

**Committee of Adjustment**

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City of Ottawa | Ville d'Ottawa

**Comité de dérogation**

## **Minor Variance Application**

**396 Riverdale Avenue**

City of Ottawa Committee of Adjustment

101 CentrepoinTE Drive, 4th Floor

Ottawa, ON K2G 5K7

March 24th, 2026



P-Squared Concepts  
Minor Variance Cover Letter  
396 Riverdale Ave





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City of Ottawa Committee of Adjustment  
101 CentrepoinTE Drive, 4th Floor  
Ottawa, ON K2G 5K7

March 24th, 2025

Attn: Mr. Michel Bellemare  
Secretary Treasurer

Re: 396 Riverdale Ave (Minor Variance application) - Ward 17  
Julie Lanca and Jean Benoit  
Part of Lot 139, Registered Plan 118266, City of Ottawa

### **1.0 Site Context**

We are submitting the enclosed Minor Variance application, on behalf of our clients, for the property located at 396 Riverdale Ave in the City of Ottawa. The proposal is to construct a **one-storey rear extension (footprint of 22.66 m<sup>2</sup>) to the existing two-storey dwelling unit, and to add a third storey above the current second floor**, maintaining the same building footprint, resulting in a three-storey dwelling overall, with the purpose of these rear addition and the third floor addition being to **expand the internal livable area for family's personal use**. The existing front yard, driveway, and rear-yard accessory garage will remain unchanged.

The property is zoned **R3P[487]– Residential Third Density, Subzone P**, under Zoning By-law 2008-250, as amended and zoned **N3B[487] - Neighbourhood Third Density, Subzone B**, under the New Zoning By-law 2026-50. Urban Exception [487] prohibits development as a planned unit development (PUD) on the lot and is not applicable for this application. The property is located within the **Inner Urban Transect**, designated as a **Neighbourhood**, as per the City of Ottawa Official Plan and falls within the **Mature Neighbourhood Overlay**, as per the City of Ottawa Zoning By-law 2008-250.

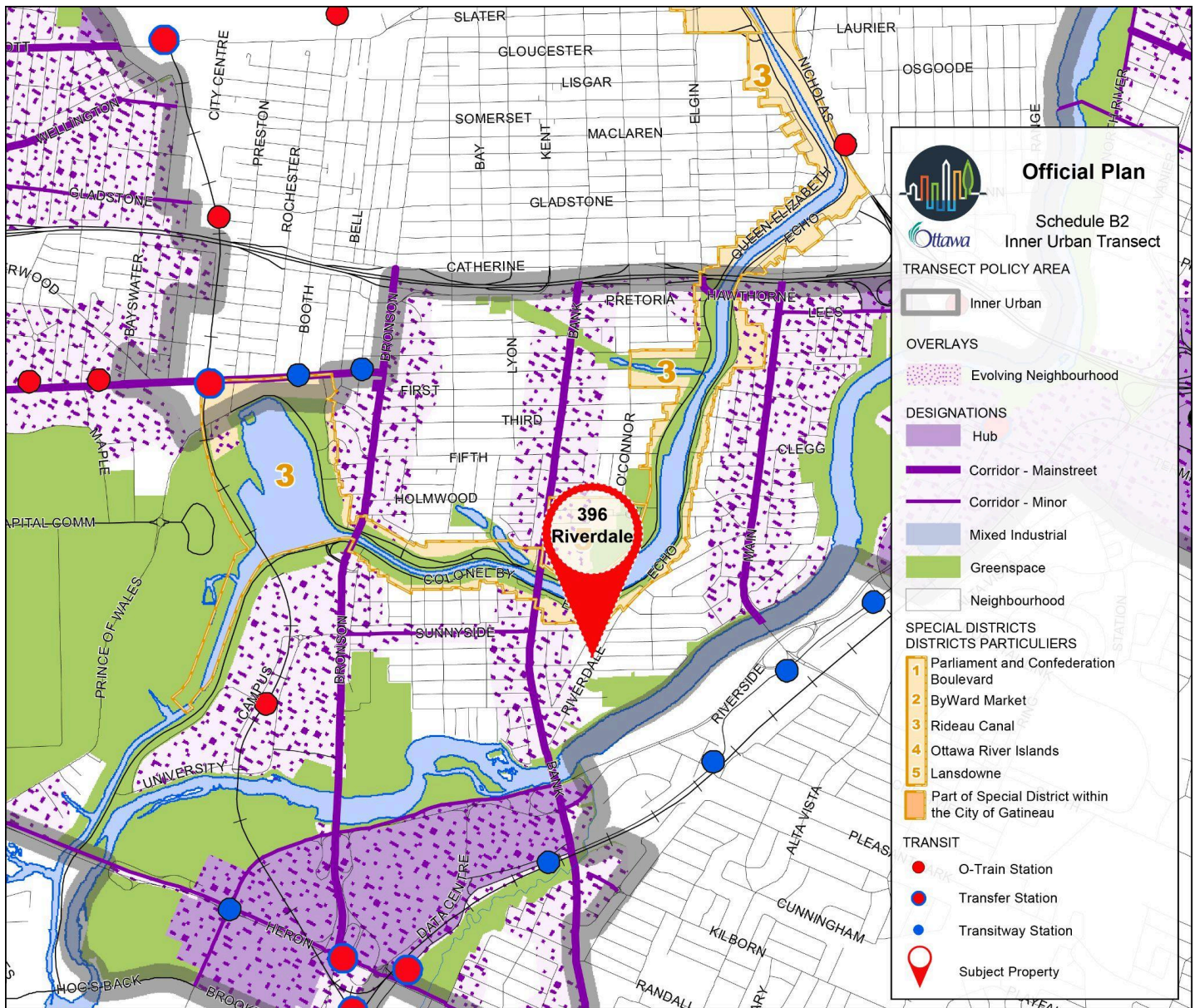
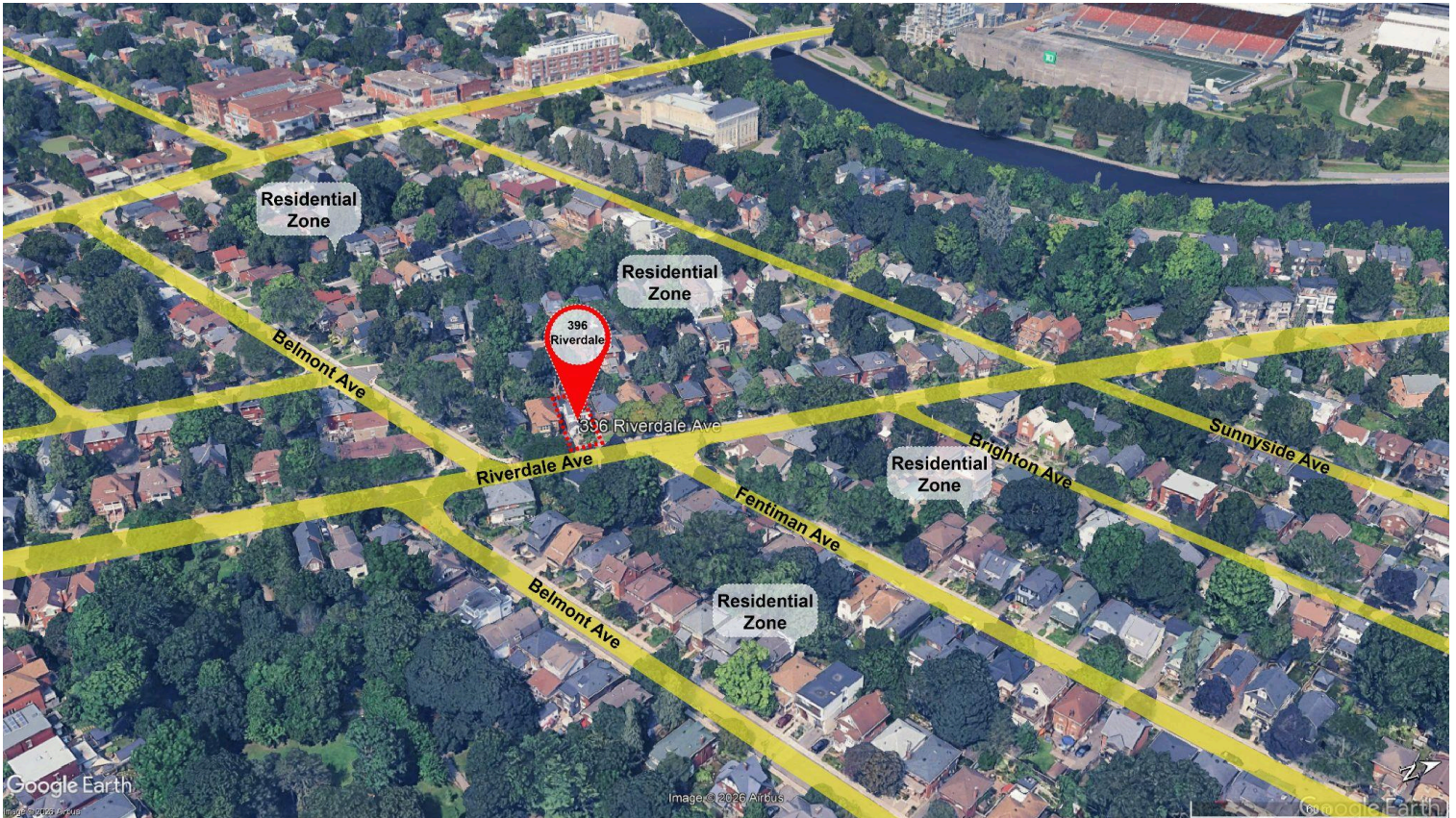


