

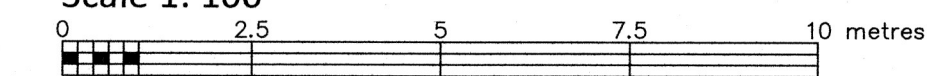
**Committee of Adjustment
Received | Reçu le**
2026-03-23
**City of Ottawa | Ville d'Ottawa
Comité de dérogation**

TOPOGRAPHIC PLAN OF SURVEY OF

**ALL OF LOT 14
(WEST SIDE OF MELBOURNE AVENUE)
AND PART OF LOT 14
(EAST SIDE OF ROOSEVELT AVENUE)
REGISTERED PLAN 235
CITY OF OTTAWA**

FARLEY, SMITH & DENIS SURVEYING LTD. 2025

Scale 1: 100



Metric Note

Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

Bearing Note

Bearings hereon are grid bearings derived from the Can-Nal Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°44'55" clockwise was applied to bearings on P2.

For bearing comparisons, a rotation of 0°44'15" clockwise was applied to bearings on P3 & P4.

Elevation Notes

- Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 -1978.
- It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

Utility Notes

- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
- Only visible surface utilities were located.
- Underground utility data derived from GeoOttawa.
- A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.
- Not all overhead wires/transformers adjacent to the property have been located, the nearest overhead wire locations are shown on the plan.

Notes & Legend

- | | |
|---------|--|
| □ | Denotes Survey Monument Planted |
| — | Survey Monument Found |
| SIB | Standard Iron Bar |
| SSIB | Short Standard Iron Bar |
| IB | Iron Bar |
| IBB | Round Iron Bar |
| CC | Cut Cross |
| (Wit) | Witness |
| Meas | Measured |
| (P1) | Registered Plan 235 |
| (P2) | Plan by (1692) dated January 9, 2015 (File No. 531-14) |
| (P3) | Plan 5R-11711 |
| (P4) | Plan by (1319) dated September 20, 1984 (Ref. No. 11-235 Np) |
| (P5) | Plan 5R-7591 |
| (P6) | Plan 4R-9309 |
| (P7) | Plan by (AOG) dated February 16, 2012 (Job No. 11413-11) |
| ○ MHS | Maintenance Hole (Sanitary) |
| — s | Underground Sanitary Sewer |
| — w | Underground Water |
| — | Overhead Wires |
| — | Utility Pole |
| — | Fire Hydrant |
| — | Gas Meter |
| — | Air Conditioner |
| — | Diameter |
| — | Chain Link Fence |
| — | Board Fence |
| — | Concrete Retaining Wall |
| — | Stone Retaining Wall |
| — | Timber Retaining Wall |
| — | Top of Grate |
| — | Underside of Eave |
| — | Top of Foundation |
| — | Centreline |
| — | Not to Scale |
| + 65.00 | Location of Elevations |
| + 65.00 | Top of Retaining Wall Elevation |
| — | Property Line |
-
- | | |
|---|--|
| ○ | Deciduous Tree - The Symbol shown denotes location and trunk diameter only. Size of its root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan. |
| ★ | Coniferous Tree - The Symbol shown denotes location and trunk diameter only. Size of its root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan. |

Site Area=1137.0 sq.m.

Surveyor's Certificate

- I certify that:
- This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.
 - The survey was completed on the 13th day of November, 2025.

Nov. 17/25
Date
Daniel Robinson
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-120468

