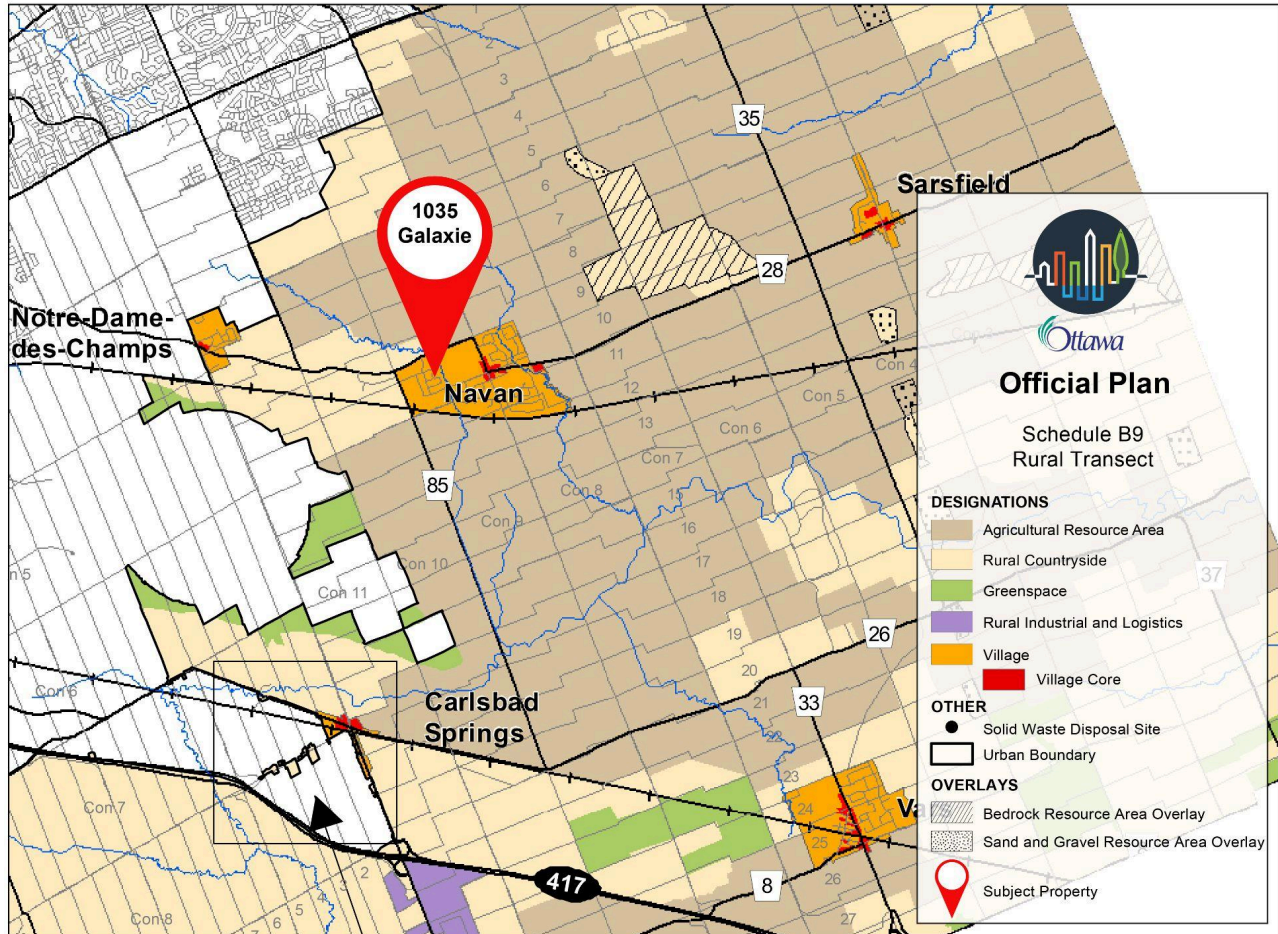


Fig.1. Schedule B9 - Rural Transect, City of Ottawa Official Plan.