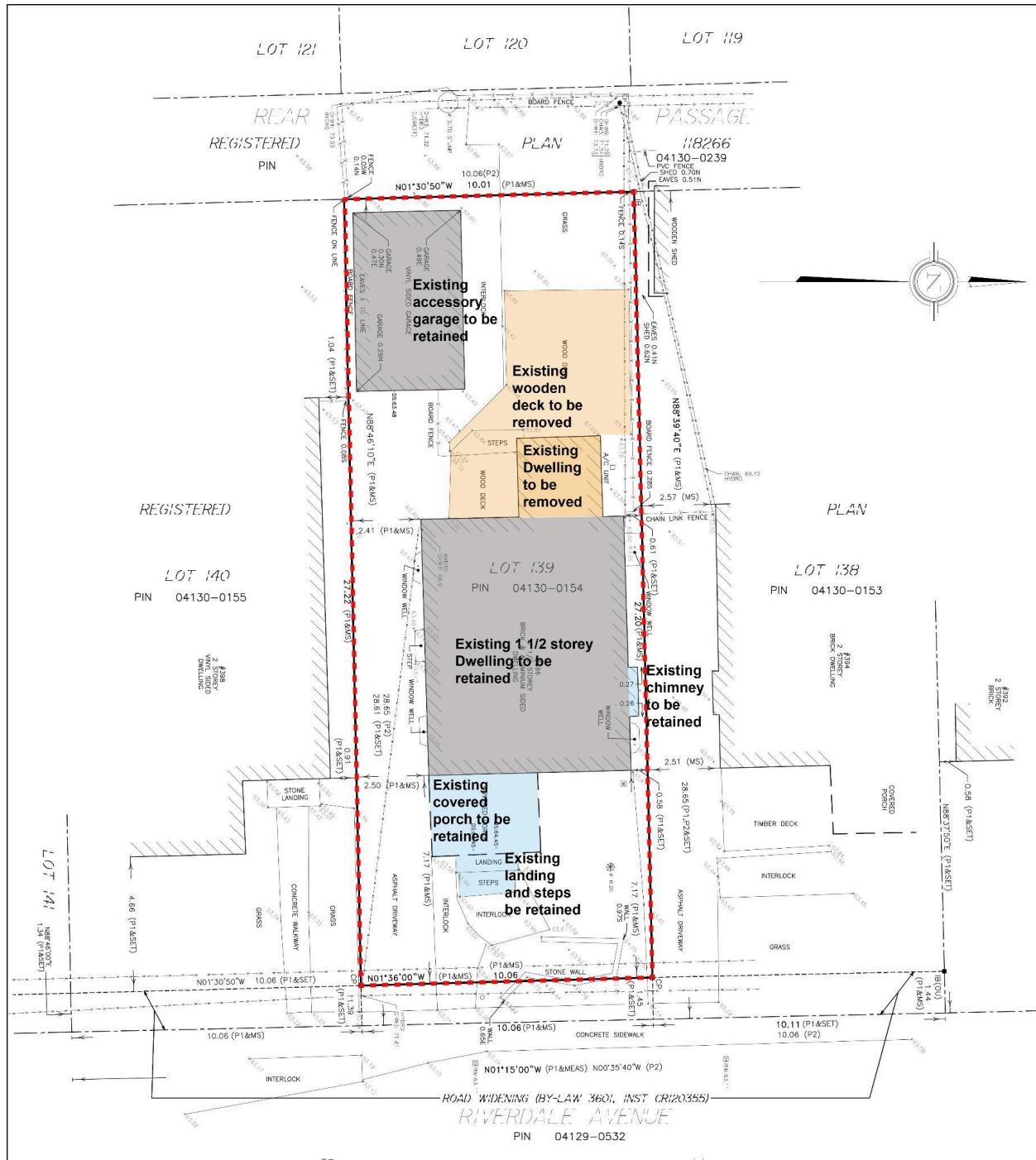
Fig. 1. Schedule B2 - Inner Urban Transect, City of Ottawa Official Plan.



