



**Dendron Forestry Services**

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## Tree Information Report

Submitted as part of Committee of Adjustment Application to the City of Ottawa

**Address:** 1035 Galaxy Ave  
**Date of Report:** February 18, 2026  
**Date of Site Visit:** February 12, 2026  
**Prepared by:** Astrid Nielsen, RPF, ISA Certified Arborist®  
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**Committee of Adjustment**  
Received | Reçu le  
**2026-03-23**  
City of Ottawa | Ville d'Ottawa  
**Comité de dérogation**

**Client:** Franco Falcucci  
1021 Winterspring Ridge  
Ottawa, ON K4A 0S5  
Phone: 613-223-6725  
Email: [Franco.Falcucci@Marriott.com](mailto:Franco.Falcucci@Marriott.com)

**This Report must be read in its entirety, including the Assumptions and Limiting Conditions attached herein.**

### Purpose of the Report

The purpose of this report is to provide the client with an impact assessment of all protected trees on site as per the City of Ottawa’s Tree Protection By-law No. 2020-340 which includes all city trees. This report is part of a Committee of Adjustment application to the City of Ottawa and considers the impact that the proposed development will have on the trees. The assessment of the suitability of tree retention is based on the information provided at the time of report preparation which includes:

- Site plan prepared by Carbon Drafting & Design dated February 12, 2026
- Topographic survey dated January 17, 2026

This assessment does not consider additional factors that could influence tree retainability such as:

- site grading, and requirement for retaining walls and/or swales
- installation of services for the new units
- capping of existing water and sewer services
- installation of gas lines for the new units
- site access

The potential for retaining those tree(s) identified for retention in this report may change as more



information on the site-specific construction details is provided during the building permitting phase. For those trees that are recommended for retention, mitigation measures are provided to reduce the impact during construction. It should be noted that the construction phase includes all site works that could impact trees, from the capping of services at the beginning to the final landscaping steps at the end.

**Methodology**

The following materials were reviewed as part of this report:

- Site Plan
- GeoOttawa tree inventory layer and aerial photography
- Photos and imagery provided by client and city staff
- Google© Street View imagery – various years

A site visit was conducted to collect the following information from each tree or tree grouping classified as protected under the City of Ottawa’s Tree Protection By-law No. 2020-340:

- Diameter at breast height (1.3 m from grade)
- Species
- Tree health
- Relevant measurements such as distance to the existing structures like fences, driveways, etc

**Tree Inventory**

The following is an inventory of all trees that are protected under City of Ottawa Tree Protection (By-law No. 2020-340) on the adjacent City property. This property is in the rural area of Ottawa where only city trees have protection status. Trees along the property line with 1025 Galaxy and with their CRZ extending into the proposed construction area are also included in the inventory. The CRZ is an area around the trunk with a radius equivalent to 10 times the diameter of the trunk. This does not take into account infrastructure such as buildings and asphalt and assumes the tree has no restrictions on root growth.

Tree <sup>1,4</sup>	Species	Diameter at breast height (cm)	Ownership <sup>2,3</sup>	Description and Condition	Arborist/Forester recommendation
1	Sugar maple ( <i>Acer saccharum</i> )	48	Jointly owned with 1025 Galaxy	Good; high crown	Retain and protect during all site work; reduce excavation for septic tank as much as possible to avoid root damage
2	White pine ( <i>Pinus strobus</i> )	12-20	Subject property	3 white pines in good condition	Retain and protect with fencing during all site works
3	White pine ( <i>Pinus strobus</i> ), white spruce ( <i>Picea glauca</i> ), white birch	1-20; average 12 cm	Mostly on city property, some on upper slope on private property	Appr 70-80 stems; white pine and birch in dominant overstory, white spruce and poplar in understory	Retain and protect with fencing during all site works



	( <i>Betula papyrifera</i> ), Poplar ( <i>Populus</i> spp.), yellow birch ( <i>Betula alleghaniensis</i> )				
4	Re maple ( <i>Acer rubrum</i> ), white birch ( <i>Betula papyrifera</i> ), white pine ( <i>Pinus strobus</i> ), yellow birch ( <i>Betula alleghaniensis</i> )	1-10	1-3 m from bottom of ditch	Young, vigorous regeneration	Retain and protect with fencing during all site works

<sup>1</sup> Please refer to the attached Tree Information map for tree numbers. Note that this includes a tree layer added to the site plan (in pdf format) provided by the client. This layer includes only information about the trees and the original site plan is not altered in this process.

<sup>2</sup>Ownership of the tree in this report is based on the information provided and should not be used as a determination of ownership. For ownership disputes, a survey should be relied on. For boundary trees, consent from the adjacent property owner is required for removal as part of the application.

