

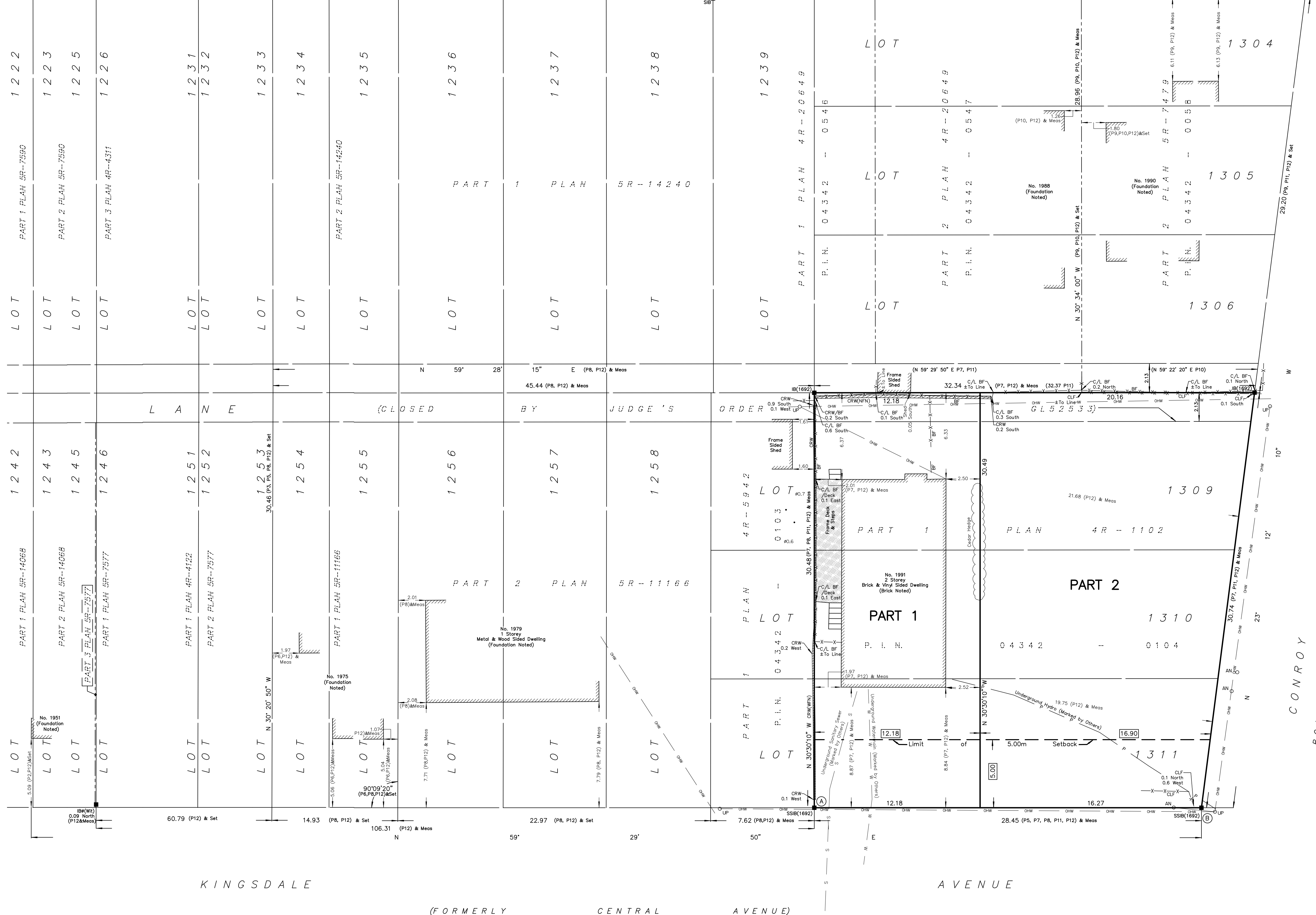
ROSEBELLA

AVENUE

ROAD WIDENING

PER

INST N 59° 26' 40" E (P10, P12) & Meas GL36470



KINGSDALE

AVENUE

(FORMERLY CENTRAL AVENUE)

(REGISTERED PLAN 326)

P. I. N. 0 4 3 4 2 - 0 2 0 9

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: _____

DANIEL ROBINSON
ONTARIO LAND SURVEYOR

PLAN 4R-
RECEIVED AND DEPOSITED

DATE: _____

REPRESENTATIVE FOR LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF
OTTAWA-CARLETON NO. 4.