*Fig.2. Aerial imagery showing the surrounding context of the subject site, Google Maps.*



*Fig 3. Subject property showing existing dwelling, front yard condition and accessory garage to be retained.*



**Fig 4. Survey Plan showing the *property boundary*, the *existing two storey dwelling to be retained*, the *existing chimney projection*, *covered porch*, *landing and steps to be retained*, and *existing wooden deck*, and *part of the existing dwelling to be removed* by GeoVerra Ltd, dated November 2025.**

The four tests of a **Minor Variance** application from Section 45 (1) of the Planning Act are that the variances are to maintain the general intent and purpose of the Official Plan and the Zoning By-law, are desirable for the appropriate development or use of the land and building, and are minor in nature.

## **2.0 Minor Variance Application**

- A) Minimum Rear Yard Setback. *The proposed rear yard setback is 6.87 m (or 25.25% of the lot depth), whereas the minimum rear yard setback Zoning By-Law requirement is 30% of the lot depth or 8.16 m (Table 144A, (iii), Zoning By-Law 2008-250, as amended).*
- B) Maximum Extent of Chimney box (fireplace system) Projection into the interior side yard. *The fireplace system is set back 0.26 m from the interior side lot line, whereas Zoning By-law, requires a minimum setback of 0.6 m from a lot line (Table 65 (1), II, Zoning By-Law 2008-250, as amended, and Section 204 (11) (1) (a)(i), Zoning By-Law 2026-50, as amended).*

The existing two-storey dwelling unit on the subject property was constructed prior to 1928 and will be retained. The existing accessory garage located in the rear yard will also remain as-is. The proposed development is only limited to the removal of a portion of the rear of the dwelling and the existing wooden deck, to be replaced with a new one-storey rear extension along with a third storey addition on the existing building footprint. The requested zoning relief relates only to the rear yard setback as per the Zoning By-Law 2008-250, and the extent of fireplace system projection to the applicable interior side lot line as per the Zoning By-Law 2008-250 and the Zoning By-Law 2026-250. All other applicable zoning provisions are satisfied, including minimum lot area and lot width, remaining yard setbacks, building height, and required soft landscaping.

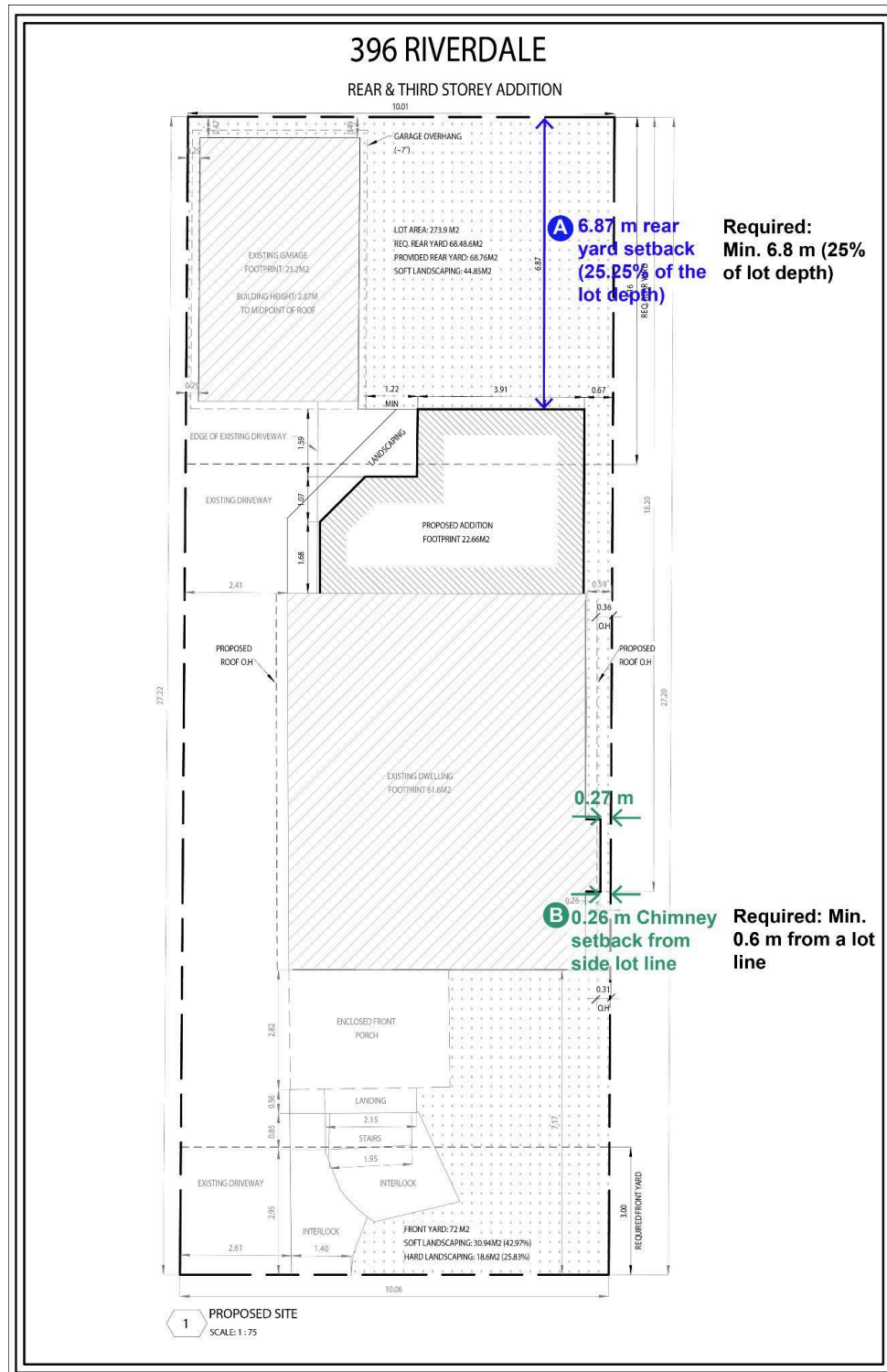


Fig.5. Site plan prepared by Evolution Design & Drafting dated February 23rd, 2026, showing the requested Minor Variances for the proposed development of one storey rear extension and a third storey addition.