<sup>3</sup>Trees on adjacent properties do not include a full assessment. The diameters are estimated, and the health is estimated based on what is visible from the subject property. Trees along the property line may also have limited health assessments if part of the tree is not visible.

<sup>4</sup>The location of these trees was not provided and has been estimated

**Proposed Development and Conserved Vegetation**

The site area designated for the building was already cleared before the site visit. Vegetation still remains along the city property on Cougar Court, and a 1-3 m buffer along the ditch that runs east-west on the northern section. Three white pines also remain at the SW corner along Galaxie. The corners of the property were staked, but it was difficult to ascertain the property line between stakes. Therefore, the location of the treed areas and ownership determination is only an estimate. However, in discussions with the property owner, the intention is to keep the remaining vegetation, and the protection measures apply to all remaining trees, regardless of ownership. If additional trees are to be removed, their ownership must first be confirmed, and if they are on city property, a permit is required for their removal.

The Tree Information Map shows the tree protection areas for those trees that will be retained during construction. This tree protection area is conceptual and should be reassessed once the engineering plans (grading and servicing) are prepared as part of the building permit application process.

Note that an aggressive bittersweet vine is present in the SW corner and killing some smaller trees. It is recommended that this tree be properly identified during leaf on season, and if it is a non-native invasive species that it be removed.



### **Tree Protection and Mitigation Measures**

Prior to any site works, protective fencing should be installed around the trees as indicated in the attached Tree Information Map and maintained until all construction on site has been completed as per the **City of Ottawa Tree Protection Specifications (March 2021)**. Within the fenced area, the following tree protection guidelines should be applied:

- Do not change the grade
- Do not store construction material
- Do not operate machinery
- Do not convert to hard surface or change the landscaping
- Do not excavate unless it is a method that has been pre-approved by the City
- Do not place signs, notices or posters to any tree
- Do not damage the root system, trunk, or branches of any tree
- Direct the exhaust away from the tree

The tree protection fencing must be 1.2 m in height and constructed of a rigid or framed material (e.g. modulus – steel, plywood hoarding, or snow fence on a 2"X4" wood frame) with posts 2.4 m apart such that the fence location cannot be altered. All supports must be placed outside of the CRZ and installation must minimize damage to existing roots.

If the fenced tree protection area must be reduced to facilitate construction, *one* of the following mitigation measures should be applied:

- Place a layer of 6-12 inches (15 to 30 cm) of woodchip mulch to the area
- Apply  $\frac{3}{4}$  (2 cm) inch plywood, or road mats over a 4+ inch (10 cm) thick layer of the wood chip mulch
- Apply 4-6 inches (10 to 15 cm) of gravel over a taut, staked, geotextile fabric

### **Tree Planting Recommendations**

A separate tree planting plan has been prepared by Dendron for the area that was cleared of vegetation within the 10 m buffer area south of the ditch on the north end of the property. A total of 50 trees and shrubs have been recommended for this area, but this total amount and species should be confirmed with another site visit during the spring/summer months.

Note: the city requested that caliper trees be planted on the right of way along Galaxy and shown on a separate planting plan. However, there is no space within this right of way due to the existing drainage ditch, combined with the location of the proposed driveway and septic tank.



The undersigned personally inspected the property and issues associated with this report on February 12, 2026. On Behalf of Dendron Forestry Services,



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ISA Certified Arborist®, ON-1976  
ISA Tree Risk Assessment Qualified  
Principal, Dendron Forestry Services  
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*Picture 1: tree groupings 2, three white pines on private property to be retained*



*Picture 2: Tree grouping 3, trees along side of ditch, mostly on city property*



*Picture 3: View from NW corner facing towards SE*



*Pictures 4 and 5: Tree grouping 4, vegetation along ditch*





## ASSUMPTIONS AND LIMITING CONDITIONS

### Intended Use of the Report

This Report was prepared by Dendron Forestry Services (hereafter “Dendron”) at the request of the Client. The results, observations, interpretations, analysis, recommendations, and conclusions contained within this Report are to be used solely for the purposes outlined within this Report. All other uses are impermissible and unintended, unless specifically stated in writing in the Report.

### Intended User of the Report

This Report was prepared by Dendron for the exclusive use of the Client and may not be used or relied upon by any other party. All other users are unintended and unauthorized, unless specifically stated in writing in the Report.

### Limitations of this Report

This Report is based on the circumstances and on-site conditions as they existed at the time of the site inspection and the information provided by the Client and/or third parties to Dendron. On-site conditions may limit the extent of the on-site inspection(s) conducted by Dendron, including weather events such as rain, flooding, storms, winds, tornados, snowfall, snow cover, hail; obstructions including fencing, dwellings, buildings, sheds, plants, and animals; lack of access to the entire perimeter of the tree due to adjacent properties; the shape of the tree; and accessibility of the tree crown, branches, trunk, or roots for examination.