SCHEDULE				
PART	LOT	PLAN	PIN	AREA (Sq.m.)
1	PART OF LOTS 1309, 1310 & 1311 AND PART OF THE LANE (AS CLOSED BY JUDGE'S ORDER INST GL52533)	326	ALL OF 04342 - 0104	371.2
2				555.1

PLAN OF SURVEY OF

PART OF LOTS 1309, 1310 & 1311 AND PART OF THE LANE (AS CLOSED BY JUDGE'S ORDER INST GL52533) REGISTERED PLAN 326 CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2026

Scale 1: 150

Metric Note
Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note
Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99995.

Bearing Note
Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°39'10" counter-clockwise was applied to bearings on P2, P3, P4, P6, P8 & P10.

For bearing comparisons, a rotation of 0°38'35" counter-clockwise was applied to bearings on P7, P9 & P11.

CO-ORDINATES WERE DERIVED FROM CAN-NET 3.0 REAL TIME NETWORK OBSERVATIONS, MTM ZONE 9, N.A.D. 1983 (ORIGINAL).

POINT ID	NORTHING	EASTING
(A)	5024104.45	374279.62
(B)	5024118.89	374304.13
01919760735	5026903.34	376968.72
01919871649	5007189.87	372435.05

CO-ORDINATES ARE MTM ZONE 9, N.A.D. 1983 (ORIGINAL), TO URBAN ACCURACY PER SEC. 14 (2) OF O. REG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

Surveyor's Certificate

I certify that:

- This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the Regulations made under them.
- The survey was completed on the ___ day of _____, 2026.

Date: _____ Daniel Robinson
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-XXXXX

- Notes & Legend**
- Denotes Survey Monument Planted
 - Survey Monument Found
 - SIB Standard Iron Bar
 - SSIB Short Standard Iron Bar
 - IB Iron Bar
 - IBØ Round Iron Bar
 - (Wit) Witness
 - (Meas) Measured
 - (P1) Registered Plan 326
 - (P2) Plan by (1442) dated June 30, 1992 (Ref. 92-25-136)
 - (P3) Plan SR-7577
 - (P4) Plan by (725) dated December 12, 1984 (Ref. 689-84)
 - (P5) Plan SR-7171
 - (P6) Plan by (1287) dated June 2, 1988 (Job No. 140-88)
 - (P7) Plan by (1283) dated July 25, 1991 (Ref. No. 0-326-22)
 - (P8) Plan by (857) Unsigned (Ref. No. 26(b)-326(GR))
 - (P9) Plan by (857) dated November 8, 1983 (Ref. No. 21-326 GR)
 - (P10) Plan 4R-20649
 - (P11) Plan 4R-1102
 - (P12) Plan by (1287) dated January 14, 2026 (Ref. No. 396-25)
 - Overhead Wires
 - Utility Pole
 - Anchor
 - Chain Link Fence
 - Board Fence
 - Concrete Retaining Wall
 - Centreline
 - North Face Noted
 - West Face Noted

Committee of Adjustment
Received | Reçu le
2026-03-10
City of Ottawa | Ville d'Ottawa
Comité de dérogation

FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS
CANADA LAND SURVEYORS

Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6
TEL. (613) 727-8226 E-mail: info@fsdsurveys.ca

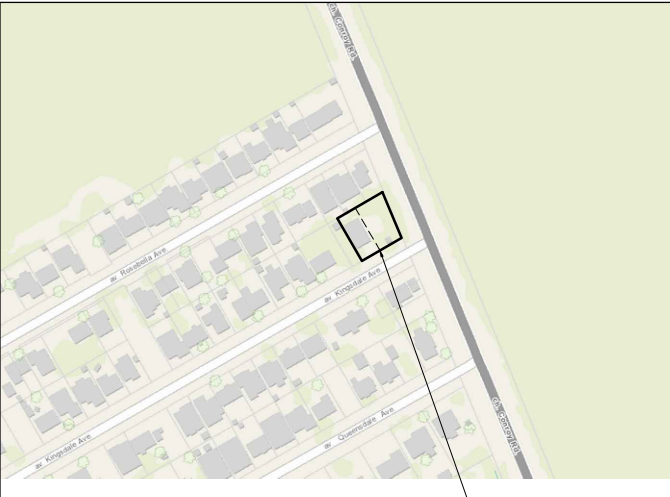
- GENERAL NOTES:**
1. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE CONSULTANT.
 2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND BY-LAWS.
 3. FOOTINGS DESIGNED FOR 2000 P.S.F. ASSUMED BEARING. BEARING STRATA, GRANULAR MATERIAL AND COMPACTION TO BE INSPECTED AND APPROVED BY SOILS CONSULTANT PRIOR TO POURING CONCRETE.
 4. DO NOT SCALE THE DRAWINGS.
 5. THE OWNER / GENERAL CONTRACTOR SHALL CONTROL ALL UTILITY EASEMENTS AND OR SETBACK REQUIREMENTS BEFORE SETTING CUT FOR CONSTRUCTION.
 6. THE GENERAL CONTRACTOR SHALL CONTROL ALL FROST PROTECTION DETAILS ON SITE WITH A GEOTECHNICAL ENGINEER BEFORE FORMING.

