

SURVEYOR'S REAL PROPERTY REPORT
 PART 1 - PLAN SHOWING
BLOCK 12
REGISTERED PLAN 4M-1720
 CITY OF OTTAWA
 J.D. BARNES LIMITED
 © COPYRIGHT 2025

SCALE 1 : 100

METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

BEARINGS ARE MTM GRID AND DERIVED FROM GLOBAL NAVIGATION SATELITE SYSTEMS (GNSS) BY REAL TIME NETWORK (RTN) OBSERVATIONS, MTM9, NAD 83, (CSRS) (2010.0)

DISTANCES ARE GROUND.

ALL BUILDING TIES ARE TAKEN TO CONCRETE FOUNDATION

COMPLIANCE WITH ONTARIO BUILDING CODE SETBACK REQUIREMENTS ARE NOT VERIFIED BY THIS SURVEY.

ALL MEASUREMENTS CONFORM WITH REGISTERED PLAN 4M-1720 AND PLAN 4R-35536

PART 2 - SURVEY REPORT

- DESCRIPTION
 BLOCK 12 ON REGISTERED PLAN 4M-1720, BEING ALL OF PIN 04487-3689(LT) IN THE CITY OF OTTAWA

- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY
 PIN 04487-3689 (LT) IS SUBJECT TO EASEMENTS AS IN OC2599731, OC2605725, OC2605727, OC2605728, OC2606022 AND OC2676677

- BOUNDARY FEATURES
 NOTE LOCATION OF CURB ALONG THE WESTERLY LIMIT OF THE SUBJECT PROPERTY
 NOTE LOCATION OF CURB ALONG THE EASTERLY LIMIT OF THE SUBJECT PROPERTY
 NOTE LOCATION OF PAVING STONE WALKWAY ALONG THE NORTHERLY LIMIT OF THE SUBJECT PROPERTY
 NOTE LOCATION OF ASPHALT DRIVEWAY ALONG THE SOUTHERLY LIMIT OF THE SUBJECT PROPERTY

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
CC	DENOTES	CUT CROSS
WIT	DENOTES	WITNESS
PB	DENOTES	PLASTIC BAR
MEAS	DENOTES	MEASURED
P	DENOTES	PLAN OF SURVEY PREPARED BY J.D. BARNES LIMITED RECORD FILE (22-10-119-00), DATED FEBRUARY 22, 2024
JDB	DENOTES	J.D. BARNES LIMITED
LP	DENOTES	LIGHT POLE
No.	DENOTES	NUMBER
CALC	DENOTES	CALCULATION
—	DENOTES	PROPERTY LINE

N=NORTH / E=EAST / S=SOUTH / W=WEST

Committee of Adjustment
 Received | Reçu le
2026-03-27
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON MARCH 18, 2025