In the event that information provided by the Client or any third parties, including but not limited to documents, records, site and grading plans, permits, or representations or any site conditions are updated or change following the completion of this Report, this Report is no longer current and valid and cannot be relied upon for the purpose for which it was prepared. Dendron and its agents, assessors, and/or employees are not liable for any damages, injuries, or losses arising from amendments, revisions, or changes to the documents, records, site and grading plans, permits, representations, or other information upon which Dendron relied in preparing this Report.

No assessment of any other trees or plants has been undertaken by Dendron. Dendron and its agents, assessors, and/or employees are not liable for any other trees or plants on or around the subject Property except those expressly identified herein. The results, observations, interpretations, analysis, recommendations, and conclusions contained within this Report apply only to the trees identified herein.

Trees and plants are living organisms and subject to change, damage, and disease, and the results, observations, interpretations, analysis, recommendations, and conclusions as set out in this Report are valid only as at the date any inspections, observations, tests, and analysis took place. No guarantee, warranty, representation, or opinion is offered or made by Dendron as to the length of the validity of the results, observations, interpretations, analysis, recommendations, and conclusions contained within this Report. As a result the Client shall only rely upon this Report as representing the results, observations, interpretations, analysis, recommendations, and conclusions that were made as at the date of such inspections, observations, tests, and analysis. The trees discussed in this Report should be re-assessed periodically and at least within one year of the date of this Report.

### No Opinion regarding ownership of the Tree

This Report was not prepared to make a determination as to ownership of the subject tree(s). Where ownership of the subject tree(s) is identified within this Report, said identification is based on the information provided by the Client and third parties, including surveys, permits, and site and grading plans and may not be relied upon as a guarantee, warranty, or representation of ownership.

### Assumptions

This Report is based on the circumstances and conditions as they existed at the time of the site inspection and the information provided by the Client and/or third parties to Dendron. Where documents, records, site and grading plans, permits, representations, and any other information was provided to Dendron for the purpose of preparing this Report, Dendron assumed that said information was correct and up-to-date and prepared this Report in reliance on that information. Dendron and its agents, assessors, and/or employees, are not responsible for the veracity or accuracy of such information. Dendron and its agents, assessors, or employees are not liable for any damages, injuries, or losses arising from inaccuracies, errors, and/or omissions in the documents, records, site and grading plans, permits, representations, or other information upon which Dendron relied in preparing this Report.

For the purpose of preparing this Report, Dendron and its agents, assessors, and/or employees assumed that the property which is the subject of this Report is in full compliance with all applicable federal, provincial, municipal, and local statutes, regulations, by-laws, guidelines, and other related laws. Dendron and its agents, assessors, and/or employees are not liable for any issues with respect to non-compliance with any of the above-referenced statutes, regulations, bylaws, guidelines, and laws as it may pertain to or affect the property to which this Report applies.

For the purpose of preparing this Report, Dendron and its agents, assessors, and/or employee assumed that there are no hidden or unapparent conditions affecting the results, observations, interpretations, analysis, recommendations, and conclusions contained within this Report.

### No Publication

The Client acknowledges and agrees that all intellectual property rights and title, including without limitation, all copyright in this Report shall remain solely with Dendron Forestry. Possession of this Report, or a copy thereof, does not entitle the Client or any third party to the right of publication or reproduction of the Report for any purpose save and except where Dendron has given its prior written consent.

Neither all nor any part of the contents of this Report shall be disseminated to the public through advertising, public relations, news, sales, the internet or other media (including, without limitation, television, radio, print or electronic media) without the prior written consent of Dendron Forestry.



### **Implementing the Report Recommendations**

Dendron and its agents, assessors, and/or employees accept no responsibility for the implementation of any part of this Report unless specifically requested to provide oversight on the implementation of the recommendations. In the event that inspection or supervision of all or part of the implementation of the within recommendations is requested, that request shall be in writing and the details agreed to in writing by both parties.

Dendron and its agents, assessors, and/or employees are not liable for any damages or injuries arising from the manner in which the recommendations in this Report are implemented, including failure to, incorrect, or negligent implementation of the recommendations.

### **Further Services**

Neither Dendron nor any assessor employed or retained by Dendron for the purpose of preparing or assisting in the preparation of this Report shall be required to provide any further consultation or services to the Client, save and except as already carried out in the preparation of this Report and including, without limitation, to act as an expert witness or witness in any court in any jurisdiction unless the Client has first made specific arrangements with respect to such further services, including, without limitation, providing the payment of the Report's regular hourly billing fees.