## **2.1. The variances are minor in nature.**

The requested variances are minor in nature, as they do not represent significant departures from the Zoning By-law or result in any adverse impacts on the abutting properties or the neighbourhood as a whole. They also do not compromise the functionality or intent of the proposed development. The purpose of this Minor Variance application is to permit a slight reduction in the rear yard setback and a minor projection of the fireplace system into the interior side yard. The proposal maintains compatibility with the established character and functionality of the surrounding area.

**Variance A** seeks to reduce the minimum rear yard setback from 8.16 m (30% of the lot depth) to 6.87 m (25.25% of the lot depth), resulting in a 1.29 m (4.75%) reduction, which is minor in nature. Following discussions with City planners, adjustments were made to the design to achieve the required rear yard area while reducing the extent of the rear yard setback relief to a more modest amount. The variance is modest in scale, does not create any functional impacts on the property, and allows the extension to remain well-contained within the rear yard while maintaining adequate separation from neighbouring lands.

The proposed setback is also consistent with the established rear yard condition in the surrounding area in the same N3B zone, where rear yard setbacks vary and similar reduced setbacks are present along the street (e.g., approximately 6.2 m at 398 Riverdale Ave, 3.5 m at 153 Belmont Ave, 6.6 m at 350 Riverdale Ave, 6.8 m at 35 Bellwood Ave). As such, the request respects and reinforces the existing neighbourhood pattern rather than introducing an out-of-character built form.

Importantly, even with the reduced setback, the subject property continues to provide generous rear yard soft landscaping and amenity space. The proposal provides a rear yard soft landscaped area of 44.85 m<sup>2</sup> (approximately 65.23% of the rear yard area), which significantly exceeds the minimum requirement of 15% (approximately 10.31 m<sup>2</sup>). This ensures the rear yard remains predominantly green and functional for outdoor use. The proposal also meets the rear yard area requirement.

In addition, privacy and separation for rear neighbours are maintained due to the lane between 396 Riverdale Avenue and the property to the rear at 35 Bellwood Avenue. The lane creates an additional separation of approximately 3.7 m (fig.6), meaning more than adequate buffering and privacy for the lands to the rear.



*Fig.6. ~3.7 m gap between 396 Riverdale Avenue and the property to the rear at 35 Bellwood Avenue*

**Variance B** requests a reduction in the minimum required setback for a fireplace system from the interior side lot line, from 0.60 m to 0.26 m, representing a difference of 0.34 m. The variance applies only to the north interior side yard, where the fireplace system is set back 0.26 m from the side lot line for a limited length of approximately 1.69 m.

This reduction is modest in scale and does not result in any adverse impacts on neighbouring properties. The fireplace system is an existing feature that has been part of the dwelling since it was constructed prior to 1958, and no new encroachment is being introduced toward the lot line at this location. The relief is required only because the proposed third-storey addition triggers the need to recognize this existing legal non-complying condition, while the overall built relationship along the side yard remains essentially unchanged. Given the limited extent of the reduced setback, the small degree of non-compliance, and the surrounding context, the requested variance is appropriately considered minor in nature and compatible with the established neighbourhood character.

## **2.2. Desirable and appropriate for the development or use of land and building.**

The proposed development is desirable and appropriate for the use of the land and the existing dwelling. The application is limited to a one-storey rear addition to expand the principal dwelling within the rear yard, along with a third-storey addition above the existing two-storey house. The front portion of the dwelling and the existing front yard condition will remain unchanged, which preserves the established streetscape character

and maintains the intent of the zoning for a low-rise residential context. As the site is located in Area A on Schedule 342, this proposal is subject to the design guidelines listed in the Urban Design Guidelines for Low-rise Infill Housing (2023). The following section features excerpts from this guideline document and responses.

### Built Form and Exterior Design Guidelines

- 2.2 Building massing and scale: The massing and scale of infill buildings should consider the surrounding neighbourhood in terms of building setbacks, building width and length, and the relationship between buildings and the public realm. New infill housing should utilise architectural treatment and articulation to replicate the predominant scale and built form of the surrounding neighbourhood.

*Response: The proposed additions are desirable and appropriate for the development of the property because they respect the established massing and scale of the surrounding neighbourhood and maintain the existing relationship between the dwelling and the public realm. The one-storey addition is located entirely at the rear of the existing two-storey house, ensuring the building's front yard condition, and overall streetscape presence remain unchanged. The proposed third-storey addition is designed to comply with the applicable zoning height provisions and is stepped into the existing building form, maintaining a massing that is consistent with the prevailing low-rise character. Architectural articulation and roof form further reinforce compatibility. The pitched roof and exterior design approach complement the existing dwelling and reflect common rooflines and built-form patterns in the neighbourhood, resulting in an infill addition that reads as a cohesive extension of the home rather than an over-scaled or visually dominant change.*

### Neighbourhood Character

- 1.1 Ground floor: Contribute to an inviting, safe, and accessible streetscape by emphasising the ground floor and street facade of infill buildings. Locate principal entries, windows, porches, and key internal uses at or close to street level.