NO.	DESCRIPTION & DATE	REVISIONS
1	ISSUED FOR APPLICATION TO COMMITTEE OF ADJUSTMENT 2026-03-04	

JOB TITLE:
1991 KINGSDALE AVENUE
OTTAWA, ON.
APPLICATION FOR CONSENTS TO SEVER & MINOR VARIANCES

SHEET TITLE:
PROPOSED SITE PLAN
KEY PLAN
ZONING INFORMATION
MINOR VARIANCES REQUESTED

SCALE: AS SHOWN Dwg NO.
DRAWN: S.S. S1.1
CHECKED: M.D.
DATE: 2026-MARCH
PRINT DATE: 2026-MAR-04



NOT TO SCALE LOCATION OF SUBJECT PROPERTY

PROJECT INFORMATION

ADDRESS	1991 KINGSDALE AVENUE OTTAWA, ON. K1T 1H9
LEGAL DESCRIPTION	PART OF LOT 1309, 1310 & 1311 AND PART OF THE LANE (AS CLOSED BY JUDGE'S ORDER INST GL52533) REGISTERED PLAN 326 PIN: 04342-0104 WARD 10, GLOUCESTER-SOUTHGATE
ZONING	ZONING BYLAW 2008-250 R1WW SECTION 139 - LOW-RISE RESIDENTIAL IN ALL NEIGHBOURHOODS WITHIN THE GREENBELT SECTION 144 - ALTERNATIVE YARD SETBACKS AFFECTING LOW-RISE RESIDENTIAL IN THE R1 TO R4 ZONES WITHIN THE GREENBELT