### **Limits of Liability**

In carrying out this Report, Dendron and its agents, assessors, and/or employees have exercised a reasonable standard of care, skill, and diligence as would be customarily and normally provided in carrying out this Report. While reasonable efforts have been made to ensure that the trees recommended for retention are healthy, no guarantees are offered, or implied, that these trees, or all parts of them will remain standing. It is professionally impossible to predict with absolute certainty the behaviour of any single tree or group of trees, or all their component parts, in all given circumstances. Inevitably, a standing tree will always pose some risk. Most trees have the potential to fall, lean, or otherwise pose a danger to property and persons in the event of adverse weather conditions, and this risk can only be eliminated if the tree is removed.

Without limiting the foregoing, no liability is assumed by Dendron for:

- a) any legal description provided with respect to the Property;
- b) issues of title and or ownership respect to the Property;
- c) the accuracy of the Property line locations or boundaries with respect to the Property; and
- d) the accuracy of any other information provided to Dendron by the Client or third parties;
- e) any consequential loss, injury or damages suffered by the Client or any third parties, including but not limited to replacement costs, loss of use, earnings and business interruption; and
- f) the unauthorized distribution of the Report.

The total monetary amount of all claims or causes of action the Client may have as against Dendron Forestry, including but not limited to claims for negligence, negligent misrepresentation, and breach of contract, shall be strictly limited solely to the total amount of fees paid by the Client to Dendron Forestry pursuant to the Contract for Services dated May 15, 2023, for which this Assessment was carried out.

Further, under no circumstance may any claims be initiated or commenced by the Client against Dendron or any of its directors, officers, employees, contractors, agents, assessors, or Assessors, in contract or in tort, more than 12 months after the date of this Report.

### **No Third Party Liability**

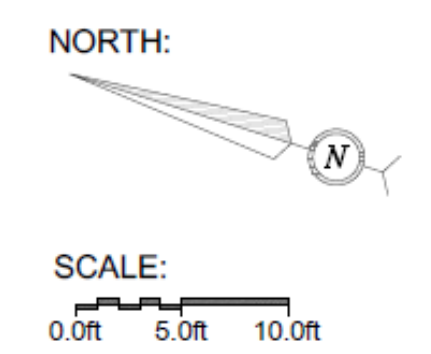
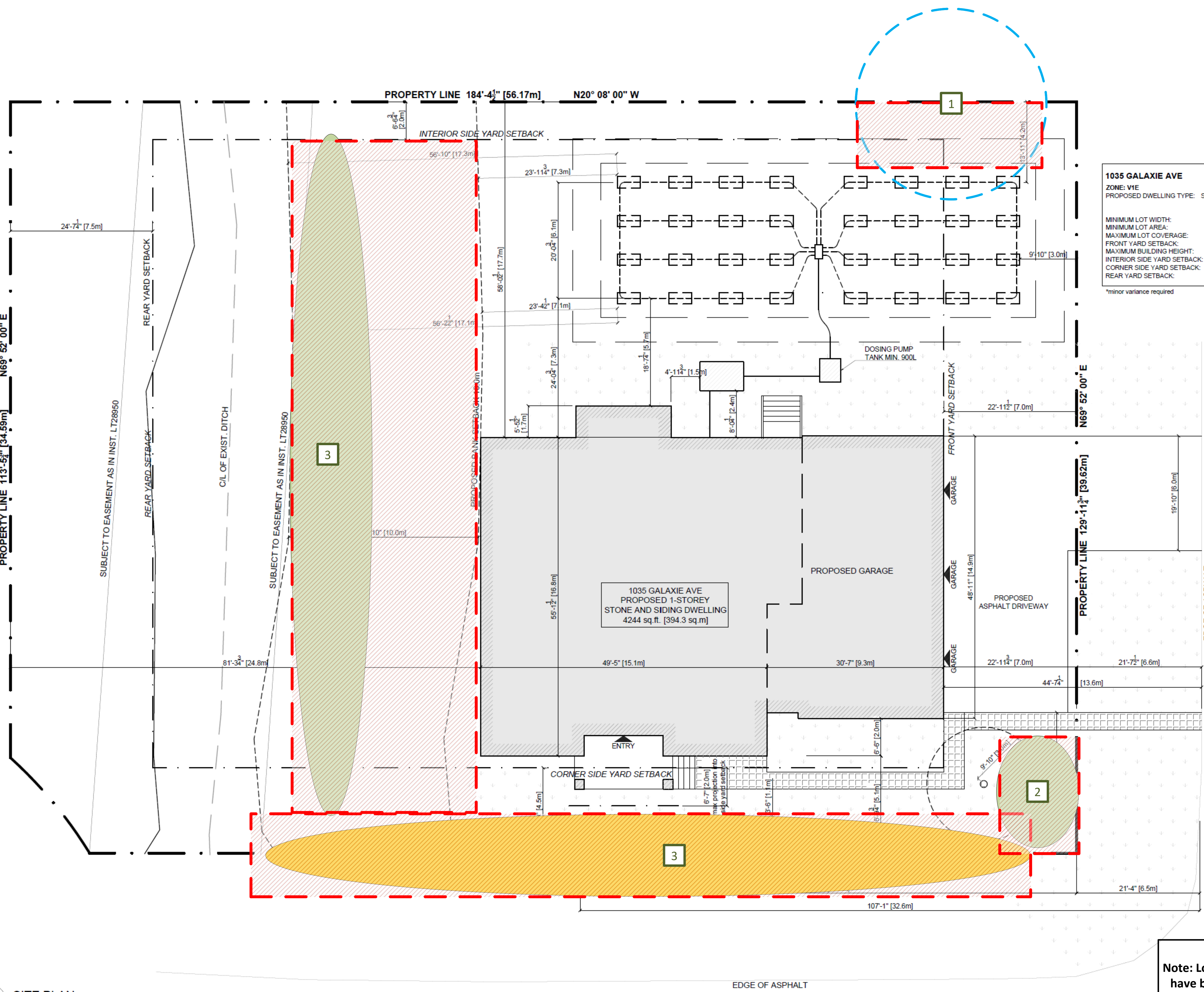
This Report was prepared by Dendron exclusively for the Client for the purpose set out in the Report. Any use which a third party makes of this Report, or any reliance on or decisions a third party may make based upon this Report, are made at the sole risk of any such third parties. Dendron Forestry accepts no responsibility for any damages or loss suffered by any third party or by the Client as a result of decisions made or actions based upon the unauthorized use or reliance of this Report by any such party.