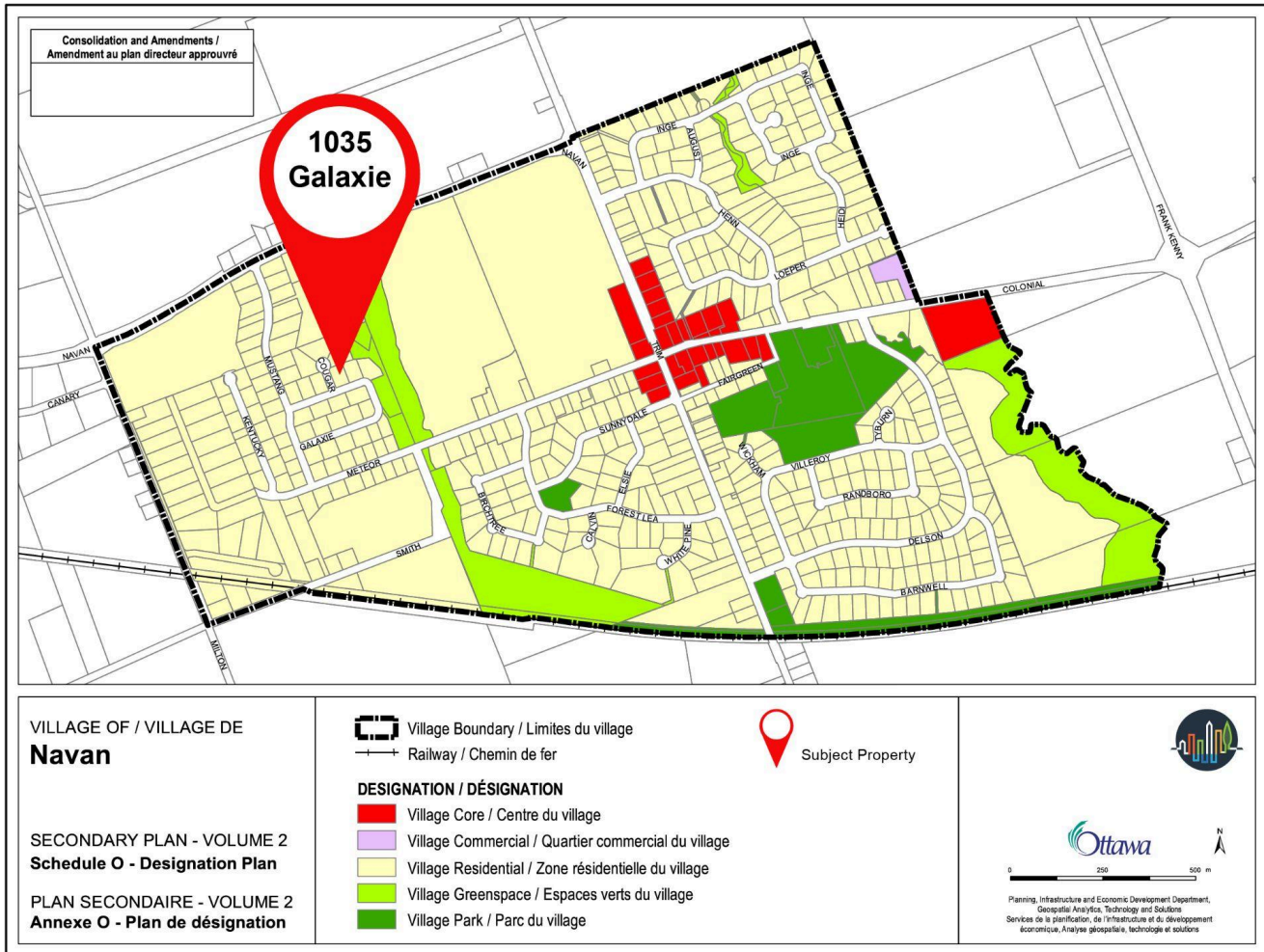


Fig.2. Schedule O - Designation Plan, Secondary Plan - Volume 2, City of Ottawa Official Plan.

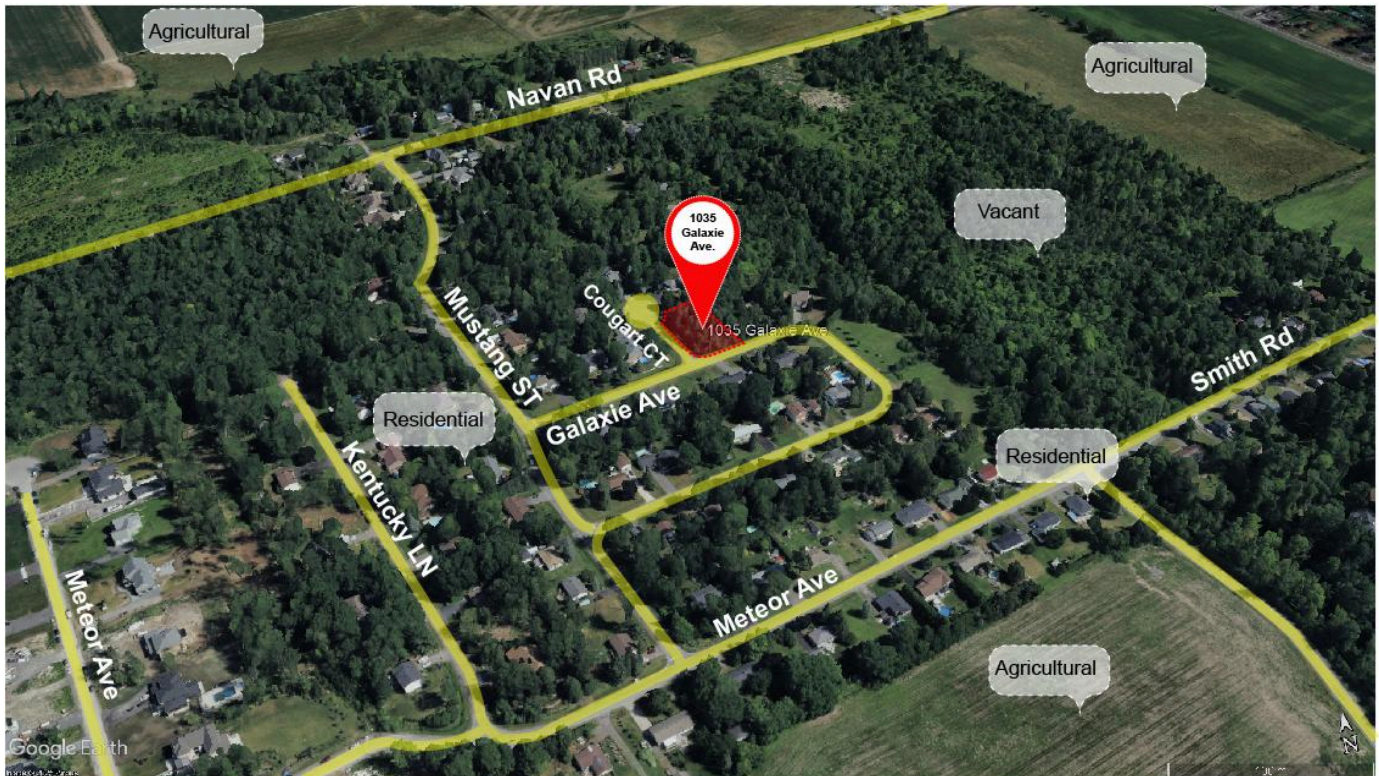


Fig.3. Aerial imagery showing the surrounding context of the subject site, Google Maps.

Minor Variance Application

The proposed development will require relief from the Zoning By-Law for:

- A) **Lot coverage.** To permit a greater than permitted lot coverage of **17.8% (394.3 m²)**, whereas the Zoning By-Law permits a maximum lot coverage of 15% (331.95 m²) (Table 232, (e) VIII, Zoning By-Law 2008-250, as amended).
- B) **Setback to a Watercourse for the Building.** To permit a reduced setback to a watercourse highwater mark of **10 m** for a building, whereas the Zoning By-Law requires a minimum setback of 30 m to the watercourse highwater mark (Section 69, (2), Zoning By-Law 2008-250, as amended).
- C) **Setback to a Watercourse for the Septic System.** To permit a reduced setback to a watercourse highwater mark of **17.1 m** for a septic system, whereas the Zoning By-Law requires a minimum setback of 30 m to the watercourse highwater mark (Section 69, (2), Zoning By-Law 2008-250, as amended).
- D) **Minimum Lot Area.** The existing lot area is 2213 m², whereas the Zoning By-Law requires a minimum lot area of 4,000 m² (Table 1312, (e), (i) Zoning By-Law 2026-50, as amended).



- E) Minimum Lot Width. To permit a reduced lot width of 39.62 m, whereas the Zoning By-Law requires a minimum lot width of 40 m (Table 1312, (e), (ii) Zoning By-Law 2026-50, as amended).

It should be noted that the highwater mark used to calculate the provided setback to a watercourse is the “top of bank” contour shown on the survey plan which equates to the maximum point to which water can rise within the channel before spilling across the adjacent land. All other zoning provisions are met by this proposal including setbacks, building height, hard and soft landscaping, and vehicular requirements (Fig.4).