DEVELOPMENT STANDARDS

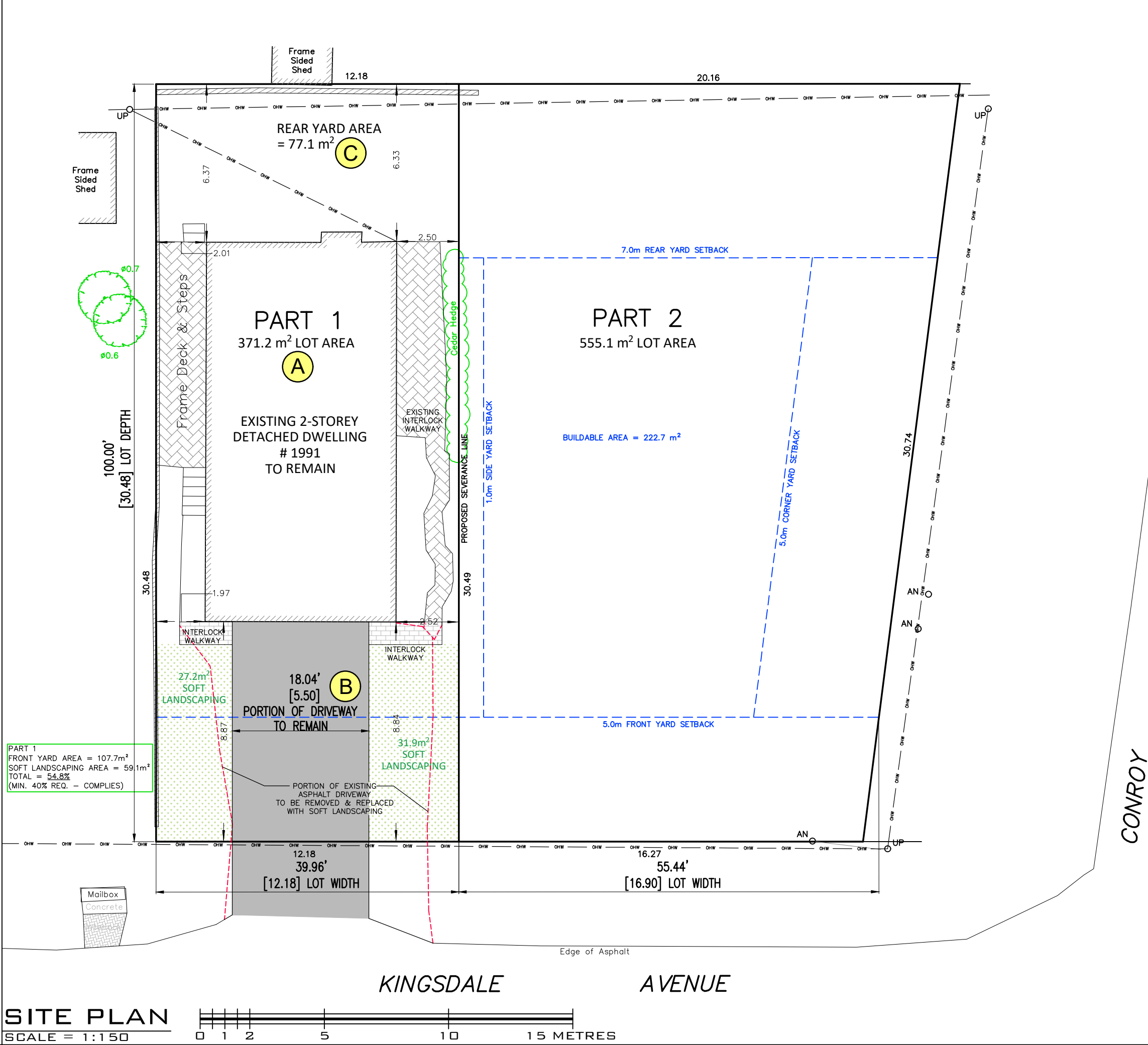
SITE PROVISIONS	BY-LAW REQUIREMENTS	PROVIDED PART 1	PROVIDED PART 2
MIN. LOT WIDTH	9m	12.18m	16.90m
LOT DEPTH	N/A	30.48m	30.49m
MIN. LOT AREA	450m ²	371.2m ²	555.1m ²
MAX. BUILDING HEIGHT	8.5m	±6m EXISTING	8.5m
MIN. FRONT YARD SETBACK	5m	8.84m EXISTING	5m
MIN. CORNER YARD SETBACK	5m	-	5m
MIN. REAR YARD SETBACK	VARIABLES	20.76% (6.33m) EXISTING	7m
MIN. REAR YARD AREA	VARIABLES	20.75% (77.1m ²) [req. 25% of lot area (92.8m ²)]	-
MIN. INTERIOR YARD SETBACK	1.00m	1.97m EXISTING	1m
MIN. SOFT LANDSCAPING OF THE FRONT YARD AREA	40%	54.8%	-
MIN. SOFT LANDSCAPING OF THE CORNER YARD AREA	40%	-	-
MAXIMUM DRIVEWAY WIDTH	LOT FRONTAGE: 18M OR GREATER: 6M DOUBLE 8.25M TO LESS THAN 15M: 3M SINGLE	5.5m	-

MINOR VARIANCES REQUESTED

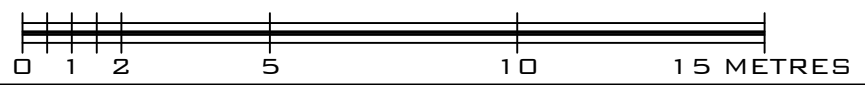
PART 1	A) To permit a reduced lot area of 371.2 square metres, whereas the By-law requires a minimum lot area of 450 square metres. [Table 156A] B) To permit the existing double driveway width of 5.5 metres, whereas the By-law requires that on lots with a frontage of 8.25m to less than 15m, the maximum permitted driveway is a single 3.0m wide. [Sec. 139, Table 139(3)] C) To permit a reduced rear yard area of 20.7% of the lot area (77 square metres), whereas the By-law requires a minimum rear yard area of 25% of the lot area (92.88 square metres). [Sec. 144 (3)]
PART 2	NO VARIANCES REQUIRED

