

PROPERTY DESCRIPTION:
Legal Description: PART 1 - PLAN OF OF LOT 3
EAST FORWARD AVE.
REGISTERED PLAN 35
CITY OF OTTAWA
Base on survey prepared by Annis, O'Sullivan, Vollebek Ltd.

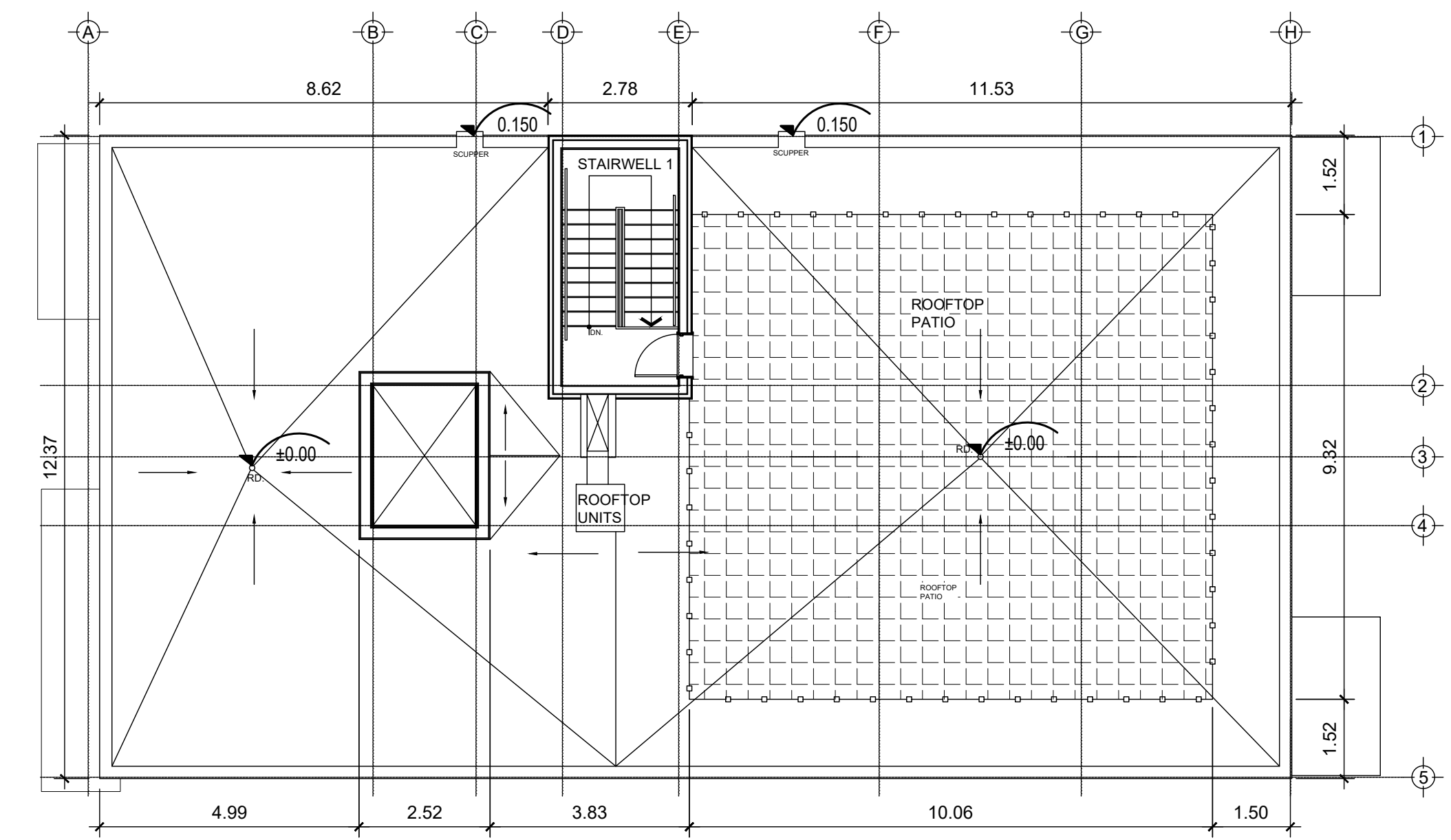
DEVELOPMENT DATA:
Site Zoning Designation: R4UD
Site area: 504.46 m²
Frontage as per survey: 15.34 m.
Depth as per survey: 32.91 m.
Building Area (Footprint): 285.31 m² (57% lot coverage)
Gross Floor Area : 1070.96 m²

City of Ottawa Zoning By-law No. 2008-250
and Revised By-law No. 2015-228

R4UD	REQUIRED	PROPOSED
LOW RISE APARTMENT 4 STOREY, 18 UNIT		
MINIMUM LOT WIDTH	15m	15.34m
MINIMUM LOT AREA	450m ²	504.46m ²
MAXIMUM BUILDING HEIGHT	14.5m	13.93m
MINIMUM FRONT YARD SETBACK	(1.57+3.43)/2=2.5m	2.50m
MINIMUM CORNER SIDE YARD SETBACK	3m	N/A
MINIMUM REAR YARD SETBACK	7.5m	7.5m
MINIMUM INTERIOR SIDE YARD SETBACK	1.5m	1.5m
LANDSCAPE AREA	30%	43%
SOFT LANDSCAPE AT FRONT YARD	20% OF FRONT YARD	23% OF FRONT YARD
SOFT LANDSCAPE AT REAR YARD	50% OF REAR YARD REAR YARD AREA: 79.8 m ²	51% OF REAR YARD
FENESTRATION ON FRONT WALL	25%	30%
BALCONIES AT FRONT YARD	1/UNIT (FACING STREET)	1/UNIT (FACING STREET)
Bicycle Parking (0.5/unit)	18 UNIT @0.5=9	18
Vehicle Parking	Visitor 18 -12 =6@0.1=0.6 Tenant 0	1 0

AVERAGE GRADE= (62.48+62.55+63.77+63.41)/4=63.05

1 SITE PLAN
Scale: 1/100



2 ROOF PLAN
Scale: 1/100

LEGEND:

- ENTRANCE
- PROPERTY LINE
- SETBACK LINE
- REMOVE EXISTING WALL
- NEW BUILDING
- LANDSCAPE AREA
- INTERLOCKING WALKWAY
- RIVER ROCK
- RETAINING WALL

0 1 2 3 4 5 6 7 8 9 10 12
0.5

CLIENT:
IN HARMONY DEVELOPMENTS
 IN HARMONY

SURVEYOR:
ANNIS, O'SULLIVAN, VOLLEBEKK Ltd.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850
Fax: (613) 727-1079

PLANNING:

CIVIL:

ARCHITECT:
SUSAN D. SMITH ARCHITECT
941 MERIVALE RD
Ottawa, Ontario
613-722-5327
S.SMITH@SDSARCH.CA

No.	REVISION	DATE
2	REISSUED FOR SPC	MAR. 11/26
1	REISSUED FOR SPC	FEB. 18/26
0	ISSUED FOR SPC	DEC. 10/25

NOTE:
1. All dimensions are to be checked on site. Discrepancies or ambiguities should be reported prior to work on site or ordering materials.
2. All work to comply with Ontario building code.
3. All dimensions include thickness of gypsum board on stud walls.

NEW APARTMENT BUILDING
133 FORWARD AVE.
OTTAWA, ONT.
K1Y 1L4

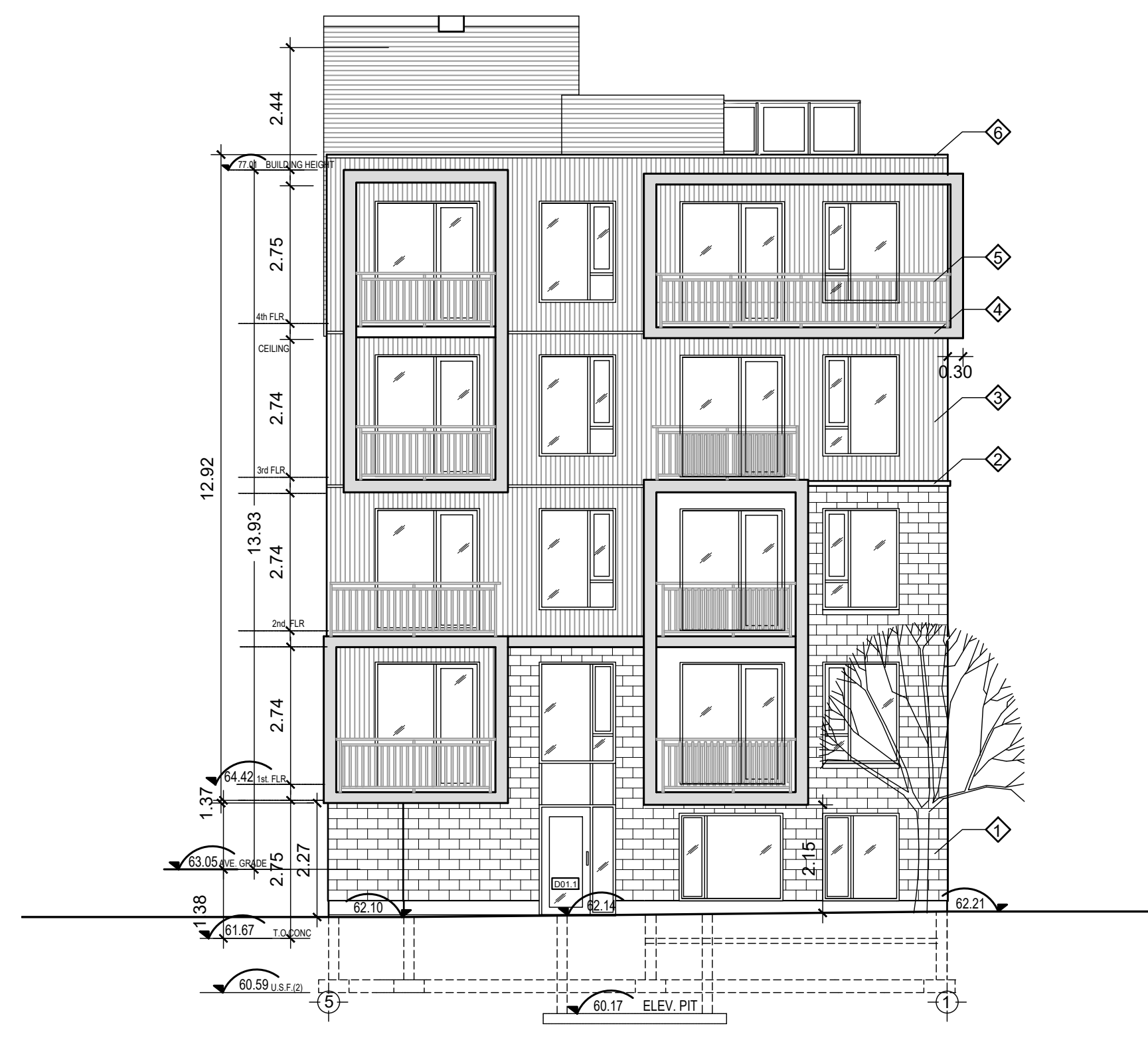
SITE PLAN

Scale	AS NOTES
Drawn	TD
Checked	SDS
Date	OCT/2025
Job #	2561

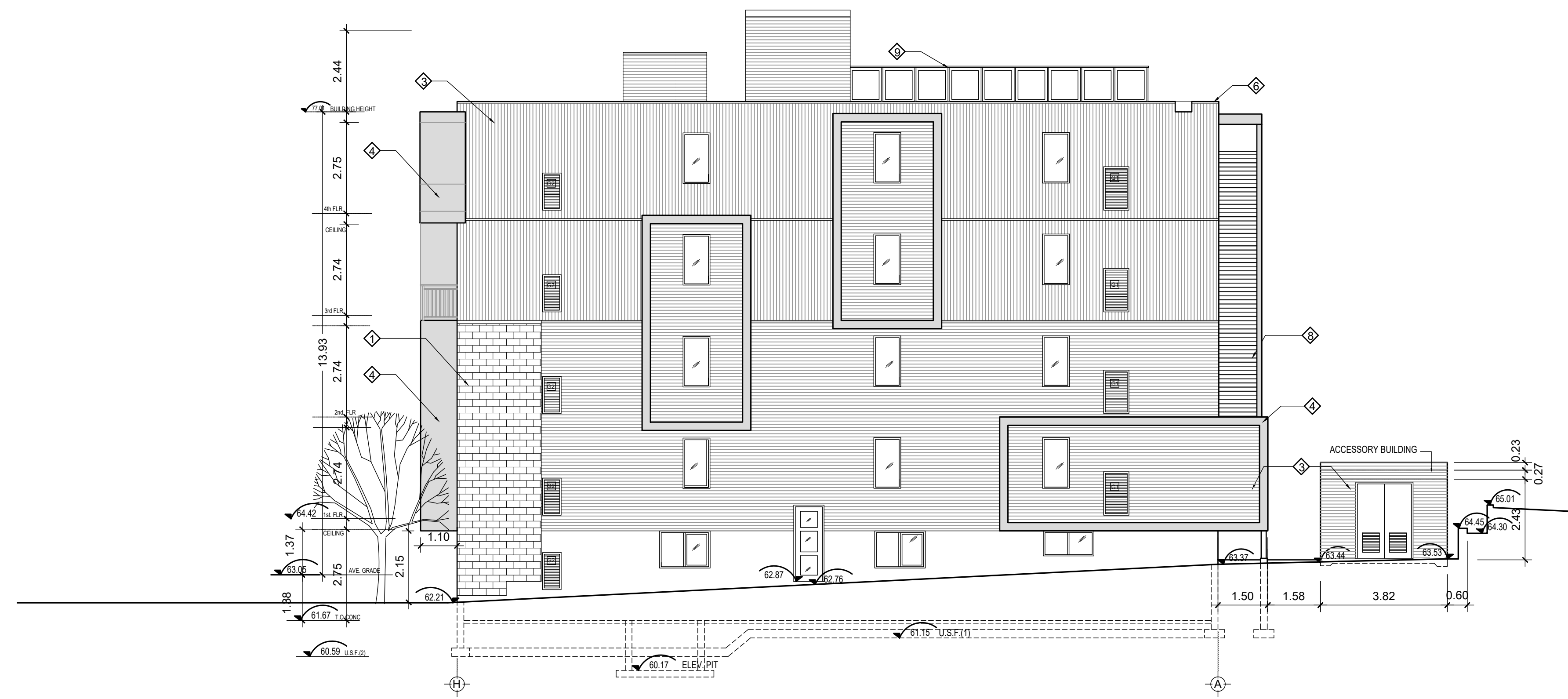
SP

#19414

D07-12-25-0174

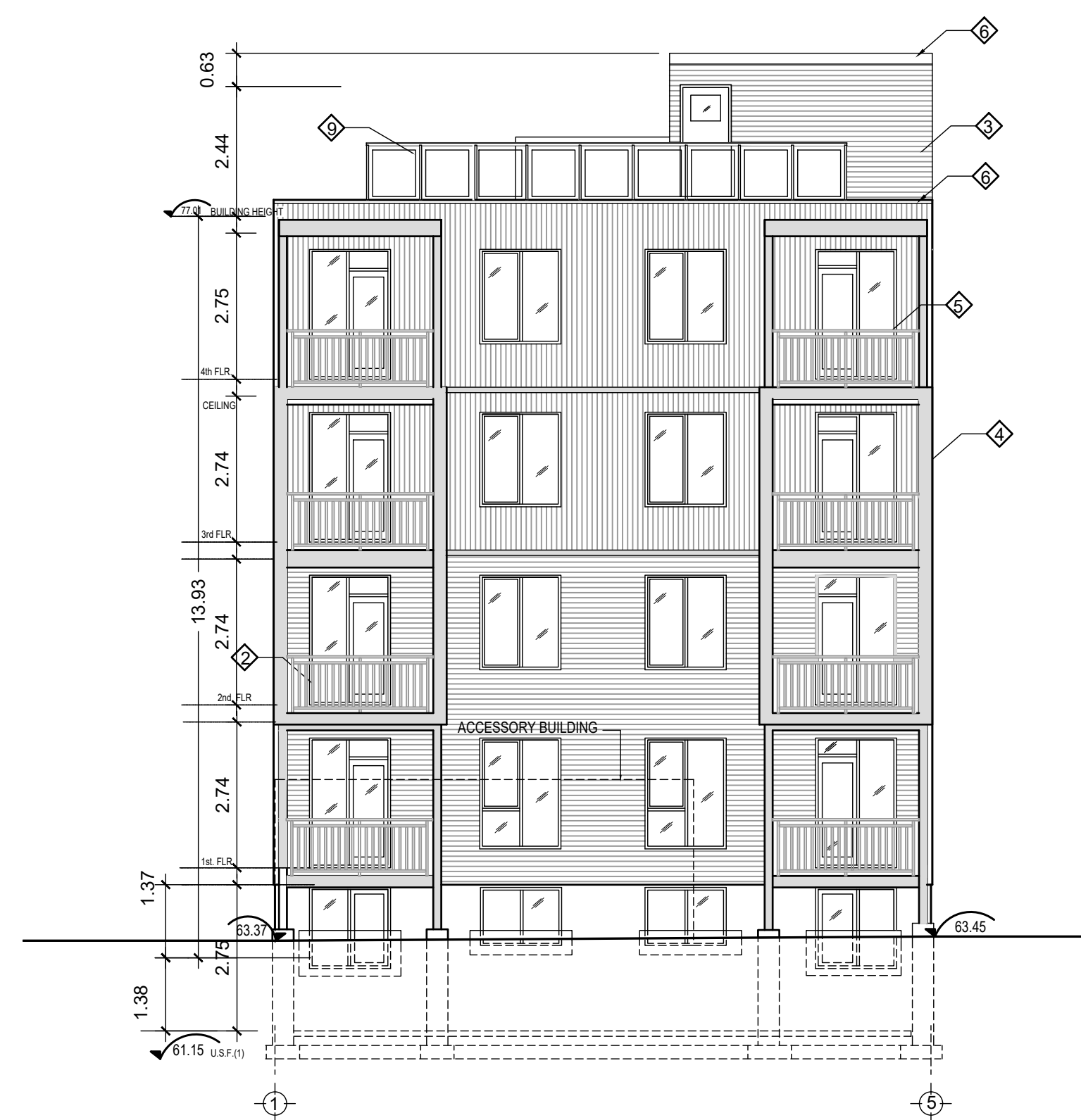


1 WEST ELEVATION
EL SCALE: 1/100

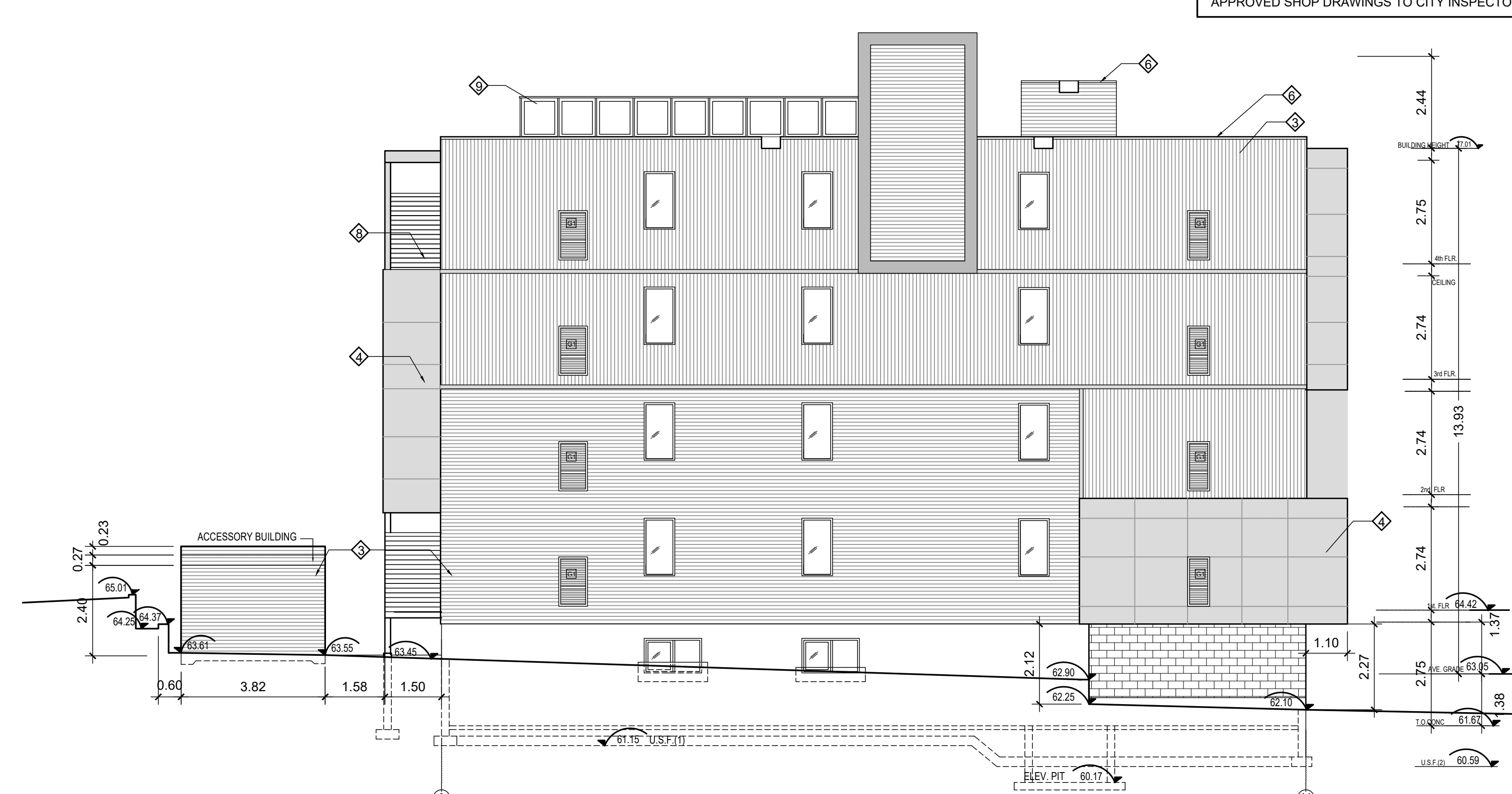


2 SOUTH ELEVATION
EL SCALE: 1/100

- DRAWINGS NOTES:
- 1/ MASONRY CLADDING
 - 2/ MASONRY SILL
 - 3/ DISTINCTION STEEL SIDING BLACK - SMOKED BLACK
 - 4/ JAMES HARDIE PANELS - LIGHT GREY
 - 5/ METAL HANDRAIL - LIGHT GREY
 - 6/ ALUMINUM CAPPING - BLACK
 - 7/ VERTICAL METAL BAR - WOOD TEXTURE
 - 8/ OPAQUE SCREENING
 - 9/ GLASS GUARDRAIL. PROVIDE PRE-ENG. APPROVED SHOP DRAWINGS TO CITY INSPECTOR



3 EAST ELEVATION
EL SCALE: 1/100



4 NORTH ELEVATION
EL SCALE: 1/100

CLIENT:
IN HARMONY DEVELOPMENTS
IN+HARMONY

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Nepean, Ont. K2E 7S6
Phone: (613) 727-0850
Fax: (613) 727-1079

PLANNING:
HP URBAN inc.

CIVIL:
exp.