### **General**

Any plans and/or illustrations in this Report are included only to help the Client visualize the issues in this Report and shall not be relied upon for any other purpose. This report is best viewed in colour. Any copies printed in black and white may make some details difficult to properly understand. Dendron accepts no liability for misunderstandings due to a black and white copy of the report.

Notwithstanding any of the above, nothing in this Report is taken to absolve the Client of the responsibility of obtaining a new Report in the event that the circumstances of the tree change.

**Note:** the tree layer has been added to the original base layer supplied by the client in pdf format. This layer refers to the trees only, and the original base has not been altered in the process, although it may be cropped. Refer to the original plan for details as quality is lost when importing the plan into the software used to create the tree layer.  
**Base Layer:** Site plan by Carbon Drafting & Design dated February 12, 2026



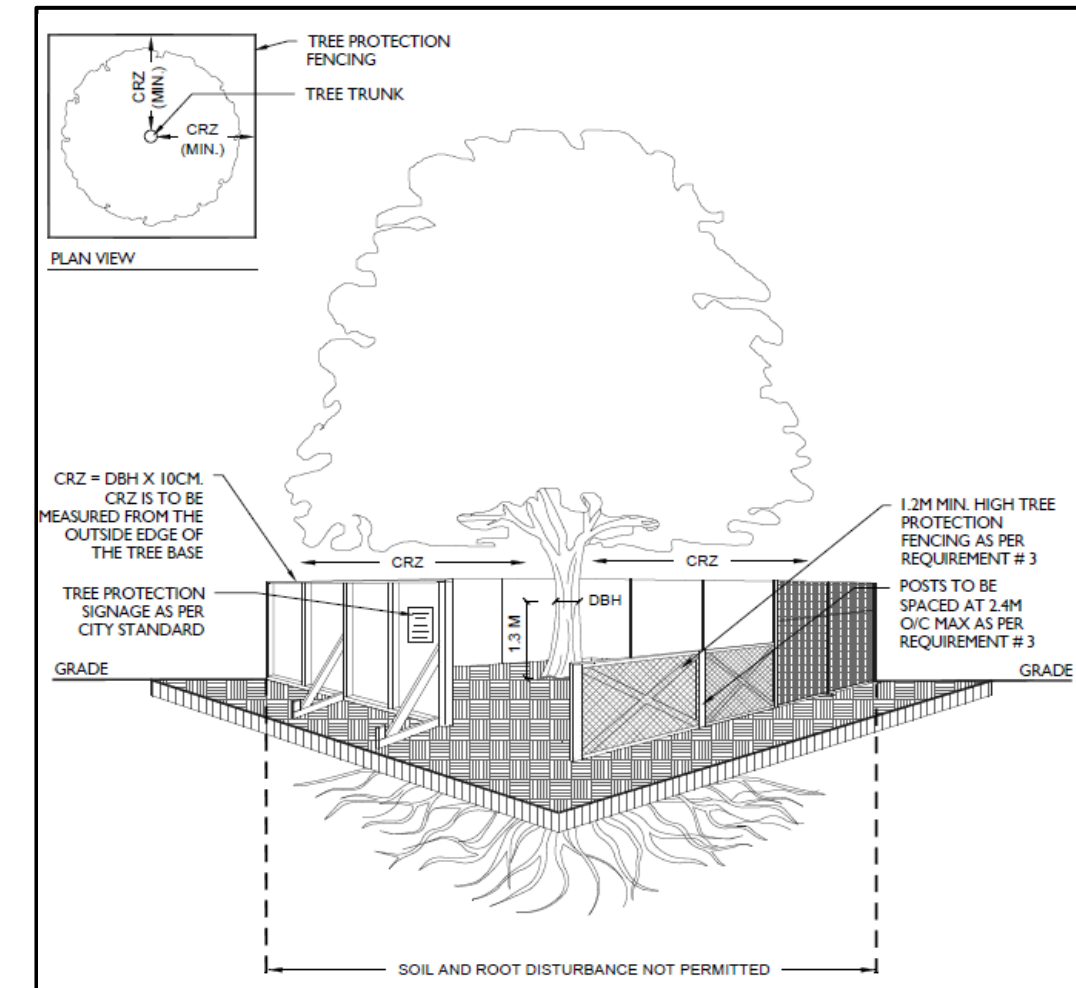
**1035 GALAXIE AVE**  
ZONE: V1E  
PROPOSED DWELLING TYPE: SINGLE FAMILY DETACHED