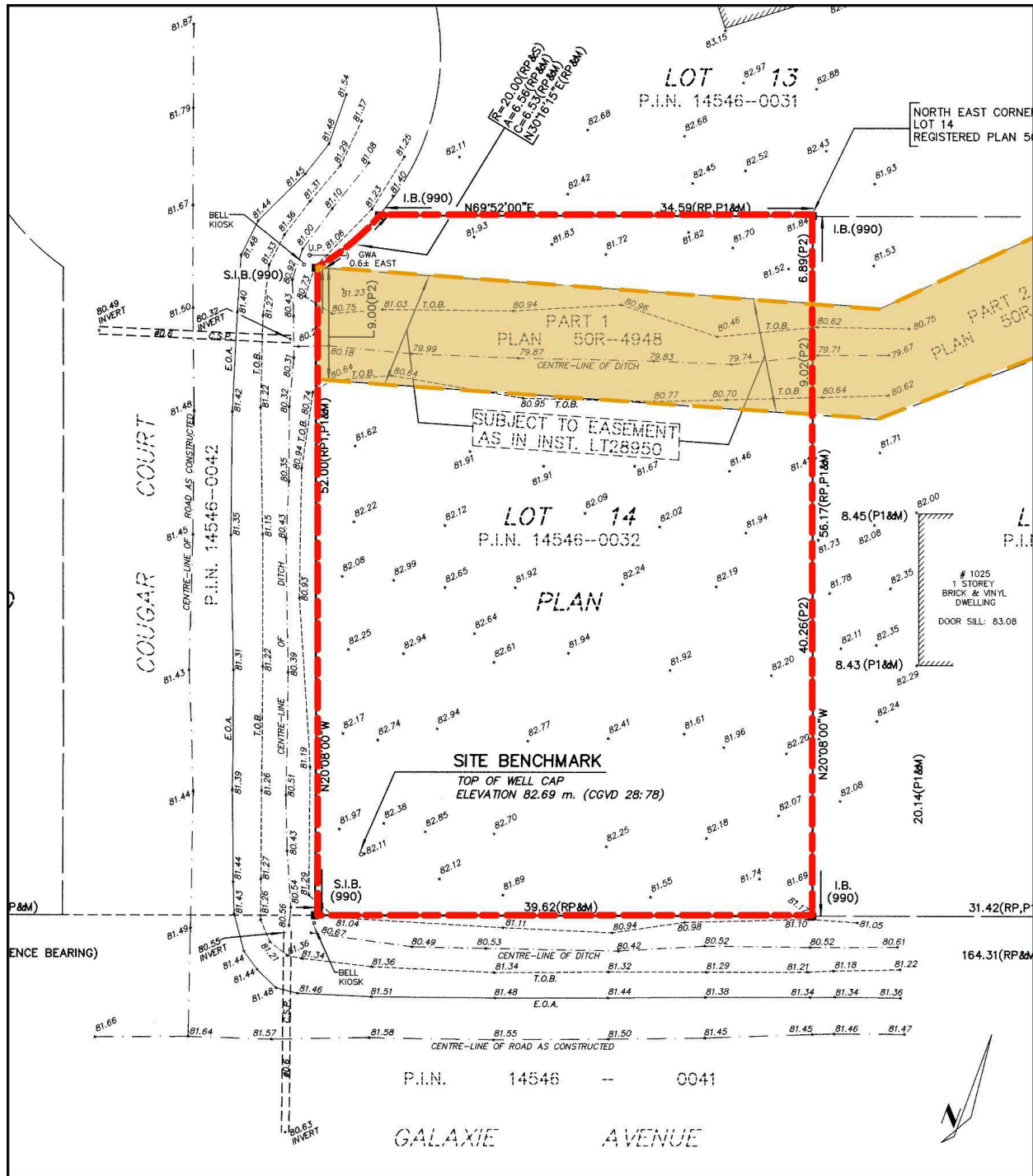


Fig.4. Survey plan of the subject property showing the **property boundary** and the **existing easement** containing the drainage ditch.

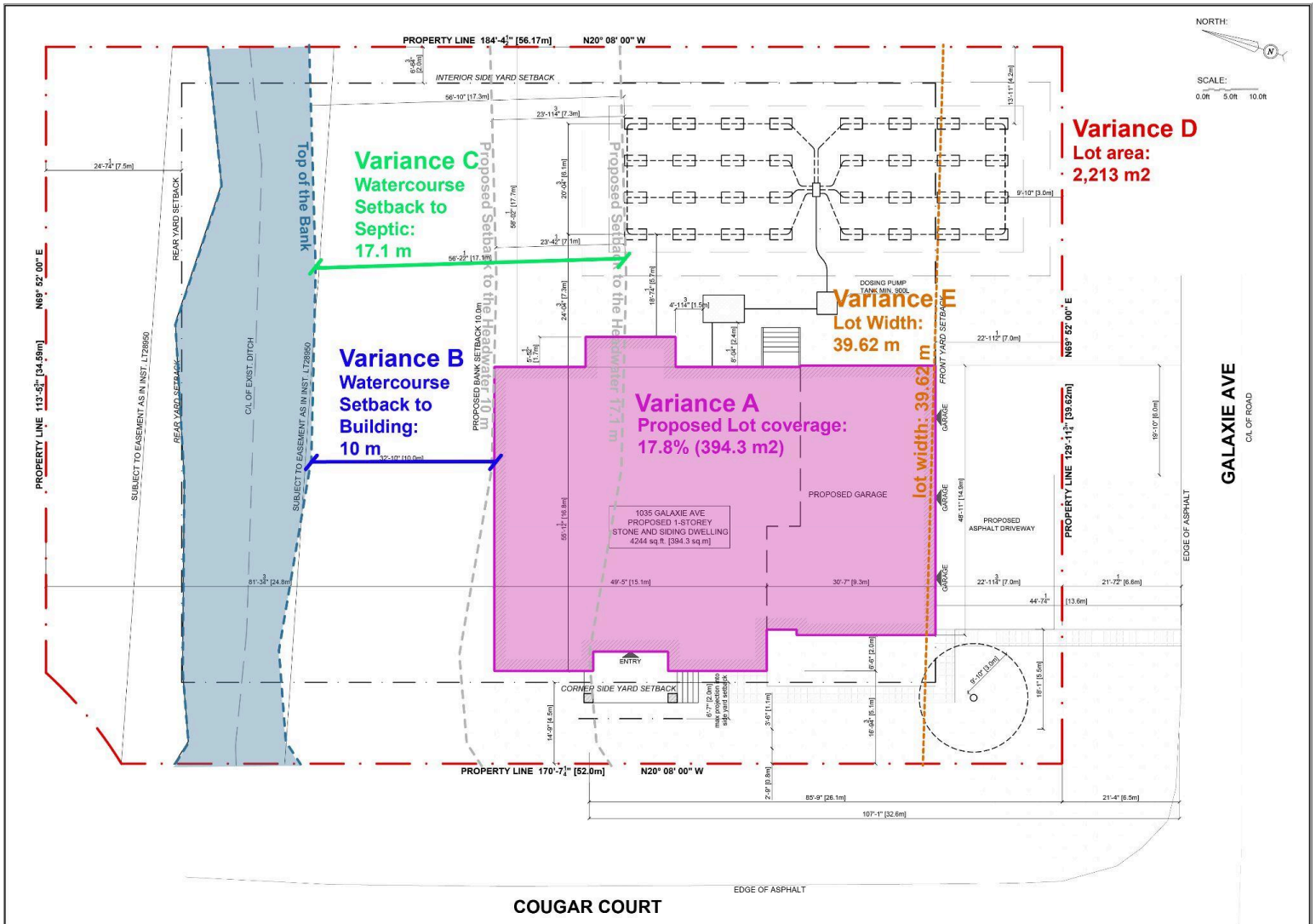


Fig.5. Site Plan by CARBON Drafting & Design showing the property boundary, the proposed building footprint, the drainage ditch (top of bank) and the location of Minor Variances (A, B, C, D, and E).