ARCHITECT:
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K1Y 1L4

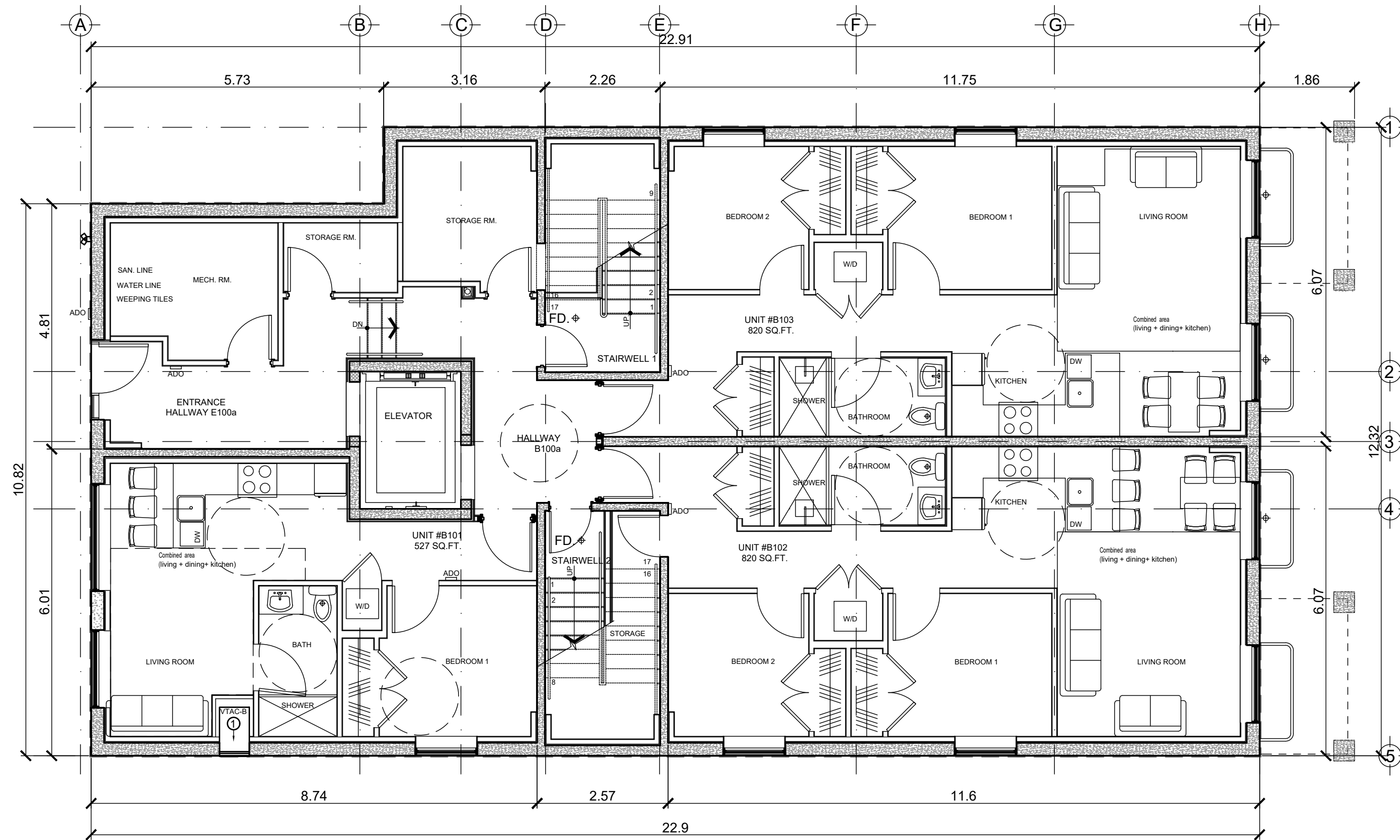
ELEVATIONS

Scale	AS NOTES
Drawn	TD
Checked	SDS
Date	OCT/2025