	Required:	Provided:
MINIMUM LOT WIDTH:	30.0m	39.6m
MINIMUM LOT AREA:	2000sq.m	2213sq.m
MAXIMUM LOT COVERAGE:	15%	17.8%*
FRONT YARD SETBACK:	7.0m	7.0m
MAXIMUM BUILDING HEIGHT:	11.0m	6.0m
INTERIOR SIDE YARD SETBACK:	2.0m	17.7m
CORNER SIDE YARD SETBACK:	4.5m	5.1m
REAR YARD SETBACK:	7.5m	8.6m

\*minor variance required

**TIR Map -**

Date	Revision	Prepared By
02/18/2026	Version 1	AN

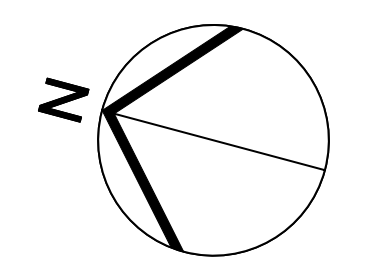


**Failure to install and maintain fencing as described in this report may result in fines from the city.**

- TREE PROTECTION REQUIREMENTS:**
- PRIOR TO ANY WORK ACTIVITY WITHIN THE CRITICAL ROOT ZONE (CRZ = 10 X DIAMETER) OF A TREE, TREE PROTECTION FENCING MUST BE INSTALLED SURROUNDING THE CRITICAL ROOT ZONE, AND REMAIN IN PLACE UNTIL THE WORK IS COMPLETE.
  - UNLESS PLANS ARE APPROVED BY CITY FORESTRY STAFF, FOR WORK WITHIN THE CRZ:
    - DO NOT PLACE ANY MATERIAL OR EQUIPMENT - INCLUDING OUTHOUSES;
    - DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE;
    - DO NOT RAISE OR LOWER THE EXISTING GRADE;
    - TUNNEL OR BORE WHEN DIGGING;
    - DO NOT DAMAGE THE ROOT SYSTEM, TRUNK, OR BRANCHES OR ANY TREE;
    - ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARD ANY TREE CANOPY.
    - DO NOT EXTEND HARD SURFACE OR SIGNIFICANTLY CHANGE LANDSCAPING.
  - TREE PROTECTION FENCING MUST BE AT LEAST 1.2M IN HEIGHT, AND CONSTRUCTED OF RIGID OR FRAMED MATERIALS (E.G. MODULOC - STEEL, PLYWOOD HOARDING, OR SNOW FENCE ON A 2"x4" WOOD FRAME) WITH POSTS 2.4M APART, SUCH THAT THE FENCE LOCATION CANNOT BE ALTERED. ALL SUPPORTS AND BRACING MUST BE PLACED OUTSIDE OF THE CRZ, AND INSTALLATION MUST MINIMISE DAMAGE TO EXISTING ROOTS. (SEE DETAIL)
  - THE LOCATION OF THE TREE PROTECTION FENCING MUST BE DETERMINED BY AN ARBORIST AND DETAILED ON ANY ASSOCIATED PLANS FOR THE SITE (E.G. TREE CONSERVATION REPORT, TREE INFORMATION REPORT, ETC). THE PLAN AND CONSTRUCTED FENCING MUST BE APPROVED BY CITY FORESTRY STAFF PRIOR TO THE COMMENCEMENT OF WORK.
  - IF THE FENCED TREE PROTECTION AREA MUST BE REDUCED TO FACILITATE CONSTRUCTION, MITIGATION MEASURES MUST BE PRESCRIBED BY AN ARBORIST AND APPROVED BY CITY FORESTRY STAFF. THESE MAY INCLUDE THE PLACEMENT OF PLYWOOD, WOOD CHIPS, OR STEEL PLATING OVER THE ROOTS FOR PROTECTION OR THE PROPER PRUNING AND CARE OF ROOTS WHERE ENCOUNTERED.
- THE CITY'S TREE PROTECTION BY-LAW, 2020-340 PROTECTS BOTH CITY-OWNED TREES, CITY-WIDE, AND PRIVATELY-OWNED TREES WITHIN THE URBAN AREA. PLEASE REFER TO WWW.OTTAWA.CA/TREEBYLAW FOR MORE INFORMATION ON HOW THE TREE BY-LAW APPLIES.