Fig.6. Site photo from Cougar Crt and Galaxie Ave looking towards 1035 Galaxie.

The four tests of a **Minor Variance** application from Section 45 (1) of the Planning Act are that the variances are minor in nature, are desirable for the appropriate development or use of the land and building, and maintain the general intent and purpose of the Zoning By-Law and Official Plan.

1. The variances are minor in nature

Variance A: Lot coverage

The proposed lot coverage is 17.8% (394.3 m²), whereas the Zoning By-Law permits a maximum of 15% (331.95 m²). This represents a deficiency of 2.8% (62.02 m²) and is minor in nature. Importantly, the proposed lot coverage has been reduced from the previous submission (18.67%, 413.47 m²) to respond to city feedback and better align with zoning provisions. This adjustment demonstrates a conscious effort to mitigate the variance and minimise its impact.

Based on GeoOttawa aerial imagery, 11 properties within about 300 m of the subject property with the same maximum lot coverage requirement also contain deficient lot coverages (Fig. 7). Many of these lots feature large depths and mature planting to screen the dwellings, which is also the case of the subject property. This demonstrates that an increase of lot coverage does not have negative impacts on the overall liveability of the neighbourhood. Additionally, the dwelling is designed as a bungalow to minimise the number of stairs as requested by the owner and his wife. The bungalow design leads to a slightly larger building footprint because all living space including bedrooms are located on the ground floor.

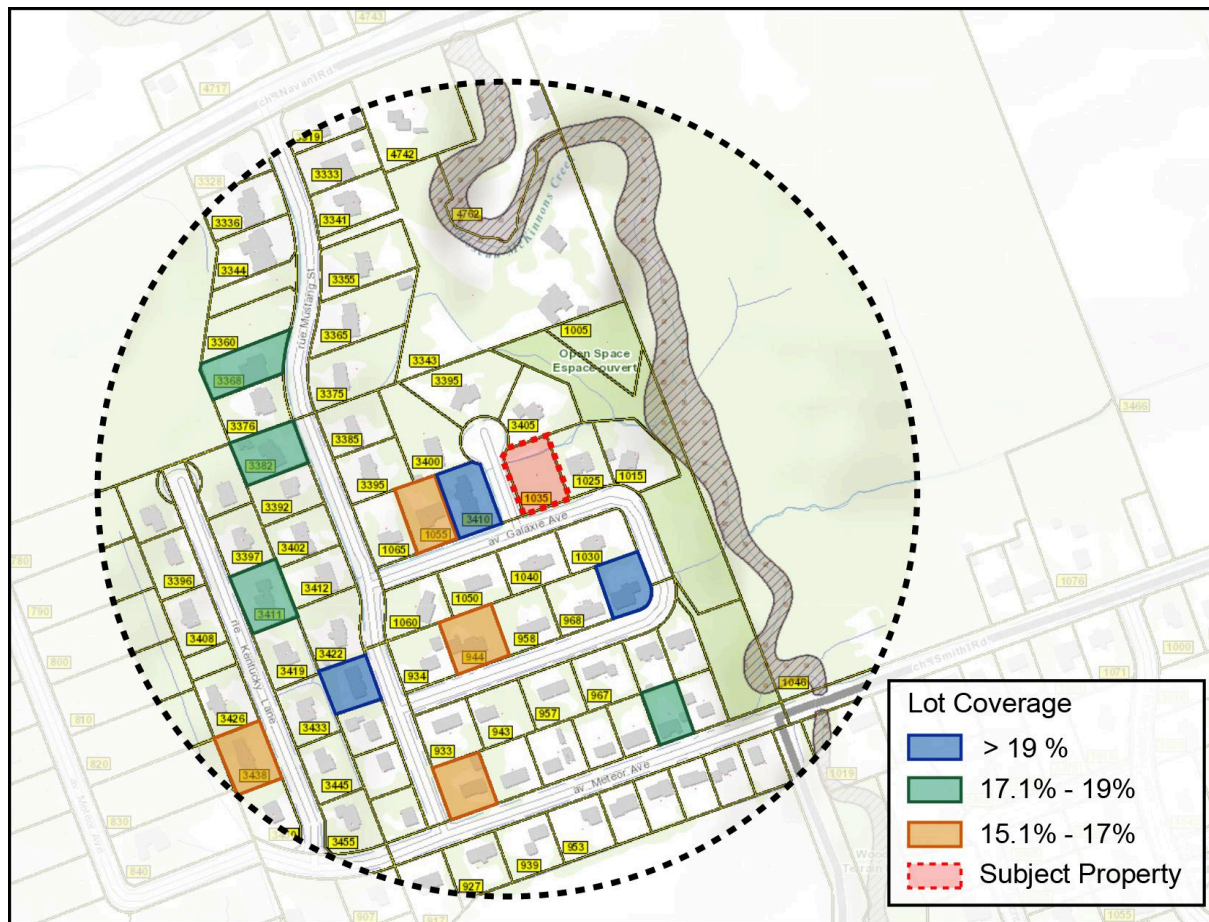


Fig.7. Properties with deficient lot coverages within 300 m of the subject property.

Variance B: Setback to a Watercourse for the Building

The subject property contains a drainage ditch along the rear property line. The proposed setback of the building from the watercourse highwater mark is 10 m and the Zoning By-Law requires a minimum setback of 30 m to the watercourse highwater mark. The ditch is only used seasonally to provide drainage to McKinnons Creek during times of high water flow. The ditch is located within an easement as indicated on the survey as Part 1 on Plan 50R-4948. The proposed setback of 10 m (was 3.05 m on the first submission) represents a reduction of 20 m of the required setback. If the 30 m setback was proposed, only a 154.04 m² portion of the site is developable. For comparison, the proposed building footprint is 394.3 m², the dwelling to the east is two storeys and has a footprint of about 275 m², the dwelling to the north is also two storeys and has a footprint of about 230 m², and the dwelling across the street to the west is a single storey and has a footprint of about 380 m². Therefore, a dwelling with a similar scale (394.3 m²) and massing as the surrounding neighbouring properties cannot be accommodated on this site without requiring a reduction to the watercourse setback.