Job #	2561

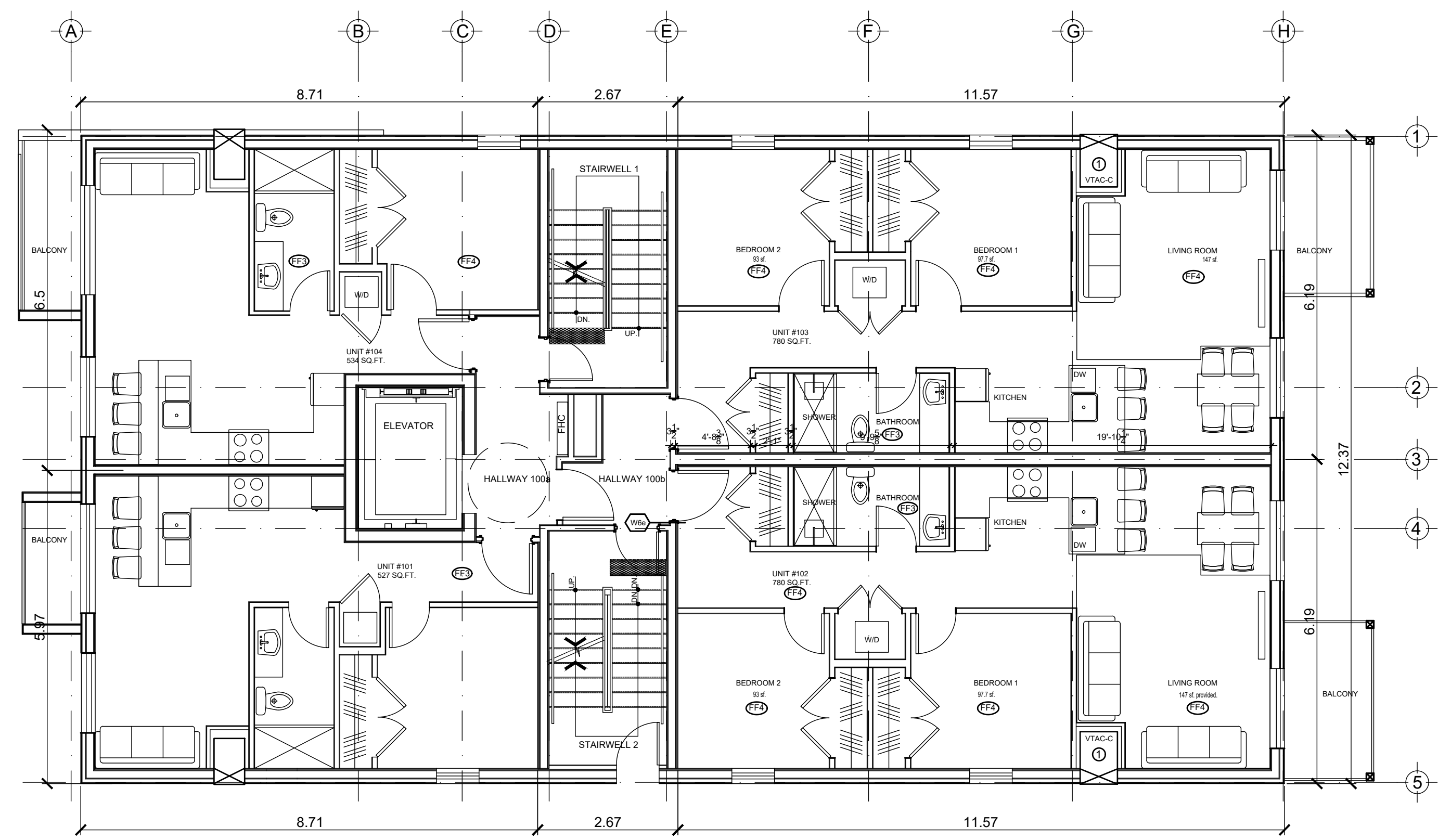
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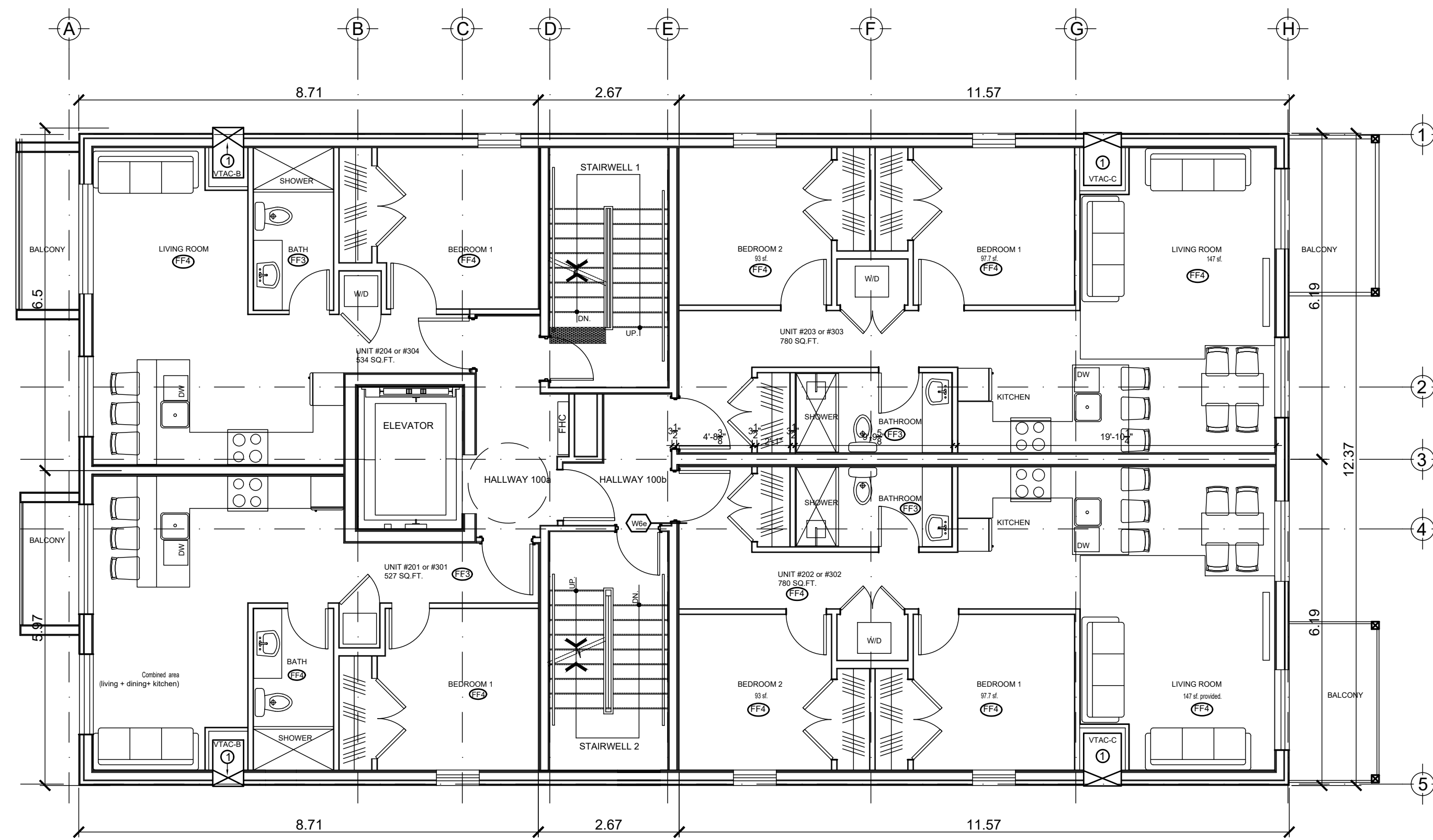
D07-12-25-0174