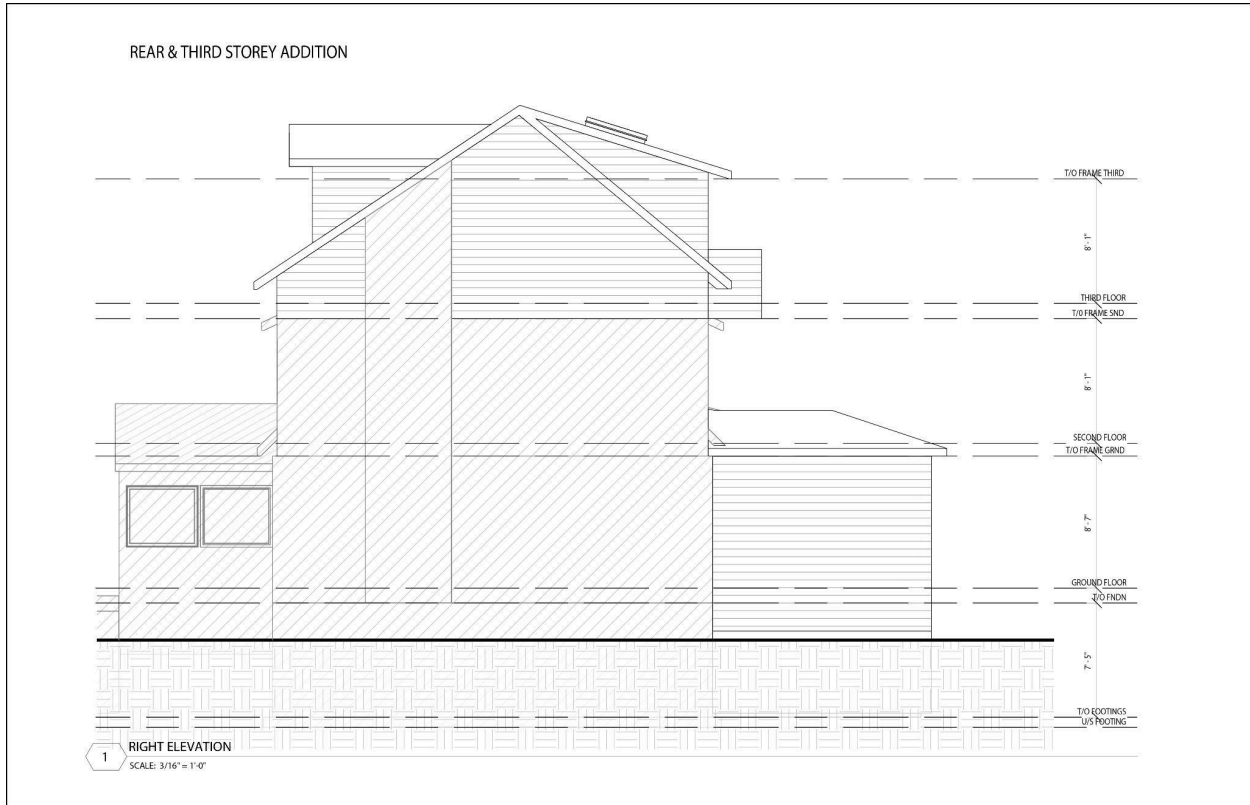
*Response: No changes are proposed to the front condition, principal entrance, or ground-floor relationship with the street. The existing inviting and well-defined front elevation is fully retained, preserving the established character and maintaining an active, accessible streetscape presence along Riverdale Ave.*

### Siting and Setbacks

- 1.7 Side Yards: Consider building heights and the location of windows to determine appropriate side and rear separation distances between existing homes and new infill housing to ensure access to natural light, views, and reasonable privacy from over-look

*Response: The proposal maintains appropriate separation from adjacent properties by locating new construction primarily at the rear of the dwelling, and top of the existing two storey footprint, and by carefully considering building height and window placement to protect access to natural light, views, and reasonable privacy. No new windows are proposed on the north interior side elevation for the third storey addition, which avoids*

*overlook toward the adjacent property at 394 Riverdale Avenue. Window openings on the rear addition are limited and oriented toward the rear yard, and are designed to maintain privacy and minimize potential overlook while preserving light and open sky exposure for surrounding properties.*



*Fig.7. Side elevation showing no windows on the side elevation.*

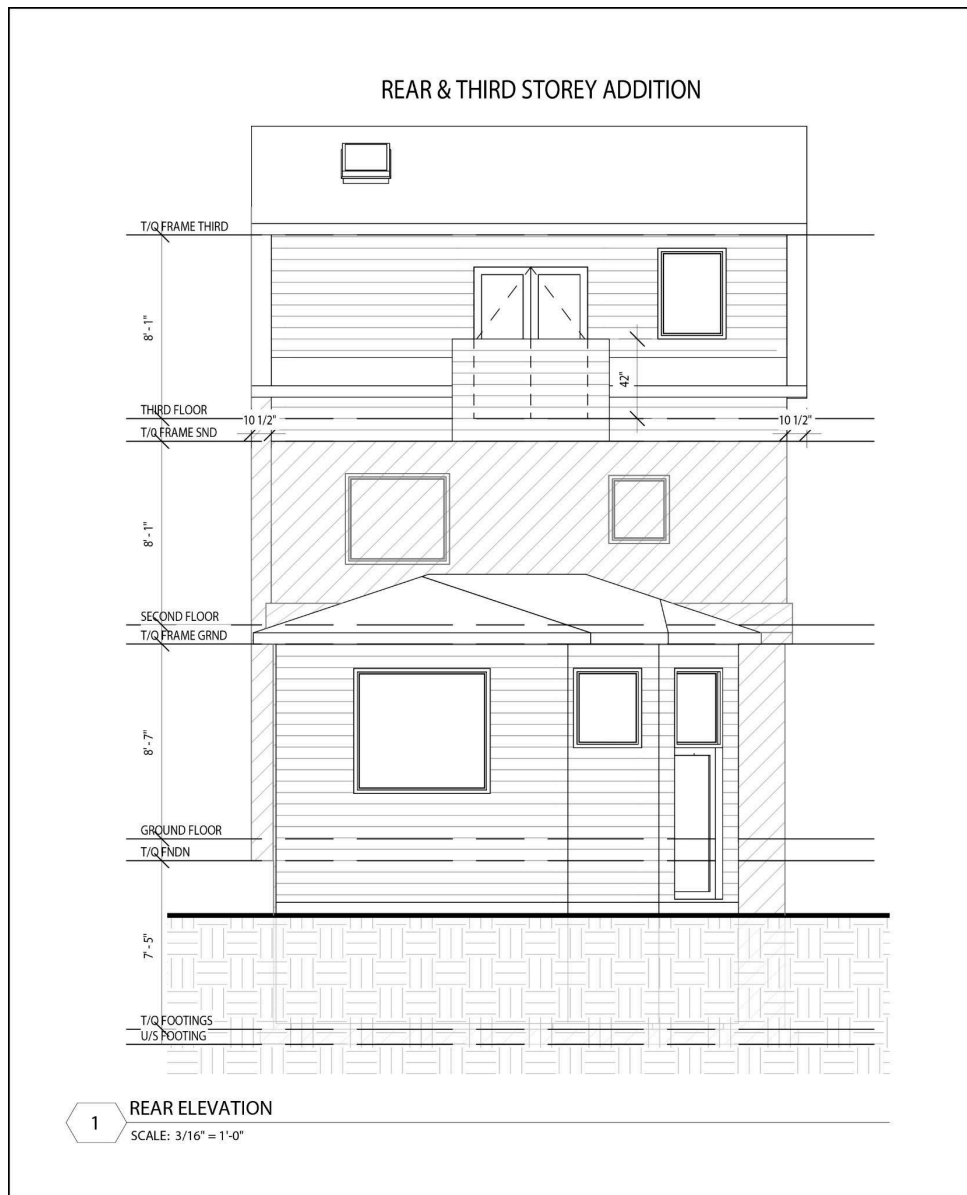


Fig.8. Rear elevations showing minimal windows on the rear addition elevation.