The dwelling to the east at 1035 Galaxie Ave is located approximately 12 m to the centerline of the ditch and approximately 9 m to the top of its bank. The dwelling to the north at 3405 Cougar Crt is located approximately 24 m to the centerline of the ditch and approximately 21 m to the top of the bank. Both dwellings have been in place since the 1990s (Fig.8).

The requested reduction is supported by the supporting studies. The HDFA concludes that a 10 m setback from the top of bank is sufficient for a single-detached dwelling and notes the reduced setback is not expected to affect base flow, the feature is not direct fish habitat, and key riparian vegetation is concentrated within 0–3 m of the bank. The Fluvial Geomorphological Assessment also confirms Reach MC3-3 is small and stable with no evidence of erosion hazard, and that the 10 m setback exceeds the recommended 6 m erosion access allowance from the top of slope.

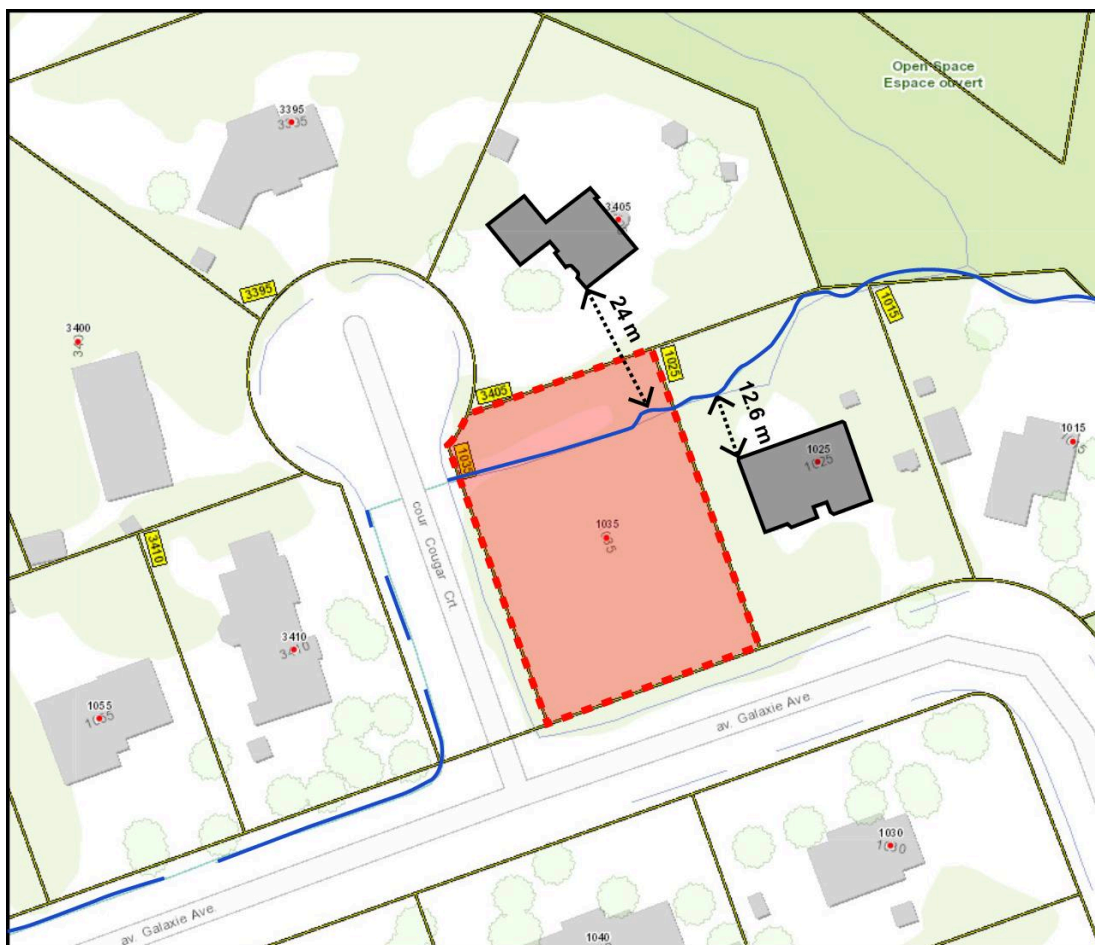


Fig.8. GeoOttawa image showing the setbacks for neighbouring properties to the drainage ditch.

Variance C: Setback to a Watercourse for the Septic System

The second 30 m setback variance is required for the septic system which is now located at 17.1 m from the top of the drainage ditch bank, as opposed to the earlier location of 15.28 m away. The septic system has been relocated to be as far away from the drainage ditch as possible. Additionally, the type of septic system proposed is the “Eljen” system which is the most compact system available for this site. The septic system has been designed by a qualified civil engineer who has determined that a 17.1 m setback from the drainage ditch bank is appropriate to maintain the functionality of the property and the septic system.

This reduced setback is also supported by the technical assessments prepared for the headwater feature and hazard context. The HDFA indicates that, in support of the 10 m building setback, the future septic system is proposed to be located at least 15 m from the top of bank at its nearest point, and on that basis confirms the overall setback strategy of the proposed septic system is sufficient to protect the feature.

Variance D: Lot Area

The existing lot area is 2,213 m², whereas the Zoning By-law requires a minimum of 4,000 m². The reduction is considered minor in nature and does not compromise the functionality of the property, which provides adequate space for the dwelling, open yard areas, proposed septic system, soft landscaping areas and overall site access. The variance does not result in any adverse impacts on adjacent properties or the surrounding neighbourhood.

A review of properties in the V1E zone, including lots on Galaxie Ave. and Cougar Crt. (refer Fig. 9), shows that most nearby parcels, including 410 Cougar Crt (2042.73 m²), 1055 Galaxie Ave (2054.10 m²), 1065 Galaxie Ave (2096.01 m²), 3395 Mustang St (2256.72 m²) 1025 Galaxie Ave (2220.12 m²), 3400 Cougar Crt (3320.39 m²) 3385 Mustang St (2261.91 m²), 3395 Cougar Crt (3705.33 m²), 3400 Cougar Crt (2871.95 m²), 1060 Galaxie Ave (2081.48 m²), 1050 Galaxie Ave (2052.79 m²) 1040 Galaxie Ave (2052.82 m²), 1030 Galaxie Ave (2282.89 m²), 980 Galaxie Ave (1673.08 m²), 968 Galaxie Ave (2090.12 m²), 958 Galaxie Ave (2090.12 m²), 944 Galaxie Ave (2090.13 m²), 934 Galaxie Ave (2089.98 m²) and many other properties, already have lot areas below the 4,000 m² requirement. This established pattern sets a clear precedent supporting the requested relief. The proposed lot area is compatible with the existing built form and neighbourhood character and enables the continued use and modest improvement of the property in a manner consistent with the intent of the Zoning By-law and the Official Plan.



