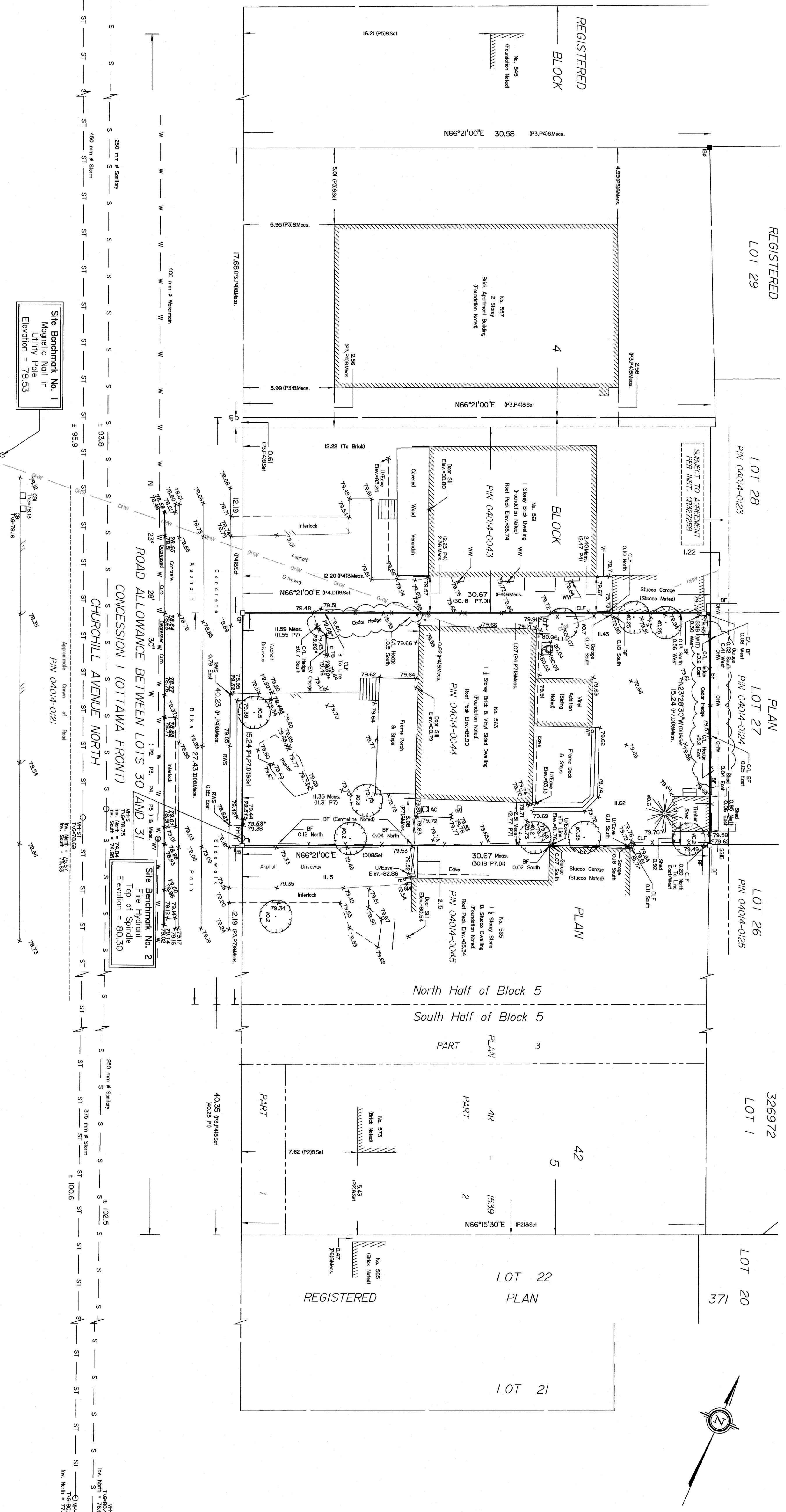


CLARE STREET
(DEDICATED AS STREET BY BY-LAW 23-73, INST. NO. 626816)



TOPOGRAPHIC PLAN OF SURVEY OF
PART OF BLOCK 5
REGISTERED PLAN 42
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebek Ltd.
Scale 1 : 150
DISTANCES AND COORDINATES SHOWN ON THIS PLAN
ARE IN METRES AND CAN BE CONVERTED TO FEET BY
DIVIDING BY 0.3048.