- 1.8 Rear Yards: Maintain rear yard amenity space that is generally consistent with the pattern of the neighbouring buildings in the neighbourhood. Avoid breaking an existing neighborhood pattern of rear yards by reducing required rear yard setbacks. It is important to note that in an evolving overlay designation the prescribed rear yard setback may not be consistent with the neighbourhood pattern. In this overlay, architectural considerations and articulation should be considered to address the discrepancy between existing and planned/future rear yard setbacks.

*Response: The proposal is desirable and appropriate for the development of the*

*property because it maintains a functional and generous rear yard amenity space that remains consistent with the established rear yard pattern in the neighbourhood. While a reduced rear yard setback is requested, the resulting rear yard condition continues to provide meaningful outdoor space and remains predominantly landscaped. The design provides a rear yard area of 68.76 m<sup>2</sup> (approximately 25.10% of the lot area), which meets the minimum rear yard area requirement of 25% of the lot area (68.48 m<sup>2</sup>). In addition, the rear yard soft landscaped area is 44.85 m<sup>2</sup> (approximately 65.23% of the rear yard area), which substantially exceeds the minimum requirement of 15% (10.31 m<sup>2</sup>). These provisions ensure the rear yard remains usable for outdoor amenity purposes and maintains adequate green space on the lot. The rear addition is modest in height (one storey) and located at the back of the house, which helps limit perceived massing at the rear and supports a rear yard condition that remains consistent with the character and function of rear yards in the neighbourhood.*



*Fig. 9. Rear and side yard photos showing wooden fencing along the lot lines, which helps enhance privacy.*

In summary, the one storey rear addition and third storey addition to the existing two storey dwelling represents a desirable and appropriate form of development. It provides a practical and sensitive enhancement to the dwelling, integrates well with the existing built form, and maintains compatibility with the character of the neighbourhood.

### **2.3. The variances maintain the intent of the Official Plan.**

The subject property is within the Inner Urban transect and is designated as Neighbourhood as per Schedule B2 of the Official Plan (2022). The property is also within the Mature Neighbourhood overlay as per the Zoning By-law 2008-250, as amended. It is approximately 750 m walking distance (11 minutes walk) from Beechwood Ave which is a Mainstreet Corridor, and about 800 m walking distance (11 minutes walk) from Hemlock Rd which is a Minor Corridor. Proposed changes are to decrease the rear yard setback and fireplace system (existing chimney) projection into the interior side yard. The following section features applicable excerpts from the Official Plan (2022) and responses.

#### **City of Ottawa Official Plan**

##### **2.2.4 Healthy and Inclusive Communities**

- 1) Encourage development of healthy, walkable, 15-minute neighbourhoods that feature a range of housing options, supporting services and amenities.

*Response: The subject property is well-located in an established neighbourhood well-suited for the transition to a 15-minute community, with residents having convenient proximity to basic amenities, services, and transportation. The property is within 15 - minute walking distance of a variety of amenities, such as:*

- *Windsor Park (350 m, 5-minute walk)*
- *Cedars & Co. Food Market (500 m, 7-minute walk)*
- *Shoppers Drug Mart (800 m, 8-minute walk)*
- *Quickie Convenience Store (400 m, 6-minute walk)*
- *Ottawa South Community Centre (400 m, 6-minute walk)*
- *Linda Thom Park (600 m, 8-minute walk)*
- *Ottawa Public Library - Sunnyside (700 m, 10-minute walk)*
- *TD Place (1.1 km, 15-minute walk)*
- *Schools (Hopewell Avenue Public School (500 m, 7-minute walk), Blyth Academy The Glebe (1 km, 14-minute walk))*
- *Additional amenities within 15-minute walking distance include banks, restaurants, and various bus stops.*

*Furthermore, the property is located within a 30-minute walk and 15 minute bike ride to other daily and weekly needs like Walmart Supercentre (19-min walk / 6-min bike ride), Whole Foods Market (16-min walk / 4-min bike ride), Cineplex Cinemas (19-min walk / 5-min bike ride), 396 Riverdale Ave (21-min walk / 7-min bike ride) and some other parks, restaurants, gyms, banks, and various bus stops.*

##### **4.7.2 Pursue an affordable and sustainable pattern of infrastructure development**

- 2) Development in Public Service Areas shall be on the basis of both public water and wastewater services (full services).

*Response: The proposal maintains a single detached dwelling and does not introduce any new units or intensification that would alter existing demands on municipal water or*



*wastewater infrastructure. The site is already fully serviced with public water and sewer, and the rear addition will continue to rely on the same full municipal servicing system. No off-site upgrades are required. As such, the proposal maintains the intended efficient and sustainable use of existing infrastructure, consistent with Policy 4.7.2.*

**5.2.1 Enhance or establish an urban pattern of built form, site design and mix of uses**

- 1) The Inner Urban Transect’s built form and site design includes both urban and suburban characteristics as described in Table 6. Its intended pattern is urban.

URBAN	SUBURBAN
Shallow front yard setbacks and in some contexts zero front yards with an emphasis on built-form relationship with the public realm	Moderate front yard setbacks focused on soft landscaping and separation from the right-of-way
Principal entrances at grade with direct relationship to public realm	Principal entrances oriented to the public realm but set back from the street
Range of lot sizes that will include smaller lots, and higher lot coverage and floor area ratios	Larger lots, and lower lot coverage and floor area ratios
Minimum of two functional storeys	Variety of building forms including single storey
Buildings attached or with minimal functional side yard setbacks	Generous spacing between buildings
Small areas of formal landscape that should include space for soft landscape, trees and hard surfacing	Informal and natural landscape that often includes grassed areas

*General Characteristics of Urban Built Form and Suburban Built Form and Site Design, Table 6, Official Plan.*

*Response: The proposal maintains the intent of the Official Plan policies for the Inner Urban Transect by reinforcing an urban pattern of built form that is consistent with the surrounding low-rise neighbourhood context. The existing dwelling’s established relationship to Riverdale Avenue is preserved: the front yard condition, entrance orientation, and overall streetscape rhythm remain unchanged, and the proposed third storey complies with the applicable maximum building height. The rear addition is located behind the principal façade and is screened from the public realm, so it does not alter the perceived scale of development along the street. The requested variances are limited in scope and do not undermine the planned urban fabric. Functional side yard separation is maintained, and the fireplace system setback variance relates to a small*



*projection along the interior side yard, associated with an existing condition dating to the original construction (pre-1958). As a result, the proposal continues to support the Official Plan’s intent to enhance or establish an urban pattern of built form and site design in the Inner Urban Transect, while remaining compatible with the existing neighbourhood character.*

**5.2.4 Provide direction to the Neighbourhoods located within the Inner Urban Transect**

- c) Provides for a low-rise built form, by requiring in Zoning a minimum built height of 2 storeys, generally permitting 3 storeys, and where appropriate, will allow a built height of up to 4 storeys to permit higher-density low-rise residential development.