Fig.9. GeoOttawa image illustrating nearby lots with areas below the 4,000 m² minimum required under the new Zoning By-law 2026-50.

Variance E: Lot Width

The existing lot width is 39.62 m, whereas the new zoning by-law 2026-50 requires a 40 m lot width; the reduction of 0.38 m is minor and does not create any adverse effect on the neighborhood. The lot is a corner parcel with dual frontages on Galaxie Ave and Cougar Crt, which provides flexibility for building orientation, access, and servicing; this configuration mitigates any functional impacts that might otherwise be associated with a marginal decrease in width. Nearby properties already exhibit lot widths below the 40.0 m standard, including , demonstrating that the existing lot pattern and streetscape are



consistent with the proposal and that the requested relief maintains neighbourhood character. The slight reduction does not affect lot servicing, driveway placement, or the ability to provide appropriate setbacks and landscaping, nor does it create adverse impacts on privacy, daylighting, or traffic. Given the minimal nature of the variance, the existing lot fabric, and the corner condition that preserves design options, the requested relief represents a desirable and appropriate use of the land.

2. The variances are desirable and appropriate for the development or use of land and building

The subject property is located in the village of Navan and surrounded by similarly sized residential lots. Many of these lots were built up in the 1990s and early 2000s when the lots and drainage systems were established. The type and scale of development proposed on the subject property features many similar characteristics as the other lots on Cougar Crt and on the north side of Galaxie. For example, the majority of the dwellings contain large floorplates, single storey height, multi-car garages, covered porches, masonry and vinyl siding, and pitched roofs. The proposed development also complies with the large front yard and corner side yard setback requirements. The proposed setbacks maintain the general front yard setback along Galaxie Ave and allows for adequate vegetative screening which is a common feature in this neighbourhood. The subject property is located in a community of large lots and homes with large footprints. The subject property has never been built upon, yet various lots in all directions have been developed since the 1990's. The proposal is consistent with Navan's vision, as identified in the Consolidated Villages Secondary Plan, to remain a peaceful rural village that grows at a modest pace, with residential development that respects village character. It also supports the objective to protect the integrity of surrounding natural areas and groundwater by concentrating development within a defined building envelope and incorporating the supporting environmental/landscape materials. The proposed variances will allow for the appropriate development of the subject property.



Fig.10. Proposed Front (abutting Galaxie Ave) and Corner side (abutting Cougar Crt) elevations.

3. The variances maintain the intent of the Official Plan

The subject property is within the Rural transect and is designated as Village as per Schedule B9 of the Official Plan (2022). The subject property is also located within the Consolidated Villages Secondary Plan designated as Village Residential as per Volume 2B of the Official Plan (2022). The following section features applicable excerpts from the Official Plan and Consolidated Villages Secondary Plan and how they are addressed by the proposal:

City of Ottawa Official Plan

2.2.3 Energy and Climate Change

- 6) Build resilience to future flood risks and increased stormwater runoff. Resilience to floods and the ability to manage increased stormwater runoff will be strengthened by:

- Restricting development in flood plains and mitigating risks in areas vulnerable to flooding under future climate conditions;
- Implementing stormwater management practices and designing infrastructure that is resilient to future climate conditions, including extreme weather events; and
- Using Low Impact Development stormwater management features where feasible to manage smaller, frequent rainfall events.

Response: The proposed development is not located within a floodplain and the watercourse present on site is a controlled seasonal drainage ditch. An eco-friendly septic system has been chosen for this property so that the size and impact of the septic system are minimised. The Eljen septic system requires the least amount of area, leaving more opportunity for increased buildable area and to maintain natural ground cover. The proposed plan incorporates the recommendations of the Tree Information Report. Trees along the drainage ditch and property boundary are to be retained and protected during construction, as identified in the inventory and assessment. In addition, the planting plan proposes 50 trees and shrubs to restore the area previously cleared within the 10 m buffer south of the ditch. Together, these measures help maintain natural ground cover and support on-site resilience by reducing erosion potential and improving stormwater absorption and runoff management, consistent with Official Plan Policy 2.2.3(6).

3.4 Focus Rural Growth in Villages

- 2) Intensification within all villages is supported, subject to health and safety limitations for partial and private services.

Response: The subject property has never been developed and will now contain one dwelling unit. The proposed development represents residential infill development and intensification on the subject property. The development, including the private well and septic system, will comply with all Ontario Building Code requirements and will respect health and safety limitations for private services.

4.1 Designate Sufficient Land for Growth

- 3) The urban area and villages shall be the focus of growth and development.
- 4) The City will allocate household growth targets as follows: b) 7 per cent within the rural area where: i) 5 per cent is within the villages.

Response: The City's growth plan assigns 5% of rural household growth to villages. This application directly aligns with that goal by adding a single-story residential unit in the village residential area of Navan. Almost all of the neighboring properties have already been developed, so this is a reasonable and efficient infill development.

4.7.2 Pursue an affordable and sustainable pattern of infrastructure development

- 5) All development outside of Public Service Areas shall be on the basis of private services (private well and private sewage system).

Response: A private well and septic system is proposed and has been designed by a qualified civil engineer.

4.9.3 Restrict or limit development and site alteration near surface water features

- 2) Where a Council-approved watershed, subwatershed or environmental management plan does not exist, or provides incomplete recommendations, the minimum setback from surface water features shall be the greater of the following: a) Development limits as established by the conservation authority's hazard limit, which includes the regulatory flood line, geotechnical hazard limit and meander belt; b) Development limits as established by the geotechnical hazard limit in keeping with Council-approved Slope Stability Guidelines for Development Applications; c) 30 metres from the top of bank, or the maximum point to which water can rise within the channel before spilling across the adjacent land; and d) 15 metres from the existing stable top of slope, where there is a defined valley slope or ravine.
- 5) Where development or site alteration is proposed within or adjacent to headwater drainage features, and the proponent is requesting an exception to the minimum setback identified in Policy 2), the proposal and supporting studies must address the following to the satisfaction of the City: a) Evaluation and description of the project site, sensitivity of the headwater drainage features and sampling methods; b) Assessment and classification of hydrological function, riparian conditions, fish and fish habitat and terrestrial habitat; and c) Management recommendations regarding the need to protect, conserve, mitigate, maintain recharge or maintain/replicate terrestrial linkages of the headwater drainage features and a corresponding recommendation for an appropriate minimum setback.