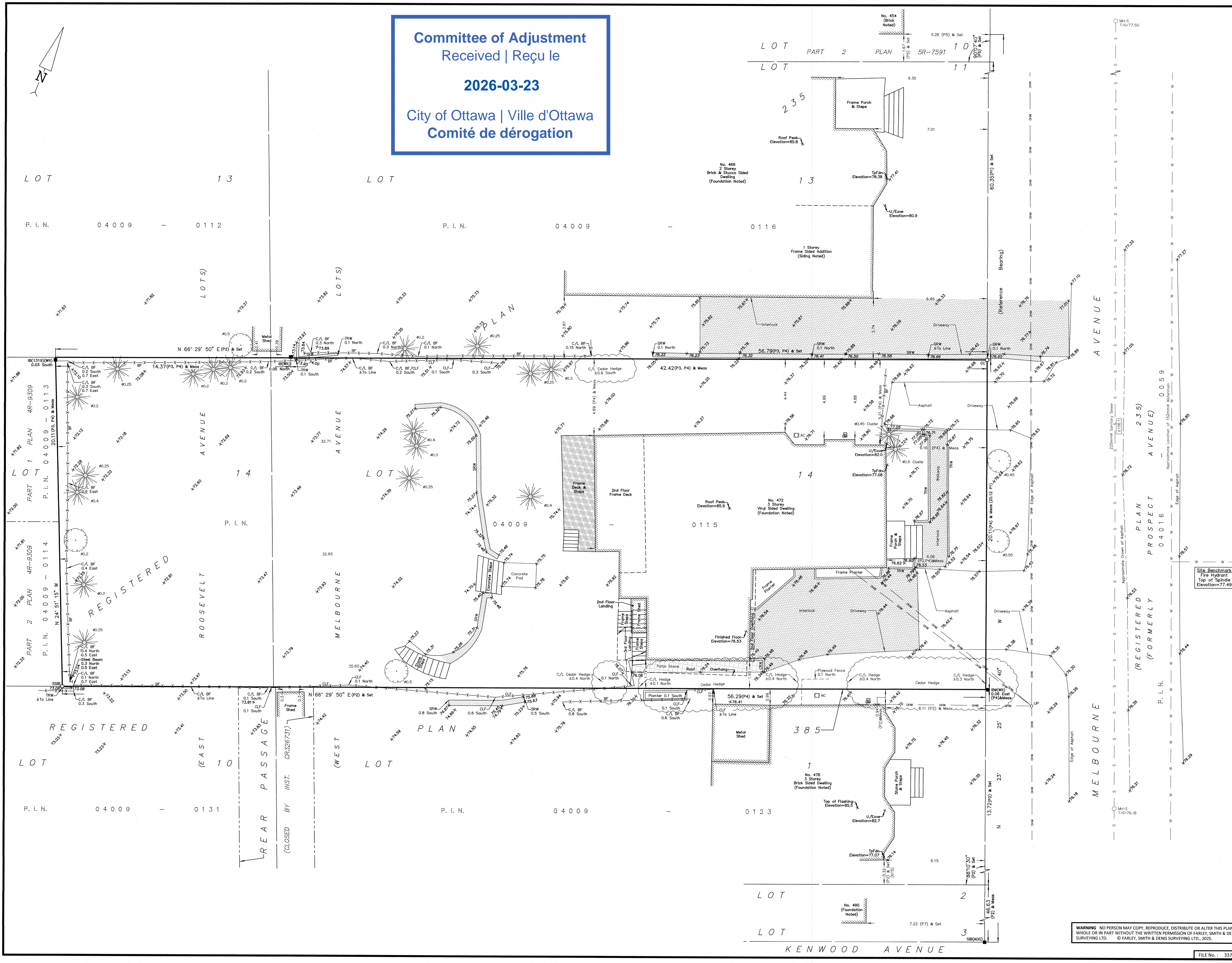
FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS
CANADA LAND SURVEYORS
Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6
TEL: (613) 727-8226 E-mail: info@fstdsurveys.ca