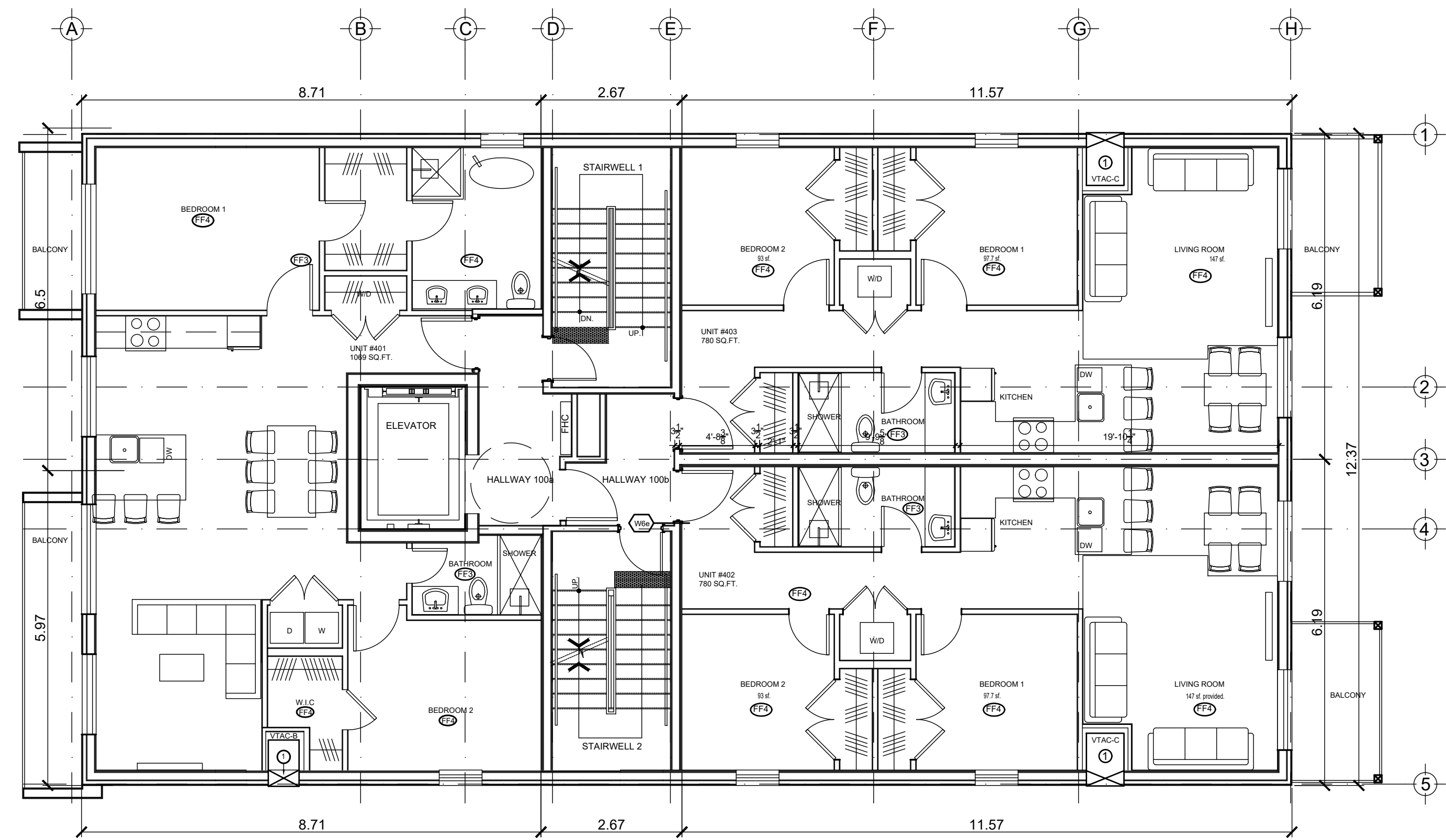
1 BASEMENT PLAN
A1 SCALE: 1/75



2 1ST. FLOOR PLAN
A1 SCALE: 1/75

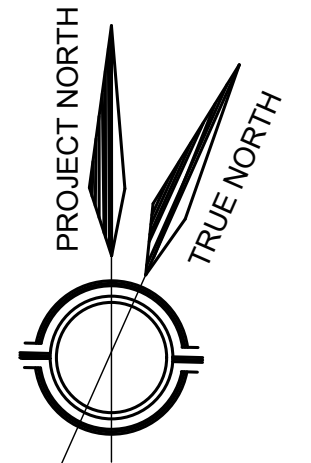


3 2nd&3rd FLOOR PLAN
A1 SCALE: 1/75



4 4th FLOOR PLAN
A1 SCALE: 1/75

CLIENT:
IN HARMONY DEVELOPMENTS



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CIVIL:
exp.

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Ottawa, Ontario
613-722-5327
S.SMITH@SDSARCH.CA

3		
2		
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0	ISSUED FOR SPC	OCT. 30/25
No.	REVISION	DATE

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FLOOR PLANS

Scale	1/75
Drawn	TD
Checked	SDS
Date	OCT./2025
Job #	2025

A1

ELEVATION NOTES

1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES

1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.
4. Underground services and inverts are taken from the City of Ottawa Engineering Drawings D-08-11, D-08-16 and Plan No. 3317 (Sheets 5 of 10 and 6 of 10).

SURVEYOR'S REAL PROPERTY REPORT

PART 1 Plan of
LOT 3
East Forward Avenue
REGISTERED PLAN 35
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1 : 150
0 4.5 9 13.5 18 22.5 27 31.5 36 Metres

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate

- I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the regulations made under them.
 2. The survey was completed on the 10th day of March, 2026.

March 12th, 2026
Date
Michael L. Falardeau
Ontario Land Surveyor

PART 2
THIS PLAN MUST BE READ IN CONJUNCTION WITH SURVEY REPORT DATED: MARCH 12, 2026

ANNIS, O'SULLIVAN, VOLLEBEK LTD. grants to 133 EYED LTD., "The Client", their solicitors, mortgagees, and other related parties, permission to use original, signed, sealed copies of the Surveyor's Real Property Report in transactions involving The Client.