Response: The Official Plan policies in Section 4.9.3 seek to restrict or limit development near surface water features and, where the minimum setbacks cannot be met, to ensure that supporting studies demonstrate an appropriate alternative setback and identify measures to protect headwater drainage features and associated functions.

Although the proposal requests a reduction from the minimum 30 m setback, the application is supported by a Headwater Drainage Feature Assessment and a Fluvial Geomorphological Assessment that address the Official Plan's study requirements and confirm the revised siting is appropriate. The HDFA identifies the on-site feature as a

headwater drainage feature requiring protection and concludes that a 10 m setback from the top of bank is sufficient for a single-detached dwelling in this context, noting that the reduced setback is not expected to affect baseflow contributions, the feature does not support direct fish habitat, and key riparian vegetation is concentrated within 0–3 m of the feature. In parallel, the fluvial geomorphological assessment confirms Reach MC3-3 is a small, stable, intermittent headwater feature with no applicable erosion hazard, and recommends a conservative 6 m erosion access allowance from the top of slope; the updated site plan provides a 10 m setback from the top of slope, exceeding this recommendation. Together, these studies demonstrate that the development limits are informed by the site’s hazard and headwater conditions and include mitigation and management direction, thereby meeting the intent of Official Plan policy to protect surface water features while allowing reasonable development on an existing village lot.

5.5.1 Recognize a rural pattern of built form and site design

- 1) Built form in the Greenbelt and Rural Transect areas, where development is permitted shall be low-rise. Mid-Rise buildings may be permitted within the Greenbelt Transect area identified by the Zoning By-law and within Villages as identified in a secondary plan. a) Within Villages, development will be context sensitive and characteristic of the Rural area. Secondary plans will guide the evolution of Villages to become 15-minute neighbourhoods with vibrant core areas. Within Villages, secondary plans will generally support urban built form development within the Village Cores, as described in Table 6, and both urban and sustainable suburban forms elsewhere, in accordance with context;

Response: The proposed development is one storey and therefore is considered low-rise. The development features a large front yard (7 m) and corner side yard setback (5.1 m). The scale, massing, and location of the proposed development respects the rural character of the Navan village. One of the goals listed in the Consolidated Villages Secondary Plan is to allow the village to expand slowly with residential development that respects the character of the village. This development accomplishes this goal by proposing a single dwelling on a vacant lot in a residential neighbourhood with large setbacks and vegetation to be maintained, respecting the character of the village.

9.4.2 Ensure all development maintains rural and village character, and to facilitate the use of active transportation for short trips within each Village

- 1) The following are generally permitted uses within Villages unless otherwise prescribed by a secondary plan: a) Residential uses, the form and scale of which

shall be limited by the available servicing methods and subject to the policies related to water and wastewater servicing;

Response: The proposed use is residential and will be serviced privately. The servicing method chosen will lessen the environmental impacts of wastewater servicing because of the Eljen system's efficiency and eco-friendly characteristics.

Consolidated Villages Secondary Plan

4.2 Village residential

- Development of vacant land within existing residential areas is preferred. The built form, massing and profile of new housing shall be compatible with existing housing in consideration of relevant Council approved design guidelines.

Response: The proposed one-storey residential building is consistent with Navan's established residential character, preserving the surrounding homes' consistency in scale, lot coverage, and architectural style. Most of the surrounding houses, such as 3400 Cougar Court, 3410 Cougar Court (West), 1030 Galaxie Ave, and 1040 Galaxie (South), are single-storey, which strengthens the consistent built form. Although the Zoning By-Law allows 15% lot coverage, 11 of the properties within 300m have lot coverages greater than 15% (ranging between 15.1% to almost 20%), which shows that the 17.8% lot coverage of the subject property is still in character with the village (refer figure 7, added in Test 1). Architecturally, the pitched roof, multi-car garage, and covered porches reflect elements of houses at 3410 Cougar Court (West), 1025 Galaxie Ave (East), 3405 Cougar Court (North), and 1040 Galaxie Ave (South). Furthermore, large setbacks, landscaping, and the retention of existing trees and vegetation along the drainage ditch, property boundary, and along the City lands on Cougar Court, together with the restoration planting of 50 trees and shrubs within the 10 m buffer south of the ditch, help maintain the site's natural edge and green backdrop, supporting Navan's rural village character.

4. The variances maintain the intent of the Zoning By-Law

The purpose of the V1 - Village Residential First Density Zone (as per zoning by-law 2008-250) is to:

- (1) permit **detached dwellings** in areas designated as Village in the Official Plan, and historically zoned for such low density use;
- (2) allow a limited range of compatible uses, and
- (3) regulate development in a manner that adopts existing land use patterns so that the **low density, low profile form of a neighbourhood is maintained and enhanced.**

The purpose of the V1 - Village Residential First Density Zone (as per new zoning by-law 2026-50) is to:

- (1) Permit a maximum of two dwelling units per lot in areas designated as Village in the Official Plan that are not serviced by municipal water or sewage services.
- (2) Regulate development in a manner that is respectful of the character of the village and the existing low-rise building form.
- (3) Implement Official Plan policies for **minimum lot areas** for Villages that are not on municipal water and sewage services.

The proposed bungalow is consistent with the purpose of the V1 zone and is a permitted use. The proposed development conforms to all zoning requirements of the V1 zone other than lot coverage, and setback to a watercourse. As outlined in test 2, the proposed development is compatible with the existing dwellings on Galaxie Ave and Cougar Court being a single storey, low density dwelling. The design of the building, including its elevations, is compatible with and complimentary to the neighbouring properties.

The intent of the lot coverage requirement is to limit the size of development and allow for the majority of the property to be landscaped which is one way to maintain the rural aesthetic of the neighbourhood. The variance for lot coverage is triggered by the larger than permitted building footprint. The maximum permitted building footprint is 332.28 m² (15% of the lot area) whereas the proposed building footprint is 394.3 m² (17.8% of the lot area). Properties with a lot coverage greater than 15% is not uncommon in this area. There are 11 properties within 300m of the subject site feature that are larger than permitted lot coverages ranging from approximately 15.1% to 20%. These properties, including the subject property, are able to maintain the rural aesthetic of the neighbourhood by providing large setbacks and soft landscaping containing large tree species wherever possible. The revised site plan provides 7 m front yard setback, 5.1 m corner side yard setbacks, and a 24.8 m rear yard setback, all of which exceed the V1 requirements.