Transect	Official Plan Policy Reference	Designation	Height Category and Details
Inner Urban Transect	5.2.3(1)	Hubs	Low-rise, Mid-rise and High-rise: minimum 3 storeys and maximum 40 storeys
	5.2.3(2)	Mainstreet Corridors	Low-rise and Mid-rise and High-rise: minimum 2 storeys and maximum 40 storeys dependent on road width and transition
	5.2.3(3)	Minor Corridors	Low-rise and Mid-rise: minimum 2 storeys and <del>maximum 4 storeys</del> <i>maximum of 6 storeys</i>
	5.2.4(1)	Neighbourhoods	Low-rise: minimum 2 storeys, generally permit 3 storeys, allow built height of up to 4 storeys where appropriate

*Minimum and Maximum Height Overview Based on Official Plan Policy, Table 7, Official Plan.*

*Response: The proposal maintains the intent of Official Plan Policy 5.2.4(1)(c) by providing a low-rise built form that aligns with the Inner Urban Neighbourhoods direction in Table 7, which contemplates a minimum of 2 storeys, generally permits 3 storeys, and allows up to 4 storeys where appropriate. The dwelling will be a three-storey building, consistent with this planned height range, and within the Zoning By-law height limit. The third-storey addition is designed as a modest intensification of an existing two-storey detached dwelling and is situated to maintain compatibility with the surrounding neighbourhood without any major impact on the front facade. Also, the one storey rear addition is located behind the principal facade, which helps to limit changes to the streetscape and preserves the prevailing low-rise character. Overall, the proposal represents a gentle evolution of the property that supports the Official Plan’s low-rise neighbourhood objectives while maintaining appropriate scale and transition.*

**2.4. The variances maintain the intent of the Zoning By-Law.**

The purpose of the R3 - Residential Third Density Zone is to:

- (1) allow a **mix of residential building forms** ranging from detached to townhouse dwellings in areas designated as General Urban Area in the Official Plan; (By-law 2012-334)
- (2) allow a number of other residential uses to provide additional housing choices

within the third density residential areas;

- (3) allow ancillary uses to the principal residential use to allow residents to work at home;
- (4) regulate development in a manner that is **compatible with existing land use patterns** so that the mixed dwelling, residential character of a neighbourhood is maintained or enhanced; and
- (5) permit different development standards, identified in the Z subzone, primarily for areas designated as Developing Communities, which promote efficient land use and compact form while showcasing newer design approaches.

The purpose of the Neighbourhood Zones is to:

- (1) Permit a **full range of housing options** and associated residential uses as contemplated within the Neighbourhoods designation of the Official Plan, and establish standards focused on regulating their built form and function.
- (2) Regulate density and maximum building height using the primary Neighbourhood Zones, with the N5 and N6 Zones denoting mid- and high-rise respectively.
- (3) Regulate elements of residential character, such as lot width and yard setbacks, using the N-subzones (A-F), with subzone A representing the most urban character and subzone F representing the most suburban character as defined in Table 6 of the Official Plan. These standards apply to all primary Neighbourhood Zones.
- (4) The mid- and high-rise zones (N5 and N6) also conditionally permit non-residential uses, so as to permit a range of services in proximity to permitted high-density residential areas to implement the 15-minute neighbourhood policies of the Official Plan.

Both R3 Zone and N3 Zone respectively include detached dwelling and dwelling unit as a permitted use. Detached Dwelling means a residential use building that contains only one principal dwelling unit or oversize dwelling unit, and Dwelling unit means a residential unit that is used or intended for use as a residential premises by one household and not more than three roomers or boarders; and contains no more than four bedrooms. The proposed development aligns with these definitions.

The rear yard setback exists primarily to preserve usable outdoor amenity space and, secondarily, to protect privacy for abutting properties. The proposed rear yard setback maintains this intent because the design continues to provide a functional and generous rear yard that meets the By-law's performance expectations for both amenity space and landscaping. Even with the requested reduction, the proposal provides a rear yard area of 68.76 m<sup>2</sup> (approximately 25.10% of the lot area), meeting the minimum rear yard area

requirement of 25% of the lot area, ensuring adequate outdoor amenity space is maintained. The rear yard remains largely landscaped, with 44.85 m<sup>2</sup> of the total 68.76 m<sup>2</sup> rear yard area provided as soft landscaping, representing approximately 65.23% and significantly exceeding the minimum required 15% (10.31 m<sup>2</sup>). The only portion of the rear yard not provided as soft landscaping is the area occupied by the existing accessory garage.

Privacy and separation are also maintained in the rear yard context. A lane separates the subject property from the lot to the rear at 35 Bellwood Avenue, creating an additional buffer of approximately 3.7 m. Privacy is further enhanced by the existing wooden fencing along the rear and side lot lines between the subject property and adjacent lots, as shown in Figure 9. When combined with the proposed rear yard setback of 6.87 m, the effective separation is approximately 10.57 m, which exceeds the minimum rear yard setback that would otherwise be required (8.16 m). As a result, the proposal continues to achieve the underlying intent of the rear yard setback provisions by preserving adequate outdoor amenity space and maintaining appropriate separation and privacy for neighbouring properties.

In addition, the requested relief is consistent with the City's evolving zoning framework. Under the new Zoning By-law (By-law 2026-50), Table 801B, (vii), (b) establishes a rear yard setback of 25% of lot depth, which is 6.80 m for the subject lot. The proposed rear yard setback of 6.87 m (approximately 25.24% of the lot depth) complies with this standard. Accordingly, no minor variance for the rear yard setback would be required under the new zoning by-law, further supporting that the proposal maintains the planning intent of the rear yard provisions.

The intent of the maximum fireplace system projection provision is to ensure that projecting elements remain secondary in scale, do not create undue encroachment into required yards, and maintain adequate separation from lot lines to protect safety, access for maintenance, and the general streetscape and neighbourhood character.