MARCH 21, 2025
 DATE

George Zervos
 GEORGE ZERVOS
 ONTARIO LAND SURVEYOR

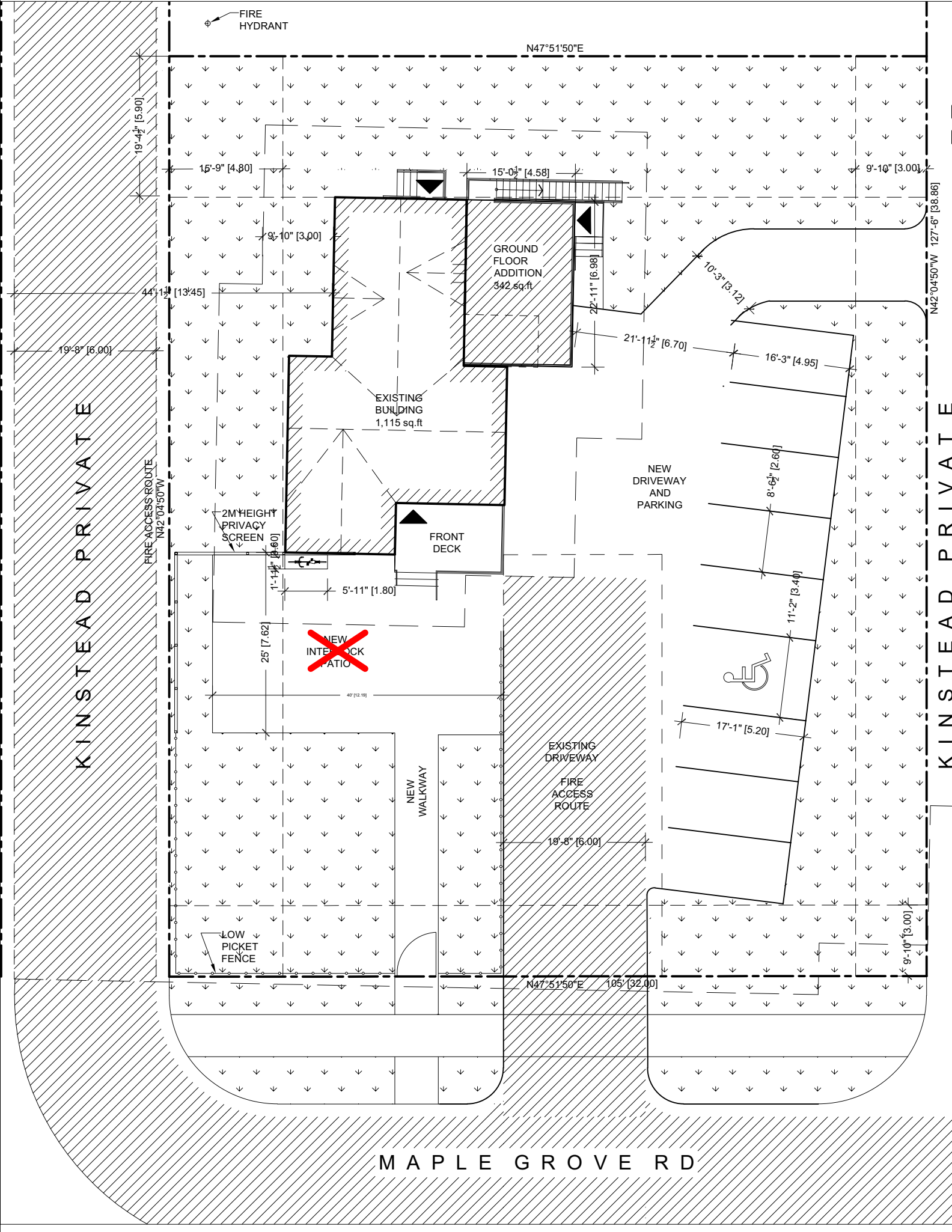
THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-100217

J.D. BARNES LIMITED
 SURVEYING MAPPING GIS
 LAND INFORMATION SPECIALISTS
 62 STEACIE DRIVE, SUITE 103, KANATA, ON K2K 2A9
 T: (613) 731-7244 F: (613) 254-8659 www.jdbarnes.com

DRAWN BY: KZ	CHECKED BY: NS/GZ	REFERENCE NO.: 20-10-145-01	DATED: 03/20/25
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PREPARED FOR: MATTAMY HOMES LIMITED
 PLOT DATE: 3/27/2025 3:47 PM

ROAD ALLOWANCE BETWEEN TOWNSHIPS OF HUNTLEY AND GOULBOURN
 KNOWN AS MAPLE GROVE ROAD
 PIN 04487-3689 (LT)



LEGEND:

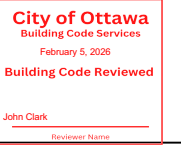
- ENTRANCE
- PROPERTY LINE
- SETBACK LINE
- EXISTING BUILDING
- SOFT LANDSCAPE
- FIRE ROUTE (3m AWAY FROM BUILDING)