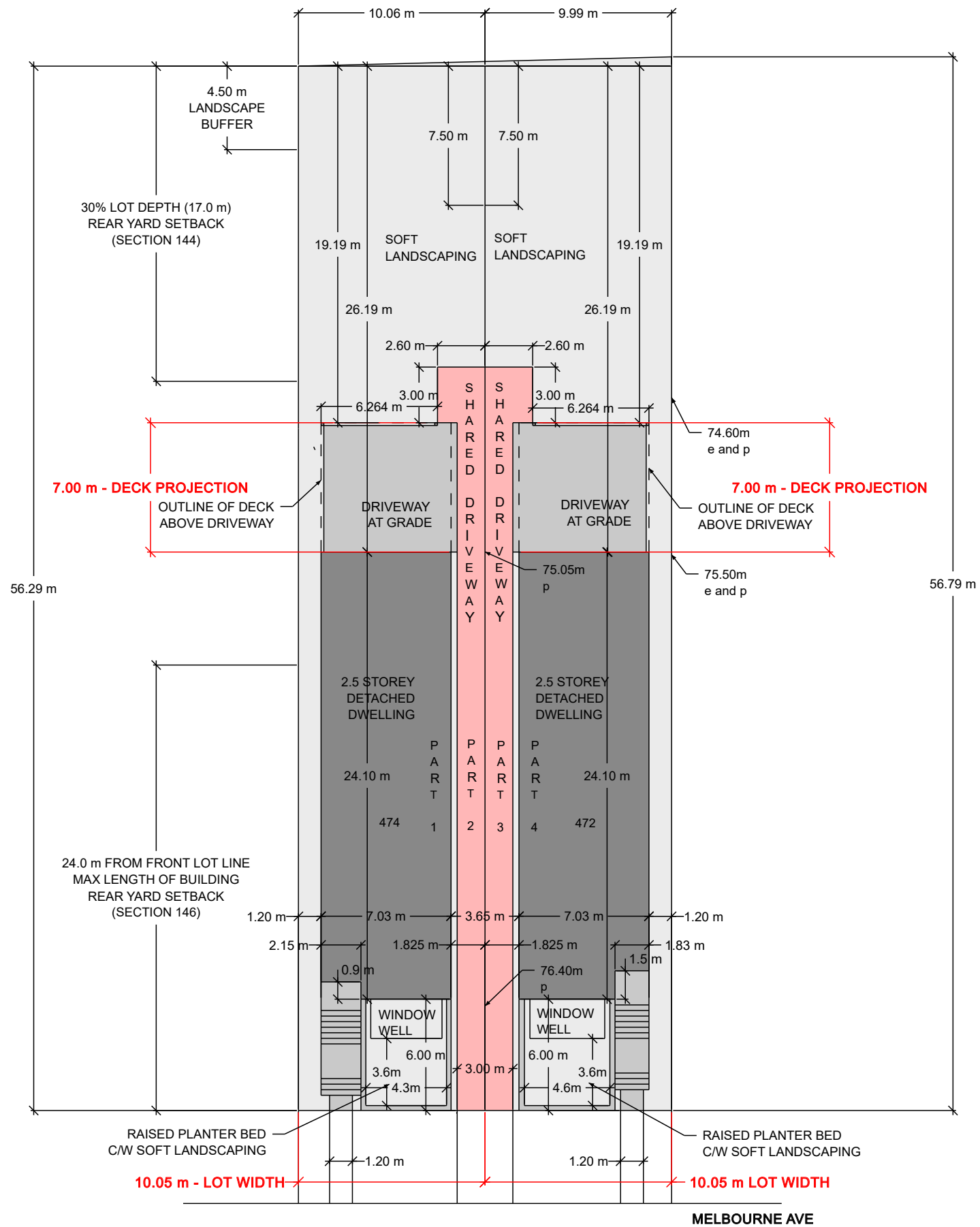
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FILE No.: 337-25

J:\2025\337-25_472 Melbourne ave\01_Topo\Final\337-25_472 Melbourne Ave_114 RP235_T_dwg



TOPD 2436



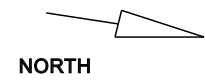
472 MELBOURNE AVE
 R3R [2687] H (8.5) ZONING
 2 DETACHED DWELLING UNITS
 BASEMENT = 61m² each
 MAIN FLOOR = 166m² each
 SECOND FLOOR = 166m² each

FR GRADE - 76.50m @ front yard setback of 6.0m
 FL GRADE - 76.35m @ front yard setback of 6.0m
 RR GRADE - 75.50m @ rear yard setback of 26.19m
 RL GRADE - 75.50m @ rear yard setback of 26.19m
 AVERAGE GRADE = 75.96m
 GARAGE FLOOR ELEVATION - 75.00m (at garage door)
 BASEMENT FLOOR ELEVATION - 75.30m
 FIRST FLOOR ELEVATION - 78.45m
 SECOND FLOOR ELEVATION - 81.90m
 TOP OF ROOF ELEVATION (FLAT) - 85.20m (incl 0.15m parapet)
 C/L OF ROOF ELEVATION (PITCHED) - 86.15m