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveyors Act and the regulations made under them.
2. The survey was completed on the 30th day of October, 2025.

Date: 04/31/2025
Jannie Leslie
Ontario Land Surveyor

Notes & Legend

- Denotes
- Survey Monument Planted
- Survey Monument Found
- Round Iron Bar
- Mess.
- MSB
- Short Standard Iron Bar
- Concrete Pin
- Witness
- Registered Plan 42
- Plan 42-1539
- (AOI) Plan Dated August 14, 1987
- (P1) (1287) Plan Dated March 15, 1990
- (P2) (1287) Plan Dated June 5, 1995
- (P3) (647) Plan Dated May 28, 1991
- (P4) (647) Plan Dated July 28, 1996
- (P5) N473082
- (P6) Maintenance Hole (Storm Sewer)
- (P7) Maintenance Hole (Sanitary)
- (P8) Valve Chamber (Watermain)
- (P9) Valve Chamber (Watermain)
- (P10) Undergound Storm Sewer
- (P11) Undergound Sanitary Sewer
- (P12) Undergound Water
- (P13) Utility Pole
- (P14) Anchor
- (P15) Catch Basin Inlet
- (P16) Location of Elevations
- (P17) Top of Concrete Curb Elevation
- (P18) Top of Retaining Wall Elevation
- (P19) Fire Hydrant
- (P20) Water Valve
- (P21) Top of Gate
- (P22) Gas Meter
- (P23) Unidentified Terminal Box
- (P24) Bollard
- (P25) Chain Link Fence
- (P26) Board Fence
- (P27) Vinyr Fence
- (P28) Underside of Eave
- (P29) Stone Retaining Wall
- (P30) Timber Retaining Wall
- (P31) Window Well
- (P32) Electric Vehicle
- (P33) Gate
- (P34) Air Conditioner
- (P35) Centimetre
- (P36) Wooden Pole
- (P37) Deciduous Tree
- (P38) Coniferous Tree
- (P39) Invert
- (P40) Diameter

THIS PLAN IS NOT VALID UNLESS
IT IS AN UNRECORDED ORIGINAL
COPY IN ACCORDANCE WITH
REGULATION 1028, SECTION 29 (3).
ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-117273

ANNIS, O'SULLIVAN, VOLLEBEK LTD.
14 Concession Road, Suite 500
Ottawa, Ontario K1H 8L9
Phone: (613) 727-0550 / Fax: (613) 727-1079
Email: info@annis-osullivan.com

ELEVATION NOTES
1. Elevations shown are geoidetic and derived from LRT Control Monument 2016-0-105, having a published elevation of 80.143 metres and are referred to the CGVD28 geoidetic datum.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. Underground utility data, sanitary and storm sewer grades and inverts were compiled from the City of Ottawa Geomatics Interactive Map and City of Ottawa drawing 1650836252.
4. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Bearings are grid, derived from Can-Nat 2016 Real Time Network GPS observations, MTM Zone 9 (79°30' West Longitude) NAD-83 (original).
For bearing comparisons, a rotation of 00°03'30" counter-clockwise was applied to bearings on plans P2, P3, P4 & P5.

Site Benchmark No. 1
Magnetic Nail in
Utility Pole
Elevation = 78.533

Site Benchmark No. 2
Fire Hydrant
Top of Spindle
Elevation = 80.30

CLIENT:
 ZIAD MAKDESSI
 565 CHURCHILL AVE. N
 OTTAWA, ONT. K1Z 5B6

SUSAN D. SMITH ARCHITECT
 941 MERIVALE RD
 Ottawa, Ontario
 613-722-5327
 S.SMITH@SDSARCH.CA

No.	REVISION	DATE
5		
4		
3		
2		
1	ISSUED FOR C.O.A.	MAR. 23/26
0	ISSUED FOR REVIEW	MAR. 17/26

NOTE:
 1. All dimensions are to be checked on site. Discrepancies or ambiguities should be reported prior to work on site or ordering materials.
 2. All work to comply with Ontario building code.
 3. All dimensions include thickness of gypsum board on stud walls.