ZONING INFORMATION		
GM16 [1470] H(10)		
TYPE OF BUILDING	REQUIRED FOR THE PROPOSED RESTAURANT	EXISTING
MINIMUM LOT WIDTH	NO MINIMUM	EXISTING TO REMAIN
MINIMUM LOT AREA	NO MINIMUM	EXISTING TO REMAIN
MAXIMUM BUILDING HEIGHT	18m	EXISTING 7M REMAIN
MINIMUM FRONT YARD SETBACK	3m	EXISTING 17.99 TO REMAIN
MINIMUM CORNER SIDE YARD SETBACK	3m	EXISTING TO REMAIN
MINIMUM REAR YARD SETBACK	5.9m	EXISTING 5.9m
MINIMUM INTERIOR SIDE YARD SETBACK	4.8	EXISTING 4.9 TO REMAIN

PROPOSED RESTAURANT BAKEHOUSE

1837 Maple Grove, Stittsville, ON K2S 3B3

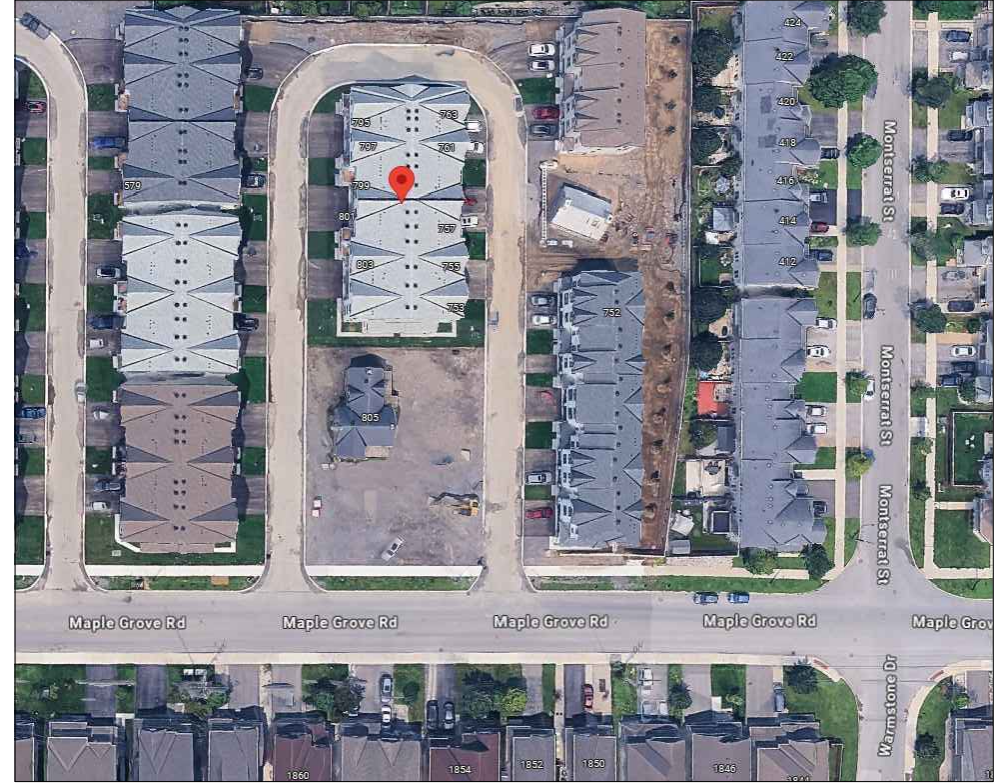
Client:



Architect:

SUSAN D. SMITH
941 MERIVALE ROAD,
OTTAWA, ON K1Z 6A1
T: (613) 722-5327 C: (613) 291-3777
s.smith@sdsarch.ca

City of Ottawa
Building Code Services
March 2, 2026
Zoning Reviewed
Ashley Lafontaine
Reviewer Name



05		
04	REISSUED FOR BUILDING PERMIT	01/27/2026
03	REISSUED FOR BUILDING PERMIT	01/14/2026
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Drawing Title:

SITE PLAN
LOCATION PLANS

Reviewed By:



Project Start Date:
JULY, 2025

Scale:
AS INDICATED

Drawn By:
SC & VN

Job No.:
2541

Sheet No.:

A-100

OF ##

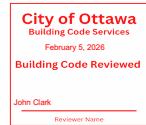
Susan D. Smith Architect

941 Merivale Road
Ottawa, Ont. K1Z 6A1
Ph (613) 722-5327

December 15, 2025

John Clark C. Tech., B.A.
Building Official III, Building Code Services Branch
101 Centrepointe Dr., Ottawa, Ontario K2G 5K7
Email: John.Clark2@ottawa.ca
Telephone: 613-580-2424 x 1355

Re: Building Application for 1837 MAPLE GROVE RD, Ottawa, ON
Application No: CON-2025-017412



Dear John Clark,

The following are our responses to your comments of November 27, 2025 regarding the **Building Code** for the above project:

Use and Occupancy

1 1) The maximum seating capacity is 40 seats.

9 3) There is now a note on the Structural Basement Plan indicating that a report by a soils engineer is required before construction begins, see S1.

8 2) With regard to the addition, the drawings have been revised to be in compliance with 4.1.8.14., of the O.B.C. See attached letter from Lampkin structural services.

7 1) The structural engineer has confirmed in writing, that the existing ground and 2nd floor can support 4.8.kPa, as per Table 4.1.5.3., of the O.B.C. See attached letter from Lampkin structural services.

14 4) With regard to the penetrations at the horizontal fire separations, please see attached letter from the Mechanical Engineer.

13 3) With regards to a kitchen exhaust hood, please see attached response from the Mechanical Engineer.

12 2) Stonehouse Café & Lounge — Proposed Menu for City Permit Application

Baked Goods & Pastries

- Assorted Artisan Breads (8 varieties)
- Fresh Scones
- Muffins (various flavours)
- Butter Croissants
- Tea Biscuits
- English Muffins
- Fruit Pies (seasonal varieties)
- Custard Pies

Café Food

- Deli Sandwiches (assorted varieties)
- Daily Soups

- House Chili
- Baked Pasta Dishes
- Stews
- Baked Puff Pastry Items
- Cakes & Specialty Desserts

Lounge Offerings

- Fresh Oysters
- Beef Tartare (or alternative tartare preparation)
- Charcuterie Boards (assorted cured meats & accompaniments)

11 1) See attached response from the Mechanical Engineer.

18 9) In O.B.C. 2024 Division B, please see attached response from the Mechanical Engineer.

17 8) With respect 3.2.2.11.(1), of the O.B.C., the new part of the building falls under the classification of 3.2.2.25 as per the building code Matrix. The build can be combustible or non-combustible with 45-minute floor separations.

16 7) The ceiling height on the 2nd floor is shown on the sections and is based on the existing building.

6 6) The 2nd floor construction is fire rated according to SB2, see drawing A-401. There will be 2 new layers of Type X gypsum board. There is a section detail 02/A-401 showing the assembly for the protection of the dropped beams.

5 5) The exit from the crawl space is the existing door from the crawl space, which is exiting through the new addition.

4 4) The exit from the 2nd floor is across the new deck/rooftop, down the new metal stairs,

3 3) The fire access route, has now been shown on the Site Plan as per 3.2.5.5.(1), of the O.B.C..

2 2) The building is existing, is over 200 mm above grade, and is less than 300 sq.m. therefore a barrier-free path of travel is not required to the ground (and 2nd floor) of the existing building, the Second Floor has an ambulatory washroom. Under OBC 3.8.2.1(3)(m) a barrier free path of travel is not required in 2 storey suites; note that this addition is only for storage.

10 4) The structural engineer has conformed in writing that the modified building provides an acceptable level of safety for the building occupants and the general public, as intended by the 2024 O.B.C..

15 5) There will 4 penetrations, the kitchen system exhaust will be 12"x12", and the make up air opening will be 14"x14". The ERV will have 2 openings; each will be 18"x8" and will be in the existing basement window facing east. See attached letter.