| 472 Melbourne | R3R[2687]H(8.5) By-law 2008-250 | Part 1, 2 | Part 3, 4 | N3C[2687]H(8.5) By-law 2026-050 | LEGEND NON-COMPLIANCE |
|--|---|---|---|--|--|
| Permitted Uses | Various residential, including singles[2687] Permit Townhouse Additional Unit | Single-detached | Single-detached | Dwelling Unit | BY-LAW 2008-250 BY-LAW 2026-050 BOTH |
| Max No. Dwelling Units | NA | 1 | 1 | 2.5/100m ² of Lot Area. Max 12 per Building | |
| Minimum Lot Width | 10 m (Exception) | 10.05 | 10.05 | 10 m | |
| Minimum Lot Area | 300 m ² (Exception) | 568.6 | 568.1 | NA | |
| Max Building Height (May be increased to 10 m for min 1:2 slope on Pitched Roof) | Part 1 (10 m) Part 2 (8.5) | 10.19 m | 9.24 m | 8.5 m | |
| Minimum Front Yard Setback | 3.0 m | 6 | 6 | 4.5 m | |
| Minimum Front Yard Landscaping | 35% (10.05 x 3.0 m)x35%=10.55 m ² | 16 m ² (aggregated) | 16 m ² (aggregated) | 35% (10.05 x 3.0 m)x35%=10.55 m ² | |
| Total Interior Side Yard Setback | 1.8 m | 3.0 m | 3.0 m | 2.4 m (Total) | |
| Min. Single Interior Yard | 1.5 m (Exception) | 1.2 m | 1.2 m | 0.6 m | |
| Minimum Rear Yard Setback | 30% of Lot Depth = 16.89 m | 26.19 m | 26.19 m | 25 % of Lot Depth = 14.08 (Max 7.5 m) | |
| Rear Yard Area | 25% of Lot Area = 142 m ² (per Part) | 190 m ² | 190 m ² | 50% of Rear Yard (84 m ² per Part) | |
| Maximum Building Depth | NA | 24.1 | 24.1 | 20 m | |
| Permitted Projections (Front Porches) | 1.0 m to PL (Min) 2.0 m Project (Max) | 19.19 m to PL 1.2 m to PL 7.0 m Project (Max) | 19.19 m to PL 1.2 m to PL 7.0 m Project (Max) | 1.0 m to PL (Min) 2.0 m Project (Max) | |
| Front Facade | NA | 32.4% Glazing | 45.1% Glazing | Min 25% Glazing | |
| Walkway Separation | Where walkway extends from ROW must be separated from driveway by 0.6 m | >3.0 m | >3.0 m | | |
| Walkway Size and Permissions | Lot Width for ROW Walkway: 1 Max Width: 1.2 m | Lot Width: 10.05 Max Width: 1.2 m | Lot Width: 10.05 Max Width: 1.2 m | Min: Width: 1.2 m | |
| Maximum Width of Shared Driveway | 3.0 m | 3.0 m | | | |
| Front Facade Recession | 20% Setback 0.6 m from Front Wall (S.146) | 30.6% Setback 0.9 m from Front Wall | 26.0% Setback 1.5 m from Front Wall | NA | |
| Rear Landscaped Buffer | 4.5 m (S.146) | 19.19 m | 19.19 m | NA | |
| Maximum Building Depth into Site | 24 m from front lot line (S.146) | 30 m | 30 m | NA | |

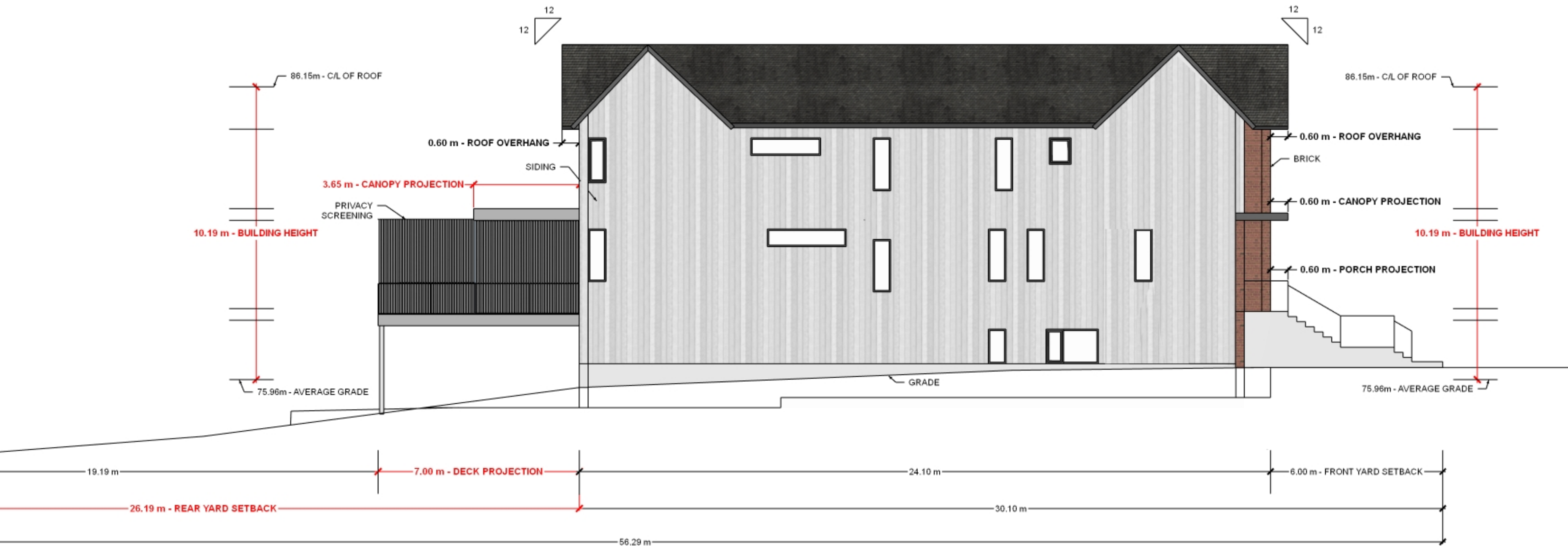
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472 and 474 MELBOURNE AVE
 SITE PLAN
 ART HOUSE DESIGN
 SCALE 1:150
 MARCH 11 2026