NEW MIXED USE BUILDING
 563 CHURCHILL AVE. N
 OTTAWA, ONT.
 K1Z 5E6

ELEVATIONS

Scale	1/150
Drawn	TD
Checked	SDS
Date	DEC/2025
Job #	2575

A2



1
A2 WEST ELEVATION
 SCALE: 1/150



2
A2 SOUTH ELEVATION
 SCALE: 1/150

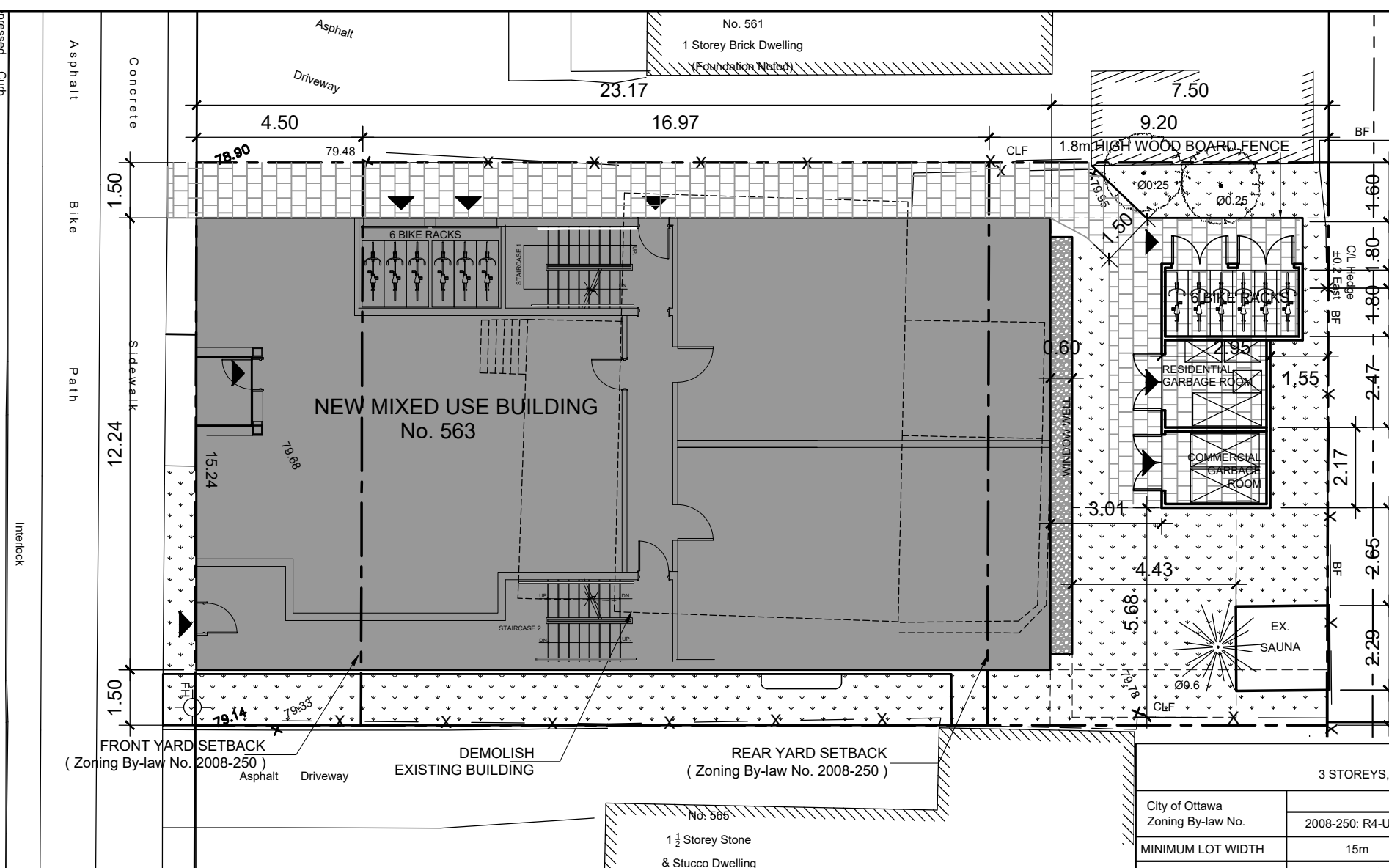


3
A2 EAST ELEVATION
 SCALE: 1/150



4
A2 NORTH ELEVATION
 SCALE: 1/150

CHURCHILL AVENUE NORTH

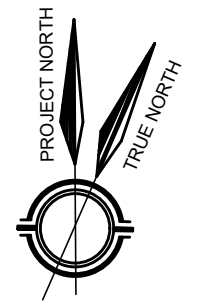


LEGEND:

- ENTRANCE
- PROPERTY LINE
- SETBACK LINE
- REMOVE EXISTING WALL
- NEW BUILDING
- LANDSCAPE AREA
- INTERLOCKING WALKWAY
- RIVER ROCK

0 1 2 3 4 5 6 7 8 9 10
0.5

CLIENT: **ZIAD MAKDESSI**
 565 CHURCHILL AVE. N
 OTTAWA, ONT. K1Z 5B6



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5		
4		
3		
2		
1	ISSUED FOR C.O.A.	MAR. 23/26
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No.	REVISION	DATE

City of Ottawa Zoning By-law No.	REQUIRED		PROPOSED
	2008-250: R4-UD [2684]-c	2026-50: CM1[2684]	
MINIMUM LOT WIDTH	15m	None	15.24m
MINIMUM LOT AREA	450m ²	None	467.41m ²
MAXIMUM BUILDING HEIGHT	14.5m	15m	10m