**Note:** Locations of trees have been estimated

**COUGAR COURT**



**Legend**

- Critical Root Zone (as defined in By-Law 2020-340)
- Private Tree
- Tree either fully or partly on adjacent property
- Tree either fully or partly on city property
- Tree Protection Area
- Tree grouping



Tree Planting Plan – 1035 Galaxy  
 Prepared by Dendron Forestry Services  
 Version 1.0, February 18, 2026  
 For more information, please contact:  
[info@dendronforestry.ca](mailto:info@dendronforestry.ca)

**Note:** the tree layer has been added to the original Site plan supplied by the client in pdf format. This layer refers to the trees only, and the original grading plan has not been altered in the process. Refer to the original plan for details as quality is lost when importing the plan into the mapping software used to create the tree layer.

### Planting Steps

Follow these steps to minimize stress to your trees, prepare the planting spot and plant your tree with care:

#### Step 1: Dig a hole

The hole should be two to three times wider than the container. Don't dig too deep. Planting depth is very important and can often lead to premature tree death if incorrect. When placed in the hole, the tree's root collar (i.e., where the roots join the main stem or trunk) should be flush with or slightly above ground level.

#### Step 2: Plant the tree

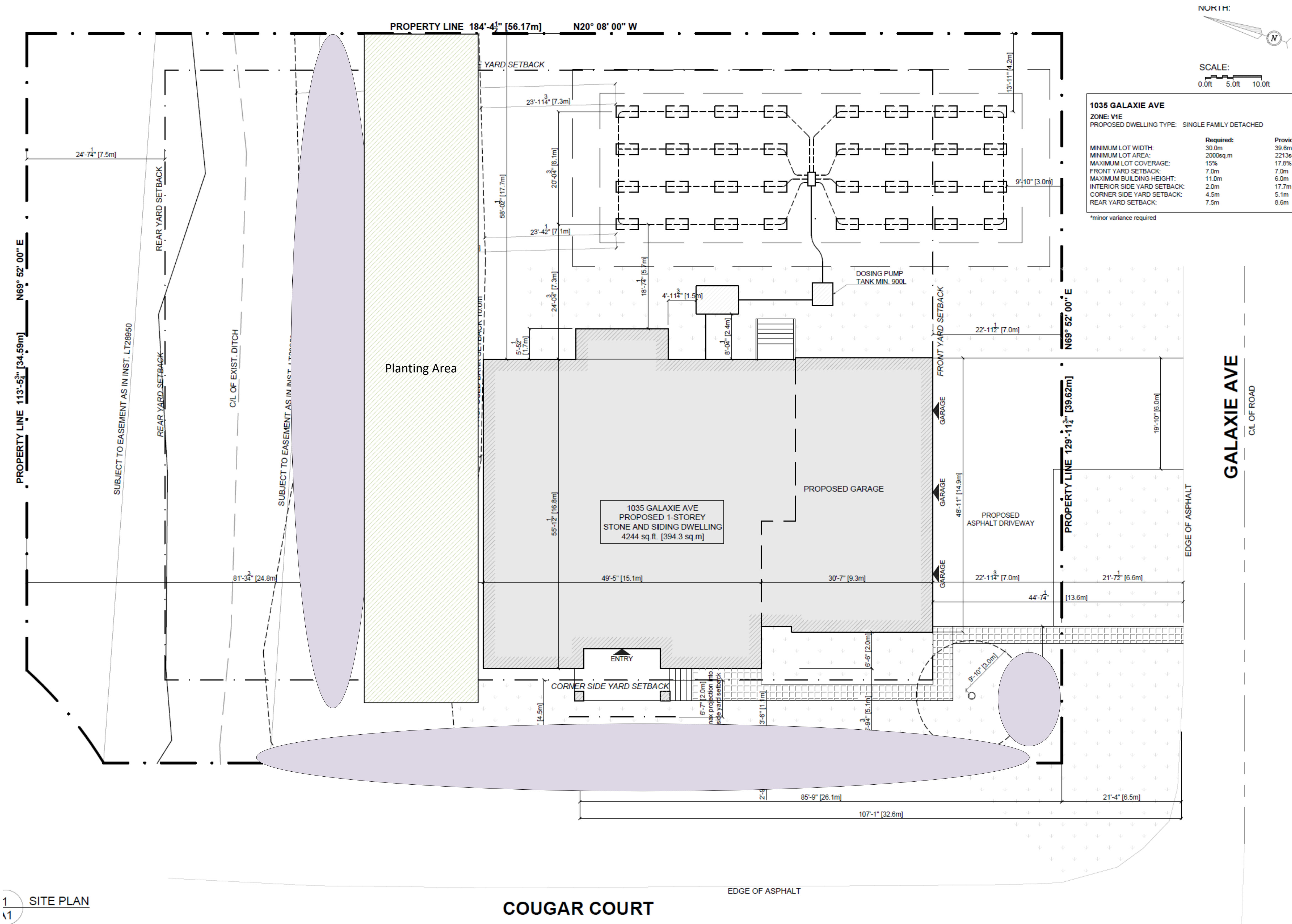
For trees in containers, gently slide the root ball out of the pot and into the hole. Root balls should be loosened to discourage girdling. You can also roughen the sides and bottom of the hole to promote root penetration. For burlapped trees, place the root ball in the hole and gently cut away the wire basket and burlap. Plant the tree so that its root collar is flush with or slightly higher than ground level and the tree is vertical.