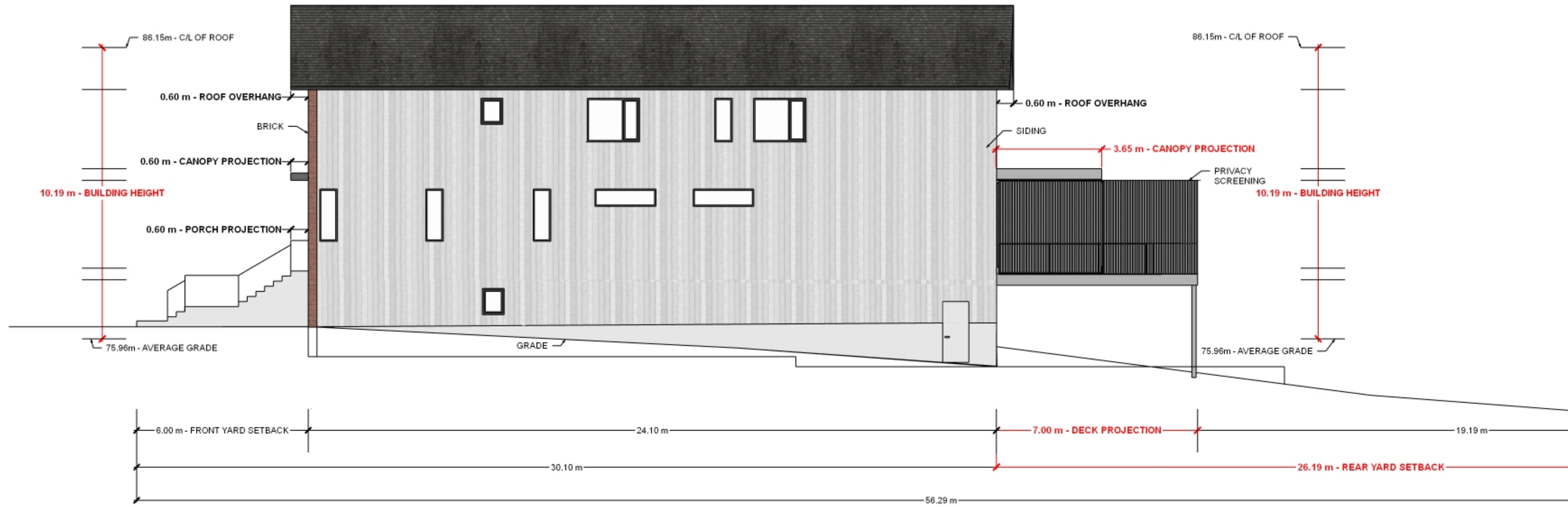




**472 and 474 MELBOURNE AVE
 FRONT ELEVATION
 ART HOUSE DESIGN
 SCALE 1:50
 MARCH 11 2026**



472 and 474 MELBOURNE AVE
 LEFT ELEVATION
 ART HOUSE DESIGN
 SCALE 1:50
 MARCH 11 2026



474 MELBOURNE AVE
 RIGHT ELEVATION
 ART HOUSE DESIGN
 SCALE 1:50
 MARCH 11 2026



**472 MELBOURNE AVE
 LEFT ELEVATION
 ART HOUSE DESIGN
 SCALE 1:50
 MARCH 11 2026**



472 and 474 MELBOURNE AVE
 RIGHT ELEVATION
 ART HOUSE DESIGN
 SCALE 1:50
 MARCH 11 2026

2026-03-23



472 and 474 MELBOURNE AVE
REAR ELEVATION
ART HOUSE DESIGN
SCALE 1:50
MARCH 11 2026

2026-03-23



472 and 474 MELBOURNE AVE
RENDERING
ART HOUSE DESIGN
MARCH 11 2026



472 and 474 MELBOURNE AVE
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ART HOUSE DESIGN
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2026-03-23



472 and 474 MELBOURNE AVE
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