MINIMUM FRONT YARD SETBACK	4.5m	0m (AS PER ZONE CM1) 4.5m (AS PER EXCEPTION [2684])	0m (REQ. M.V.)
MINIMUM CORNER SIDE YARD SETBACK	3m	3m	N/A
MINIMUM REAR YARD SETBACK	9.20m (30% LOT DEPTH)	7.5m	7.5m (REQ. M.V.)
MINIMUM REAR YARD AREA	116.85m ² (25% OF LOT AREA)	N/A	114.63 m ² (24.5% OF LOT AREA) (REQ. M.V.)
MINIMUM INTERIOR SIDE YARD SETBACK	1.5m	1.5m	1.5m
LANDSCAPE AREA	30%	N/A	33%
SOFT LANDSCAPE AT FRONT YARD	None	None	None
SOFT LANDSCAPE AT REAR YARD	50% OF REAR YARD (REAR YARD AREA:114.23m ²)	N/A	50% OF REAR YARD (PROVIDED: 59.5m ²)
AGGREGATED RECTANGULAR AREA	25m ²	N/A	25m ²
AMENITY SPACE	N/A	6 m ² /unit @12=72 m ²	REAR YARD: 48 m ² (COMMON AREA) BALCONIES: 44 m ²
FENESTRATION ON FRONT WALL	25%	25%	45%
RECESSED FRONT WALL	20%	N/A	35%
Bicycle Parking	12 UNITS @0.5=6	LONG-TERM: 12 UNITS @1=12	LONG-TERM: 12
Vehicle Parking	0	0	0

NOTE:

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- All dimensions include thickness of gypsum board on stud walls.

NEW MIXED USE BUILDING
563 CHURCHILL AVE. N
 OTTAWA, ONT.
 K1Z 5E6

SITE PLAN

Scale	1/150	A1
Drawn	TD	
Checked	SDS	
Date	DEC/2025	
Job #	2575	