LEGEND

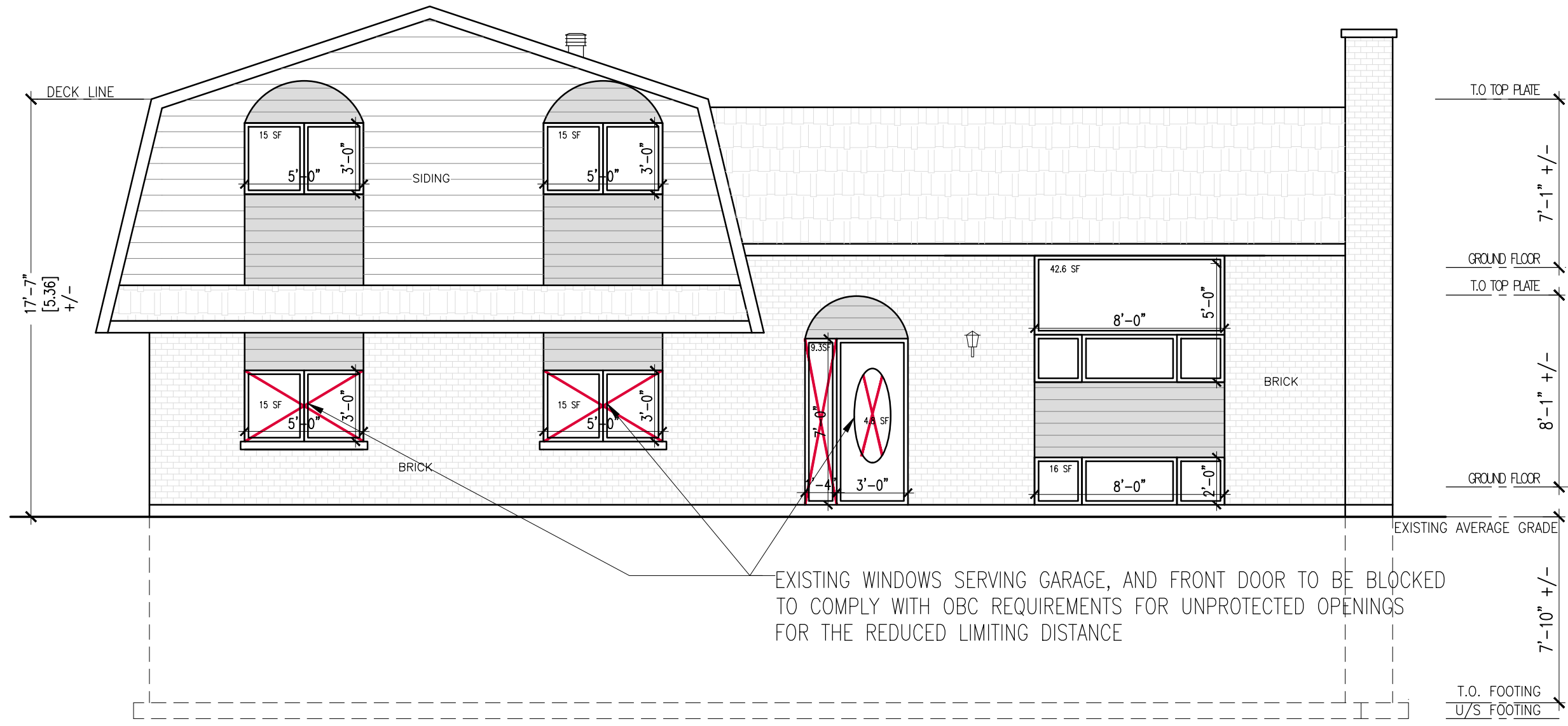
DRIVEWAY TO REMAIN	[Pattern]	LINE OF REQUIRED SETBACK	[Dashed Blue Line]
INTERLOCK	[Pattern]	OVERHEAD WIRES	[OHW Line]
SOD	[Pattern]	EXISTING DRIVEWAY LIMITS	[Dashed Red Line]
EXISTING INTERLOCK	[Pattern]	EXISTING TO REMAIN	[Hatched Pattern]



SITE PLAN
SCALE = 1:150



L.D. = 2.5m
714 SQ.FT [76.5m²] OF WALL X 10.7% ALLOWABLE OPENINGS
ALLOWABLE GLASS OPENINGS = 76.3 SQ.FT
ACTUAL WINDOW OPENINGS = 90 SQ.FT
MINUS 15% FOR FRAME = 76.5 SQ.FT GLASS OPENING



EXISTING WINDOWS SERVING GARAGE, AND FRONT DOOR TO BE BLOCKED TO COMPLY WITH OBC REQUIREMENTS FOR UNPROTECTED OPENINGS FOR THE REDUCED LIMITING DISTANCE

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EXISTING RIGHT SIDE (EAST) ELEVATION - 1991 KINGSDALE AVENUE

SCALE: 3/16" = 1'-0"