The intent of the watercourse setback requirement is to ensure a safe distance is maintained between a watercourse and any part of the proposed development. The variances for the watercourse setback are triggered by the proposed dwelling and septic system proximity to an existing drainage ditch that runs along the property's rear yard. This drainage ditch is technically classified as a watercourse in the Zoning By-Law, despite the ditch only containing water seasonally and at low levels. The requested

setback of 10 m for the proposed dwelling is measured from the northeast corner of the building to the closest point of the ditch's bank. The requested setback of 17.1 m for the proposed septic is measured from the northwest corner of the septic bed to the closest point of the ditch's bank. Based on the precedent set by the neighbouring property to the east and our understanding of the site's existing conditions, we believe a 10 m and a 17.1 m setback from the top of the ditch's bank represents a safe distance and is a sufficient setback for the dwelling and septic respectively. The suitability of the reduced setbacks has been confirmed through a Headwater Drainage Feature Assessment prepared by GEMTEC and a Fluvial Geomorphological Study prepared by GEO Morphix submitted as part of this application. Further consultation with SNC has confirmed their support for the proposed setbacks. As recommended by SNC, a 3 m buffer adjacent to the ditch will be maintained in a natural state and protected through appropriate erosion and sediment control measures during construction. Consistent with this approach, the Tree Information Report confirms that the trees and vegetation associated with the ditch corridor (including the young regeneration along the ditch) are recommended to be retained and protected with tree protection fencing during all site works, and a planting plan recommends 50 trees and shrubs to restore the area previously cleared within the 10 m buffer south of the ditch.

The intent of the lot area requirement is to preserve a low-density neighbourhood pattern while ensuring sufficient space is available on each lot to accommodate a dwelling, private services, setbacks, landscaping, and amenity areas. The proposed lot area of 2,213 m², although below the 4,000 m² requirement, continues to meet this intent. The lot comfortably accommodates the proposed dwelling, private well and septic system, required setbacks, and generous soft landscaping areas. The site functions effectively as a rural residential parcel and reflects the established lot fabric in the surrounding area, where many properties similarly do not meet the current minimum. As such, the reduced lot area does not result in overdevelopment or loss of rural character and maintains the intended low-density form of development envisioned by the Zoning By-law.

The intent of the lot width requirement is to ensure adequate frontage for access, servicing, building siting, and streetscape consistency within the village context.

The proposed lot width of 39.62 m, representing a minor reduction of 0.38 m, maintains this intent. The lot provides sufficient frontage to accommodate safe access, servicing, and appropriate building placement, including compliance with required setbacks. The corner lot condition further enhances functionality by providing additional frontage and flexibility in design and access. The slight reduction in width is imperceptible within the



streetscape and consistent with the existing pattern of development in the area. Therefore, the variance does not undermine the intent of the Zoning By-law and maintains the character and functionality of the neighbourhood.

We request the Committee of Adjustment authorise the requested variances in accordance with the plans filed as they relate to the variances being requested.

At this time we are submitting the following in support of the application:

- Completed application form for the minor variance application;
- Property owner's authorization for submission of the applications;
- Site Plan showing the entirety of the proposed site and septic;
- Elevations from all four sides of one of the dwellings;
- Survey plan of the entire property;
- Headwater Drainage Feature Assessment;
- Fluvial Geomorphological Study;
- Tree Information Report;
- Tree Planting Plan;
- Application fees (Re-circulation).

When the notification signs are ready for this application please email the undersigned and we will arrange for their installation on the property.

Should you have any questions or require anything further, please do not hesitate to contact the undersigned at (613) 695 0192 or via email at planning@p2concepts.ca.

P-Squared Concepts Inc.

A handwritten signature in cursive script, appearing to read 'Amrinder Kaur'.

Amrinder Kaur, Planner
BPlan, MPlan, CAPM®

P-Squared Concepts Inc.

A handwritten signature in cursive script, appearing to read 'Yasaman Bahadori'.

Yasaman Bahadori, Planner
B.Sc, M.A, MPlan



Performance Standard Review

<u>Zoning Provisions</u>	<u>Compliance (Existing zoning)</u>	<u>Required, Existing Zoning (By-law 2008-250)</u>	<u>Proposed</u>	<u>Required, New Zoning (By-law 2026-50) Final draft</u>	<u>Compliance (New zoning)</u>
Min. lot area (m)	Yes	2,000 m ² (T.232, (e), (II))	2213 m²	4000 m² (T. 1312, (e), (i))	No
Min. lot width (m)	Yes	30 m (T.232, (e), (III))	39.62 m	40 (T. 1312, (e), (ii))	No
Max. building height	Yes	11 m (T.232, (e), (IX))	(exact dimension to be added)	11 m (T. 1312, (e), (vii))	Yes!
Min. front yard setback	Yes	7 m (T.232, (e), (IV))	7 m	7 m (T. 1312, (e), (iii))	Yes
Min. rear yard setback	Yes	7.5 m (T.232, (e), (VII))	24.8 m	7.5 m (T. 1312, (e), (vi))	Yes
Min. corner side yard setback	Yes	4.5 m (Table 232, (e) VI)	5.1 m	4.5 m (T. 1312, (e), (v))	Yes
Min. int. side yard setback	Yes	2 m (T.232, (e), (V))	16 m	2 m (T. 1312, (e), (iv))	Yes
Max. lot coverage	No	15% = 331.95 m² (T.232, (e), (VIII))	~ 394.3 m² (17.8%)	15% = 331.95 m² (T. 1312, (e), (viii))	No
Min. setback from a watercourse to building	No	30 m to the normal highwater mark <u>OR</u> 15 m to the top of the bank, whichever is greater (S. 69, (2))	10 m	30 m to the normal highwater mark <u>OR</u> 15 m to the top of the bank, whichever is greater (S.404(1)(a))	No
Min. setback from a watercourse to septic	No	30 m to the normal highwater mark <u>OR</u> 15 m to the top of the bank, whichever is greater (S. 69, (2))	17.1 m	30 m to the normal highwater mark <u>OR</u> 15 m to the top of the bank, whichever is greater (S.404(1)(a))	No
Min. Parking space for detached dwelling	Yes	1 per dwelling unit (T. 101, (R4), (V))	3 spaces	one parking space is required for each dwelling unit (S.614,(1))	Yes



Max. driveway width	Yes	The area of the driveway does not exceed the greater of: 50% of the area of the yard in which it is located (= 138.6 m ²), or 2.6 m times the depth of the yard in which it is located. (S. 107 (3) (b) (ii))	~ 105 m ² (width of ~ 14.9 m)	50% of the lot width in the case of a front yard= 50* 39.62/100= 19.8 m (S.606 (2)(b))	Yes
Min. size of parking spaces	Yes	2.6 m x 5.2 m (S. 106, (1))	2.6 m x 5.2 m	2.6 m x 5.2 m (S.605 (1))	Yes
Min. driveway width	Yes	2.6 m (S. 107, (2))	~14.9 m	2.6 m (S.606 (1))	Yes
Max. walkway width	Yes	1.8 m (S. 109, (3), (b), (i))	1.4 m	1.8 m (S.606 (3))	Yes