#### Step 3: Secure the tree

Fill the hole in and around the root ball with the soil that was removed. Do not return any grass or sod to the hole. Gently pack the soil around the root ball until the hole is two-thirds full to remove air pockets. Fill the remaining space with water to settle the soil and allow the hole to drain. Finish filling the hole with soil and apply 5 cm of soil in a circle around the root area to direct water towards the roots.

### Post Planting Care

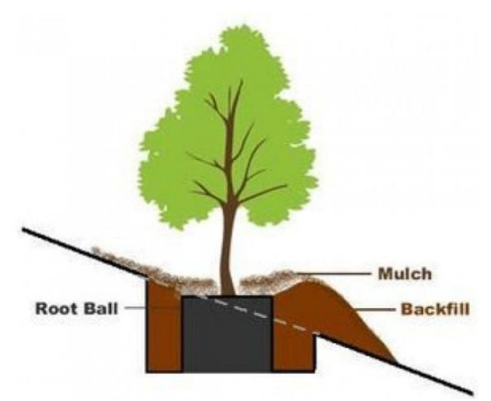
After planting, weed control will be necessary. Biodegradable coir mat or a layer of natural mulch can be used. Mulch helps to reduce the growth of weeds and grass, retain water in the soil, minimize temperature fluctuations, and provide a slow release of nutrients. Apply 5-10 cm of mulch in a circle around the root area, ensuring it doesn't touch or crowd the trunk.



1 SITE PLAN

### COUGAR COURT

In the planting area, a total of **50 trees and shrubs** should be sufficient to revegetate the area within a 10 m buffer from the ditch. The area is sloped, and partially shaded due to existing vegetation at the lower end of the slope. Plants should be planted in fall or late spring. Space larger plants approximately 0.8-1m apart, and smaller plants approximately 0.3-0.5m apart. For best results, plants on slopes should be planted with stems aligned vertically, not with the top of their root ball parallel to the surface, as seen in the figure below.



- Bottom of slope species options:**
- Buttonbush (*Cephalanthus occidentalis*)
  - Red maple (*Acer rubrum*)
  - Red-osier dogwood (*Cornus sericea*)
  - Yellow birch (*Betula alleghaniensis*)

- Mid-upper slope species options:**
- Tamarack (*Larix laricina*)
  - Ninebark (*Physocarpus opulifolius*)
  - White birch (*Betula papyrifera*)
  - Striped maple (*Acer spicatum*)
  - White spruce (*Picea glauca*)