Notes & Legend

Denotes	
—□—	Survey Monument Planted
—■—	Survey Monument Found
—SIB—	Standard Iron Bar
—SSIB—	Short Standard Iron Bar
—IB—	Iron Bar
—IB#—	Round Iron Bar
—(WIT)—	Witness
—Meas.—	Measured
—(AOG)—	Annis, O'Sullivan, Vollebek Ltd.
—(P1)—	Registered Plan 35
—(P2)—	Plan 5R-12807
—(P3)—	Plan 5R-5065
—(P4)—	Plan 4R-4381
—(P5)—	Carleton Condominium Plan No. 232
—(P6)—	(AOG) Records
—(N)—	Water Valve
—(W)—	Maintenance Hole (Unidentified)
—(MH)—	Maintenance Hole (Storm Sewer)
—(MHS)—	Maintenance Hole (Sanitary)
—OHW—	Overhead Wires
—CB—	Catch Basin
—CBI—	Catch Basin Inlet
—CRW—	Concrete Retaining Wall
—BF—	Board Fence
—UP—	Utility Pole
—AN—	Anchor
—D—	Diameter
—Elev.—	Location of Elevations
—Top of Concrete Curb—	Top of Concrete Curb Elevation
—Top of Wall—	Top of Wall Elevations
—C/L—	Centreline
—	Property Line
—ST—	Underground Storm Sewer
—S—	Underground Sanitary Sewer
—W—	Underground Water
—B—	Underground Bell
—G—	Underground Gas
—Fdn.—	Foundation
—U/S—	Underside
—T/G—	Top of Grate
—Inv.—	Invert

Bearings are grid, derived from the easterly limit of Forward Avenue shown to be N22°49'50"W on Plan 5R-12807 and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

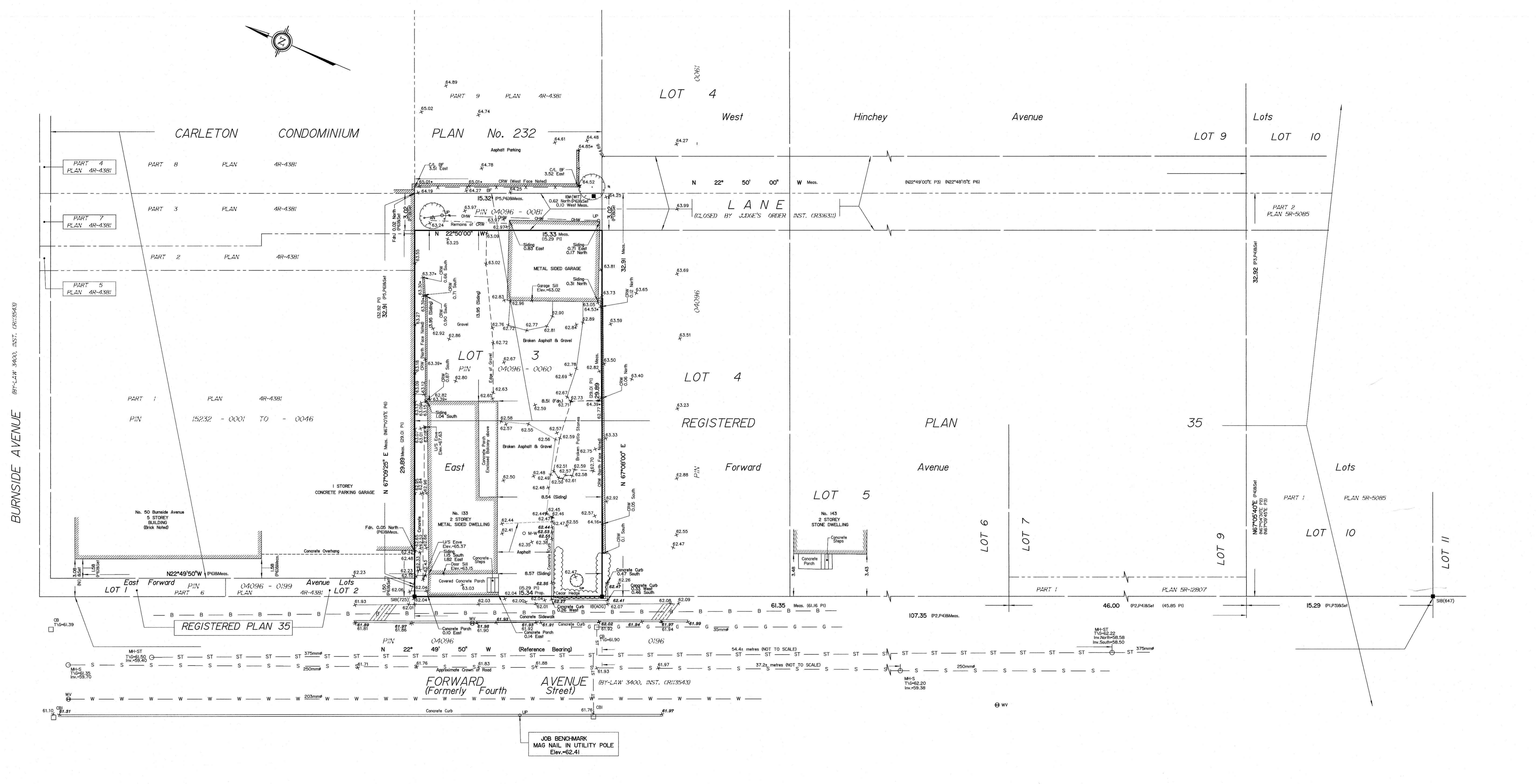
For bearing comparisons, a rotation of 00°00'50" counter-clockwise was applied to bearings on (P6).

Topographic data was collected under Winter Conditions. Snow cover and ice preclude determining location and elevation of some topographical data that is otherwise visible.

ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
V-130481

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29 (3).

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ANNIS, O'SULLIVAN, VOLLEBEK LTD.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: info@anniso.com
Reg. No. 9995-P-133793-TD 11.3 PL 35 G.F.



JOB BENCHMARK
MAG NAIL IN UTILITY POLE
Elev. = 62.41

V:\2026\130481\130481-133793-11.3 PL 35 G.F. 2026