In this case, the reduced setback relates to an existing fireplace system/chimney projection that has been part of the dwelling since it was constructed prior to 1958 and is limited in extent along the side elevation. No new fireplace projection is being introduced closer to the lot line, and the proposal does not expand the building footprint toward the interior side lot line at this location. The relief is required only because the proposed third-storey addition triggers zoning review of an existing condition, while the overall built relationship along the side yard remains essentially unchanged. Given the modest degree of non-compliance and the fact that the projection remains a small, incidental building element rather than a primary wall, the variance continues to achieve the By-law's intent by maintaining an appropriate yard condition and avoiding any new or increased adverse impact on adjacent properties.

To conclude, the proposal is consistent with the Provincial Policy Statement 2024,



conforms to the policies of the City of Ottawa Official Plan, and complies with the City of Ottawa's Zoning By-law 2008-250 and Zoning By-law 2026-50 save and except the minor variances addressed in this report. The minor variances meet the four tests as required in Section 45(1) of the Planning Act. The proposed development represents appropriate and orderly development and constitutes good land use planning. Accordingly, it is recommended for approval.

**We request the Committee of Adjustment authorise the requested variances in accordance with the plans filed as they relate to the variances being requested.**

At this time we are submitting the following in support of the application:

- Completed application form for the minor variance application;
- Property owner's authorization for submission of the applications;
- Written confirmation from City Forestry that a TIR is not necessary;
- Site Plan showing the entirety of the proposed site;
- Elevations from all four sides of each proposed building;
- Survey plan of the entire property;
- Application fees.

When the notification signs are ready for this application please email the undersigned and we will arrange for their installation on the property.

Should you have any questions or require anything further, please do not hesitate to contact the undersigned at (613) 695 0192 or via email at [planning@p2concepts.ca](mailto:planning@p2concepts.ca).

**P-Squared Concepts Inc.**

**P-Squared Concepts Inc.**

A handwritten signature in black ink that reads "Amrinder Kaur".

A handwritten signature in black ink that reads "Yasaman Bahadori".

Amrinder Kaur, M.PL, CAPM ®  
Planner

Yasaman Bahadori, M.PL  
Planner



### Annexure - Performance Standard Review

<b>Zoning Provisions</b>	<b>Compliance (Existing zoning)</b>	<b>Required, Existing Zoning (By-law 2008-250)</b>	<b>Proposed</b>	<b>Required, New Zoning (By-law 2026-50) Final draft</b>	<b>Compliance (New zoning)</b>
Permitted uses	Yes	detached dwelling (S.159, (1))	residential addition	dwelling unit (S.801, (1))	Yes
Lot depth	-	-	27.21 m	-	-
Max. number of dwelling units	-	-	1 unit	2.5 per 100 m <sup>2</sup> of lot area, maximum 12 per building = 6 units (T.801A, (i), (c))	Yes
Min. lot area (m)	Yes	270 m <sup>2</sup> (T.160A, (V))	273.9 m <sup>2</sup>	-	-
Min. lot width (m)	Yes	9 m (T.160A, (IV))	10.05 m	7.5 m (T.801B, (i), (b) )	Yes
Max. building height (m)	Yes	10 m (T.160A, (VI)) 11m where a building has a peaked roof having a slope of 1 in 3 (4/12 pitch) or steeper (T.160B, (6))	9.69 m	11 m and three storeys (T.801A, (ii), (c))	Yes
Max. building depth(m)	-	-	~ 15 m	20 m, where the building contains no more than six dwelling units (S.801, (7), (f), (i))	Yes
Min. front yard setback (m)	Yes	3 m (T.160A, (VII))	7.17 m	4.5 m (T.801B, (iii), (b) )	Yes
Min. rear yard area (m <sup>2</sup> )	Yes	25% of the lot area = 68.48 m <sup>2</sup> (S. 144, (3), (a))	68.76 m <sup>2</sup> (25.10% of the lot area)	-	-
<b>Min. rear yard setback (m)</b>	<b>No</b>	<b>30% of the lot depth = 8.16 m (T. 144A, (iii))</b>	<b>6.87 m (25.25% of the lot depth)</b>	25% of lot depth= 6.80 m (T.801B, (vii), (b) )	Yes
Min. total int. side yard	Yes	1.80 m (T.160A, (X))	2.99 m (2.41 (south side)	1.80 m (T.801B, (iv), (b) )	Yes



setback (m)			+ 0.58 (north side))		
Min. int. side yard setback (m)	Yes (Ontario's Planning Act (via Bill 17 and Bill 60) permits as-of-right variations for setbacks, allowing a 10% reduction of min. setback requirements without a MV application.)	0.60 m (T.160A, (X))	0.58 m (north side), 2.41 m (south side)	0.60 m (S.801, (7), (c), (i))	Yes (Ontario's Planning Act (via Bill 17 and Bill 60) permits as-of-right variations for setbacks, allowing a 10% reduction of min. setback requirements without a MV application.)
location of soft landscaped area	–	–	All yards, excluding the areas noted in the next cell, are soft landscaped	Any part of any yard must be soft landscaped, except for those parts occupied by: <ul style="list-style-type: none"> <li>• accessory buildings and structures</li> <li>• permitted driveways, parking aisles and parking spaces</li> <li>• permitted driveways, parking aisles and parking spaces</li> <li>• etc(refer to the section) (S.802, (9))</li> </ul>	
Min. front yard soft landscaping (m <sup>2</sup> )	Yes	35% of the FYA = $35 * 72 \text{ m}^2 / 100 = 25.2 \text{ m}^2$ (T. 139(1))	30.94 m <sup>2</sup>	Min. Aggregated Soft Landscaping: 35% of the front yard= 25.2 m <sup>2</sup> (T.802, (c), (ii) and S.802, (11))	Yes
Min. rear yard soft landscaping (m <sup>2</sup> )	Y	15% of the RYA= $15 * 68.76 / 100 = 10.31 \text{ m}^2$ (S. 139, (7))	44.85 m <sup>2</sup>	35 m <sup>2</sup> (S.802, (12), (a), (i))	Y
<b>Max. Extent of Chimney, chimney box and fireplace</b>	<b>No</b>	<b>1 m , not closer than 0.6 m to a lot line (T.65, (1), (II))</b>	<b>0.26 m to the interior side lot line (north side)</b>	<b>1 m , not closer than 0.6 m to a lot line (For fireplace systems) (S.204 (11),</b>	<b>No</b>



<b>box projection into Yards (m)</b>				<b>(1), (a), (i)</b> and S.204, (10), (a), (ii)	
Max. Extent of Eaves projection into Yards (m)	Yes	1 m, not closer than 0.3 m to a lot line (T.65, (2), (II))	0.31 m	1 m, not closer than 0.3 m to a lot line (S.204, (10), (a), (i and ii))	Yes