Please contact me if you have any further questions or comments,

Yours truly,

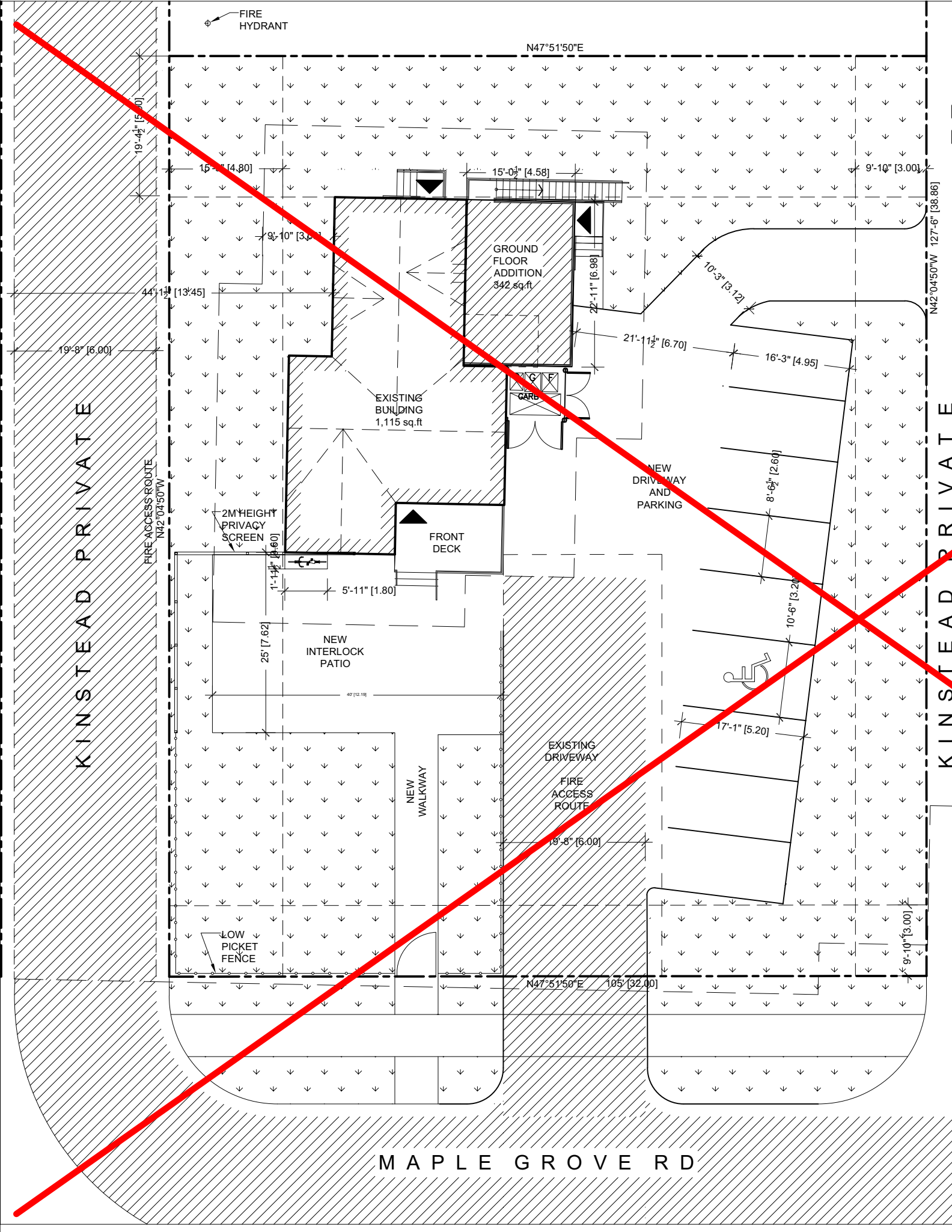

Susan Smith

Cc Zac Rodier; z.rodier@hotmail.ca

Committee of Adjustment
Received | Reçu le

2026-03-27

City of Ottawa | Ville d'Ottawa
Comité de dérogation



LEGEND:

- ENTRANCE
- PROPERTY LINE
- SETBACK LINE
- EXISTING BUILDING
- SOFT LANDSCAPE
- FIRE ROUTE (3m AWAY FROM BUILDING)

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PROPOSED RESTAURANT BAKEHOUSE

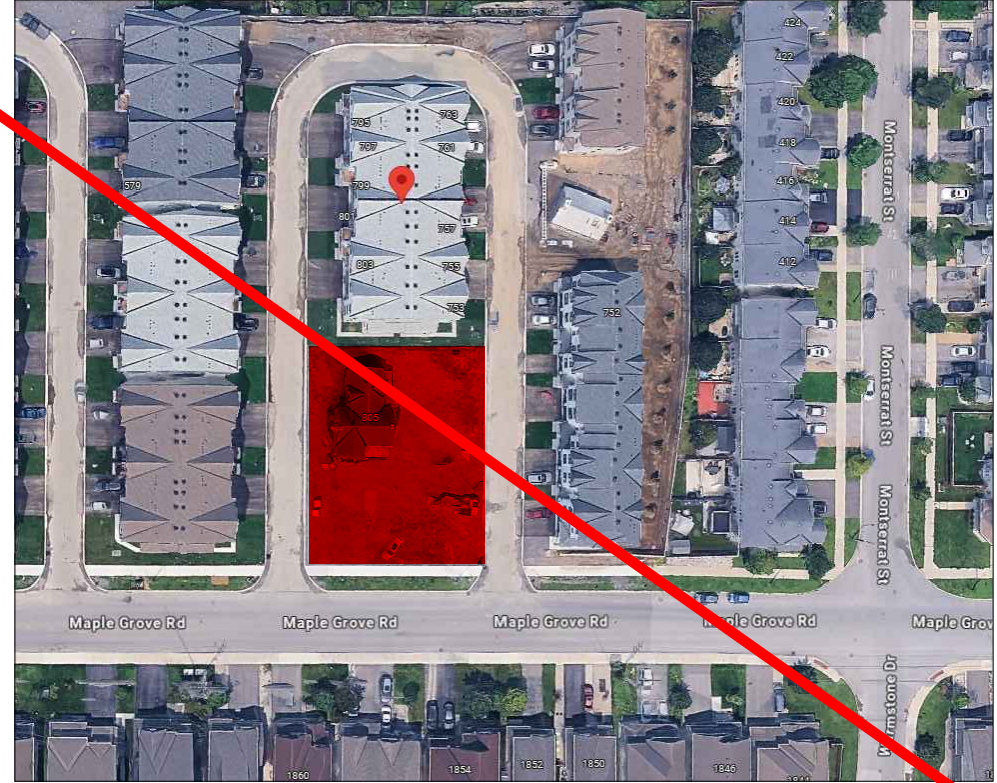
1837 Maple Grove,
Stittsville, ON K2S 3B3

Client:



Architect:

SUSAN D. SMITH
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Drawing Title:

SITE PLAN
LOCATION PLANS

Reviewed By:	Project Start Date: JULY, 2025
	Scale: AS INDICATED
	Drawn By: SC & VN
	Job No.: 2541
	Sheet No.: A-100 OF ##

PROPOSED RESTAURANT BAKEHOUSE

1837 Maple Grove,
Stittsville, ON K2S 3B3

Client:

LEGEND

- EXISTING WALL
- NEW WALL
- FIRE SEPARATED WALL
- DEMOLITION

City of Ottawa
Building Code Services

March 2, 2026

Zoning Reviewed

Ashley Lafontaine

Reviewer Name



Architect:

SUSAN D. SMITH
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OTTAWA, ON K1Z 6A1
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Drawing Title:

GROUND FLOOR PLAN

Reviewed By:



Project Start Date:
JULY, 2025

Scale:
AS INDICATED

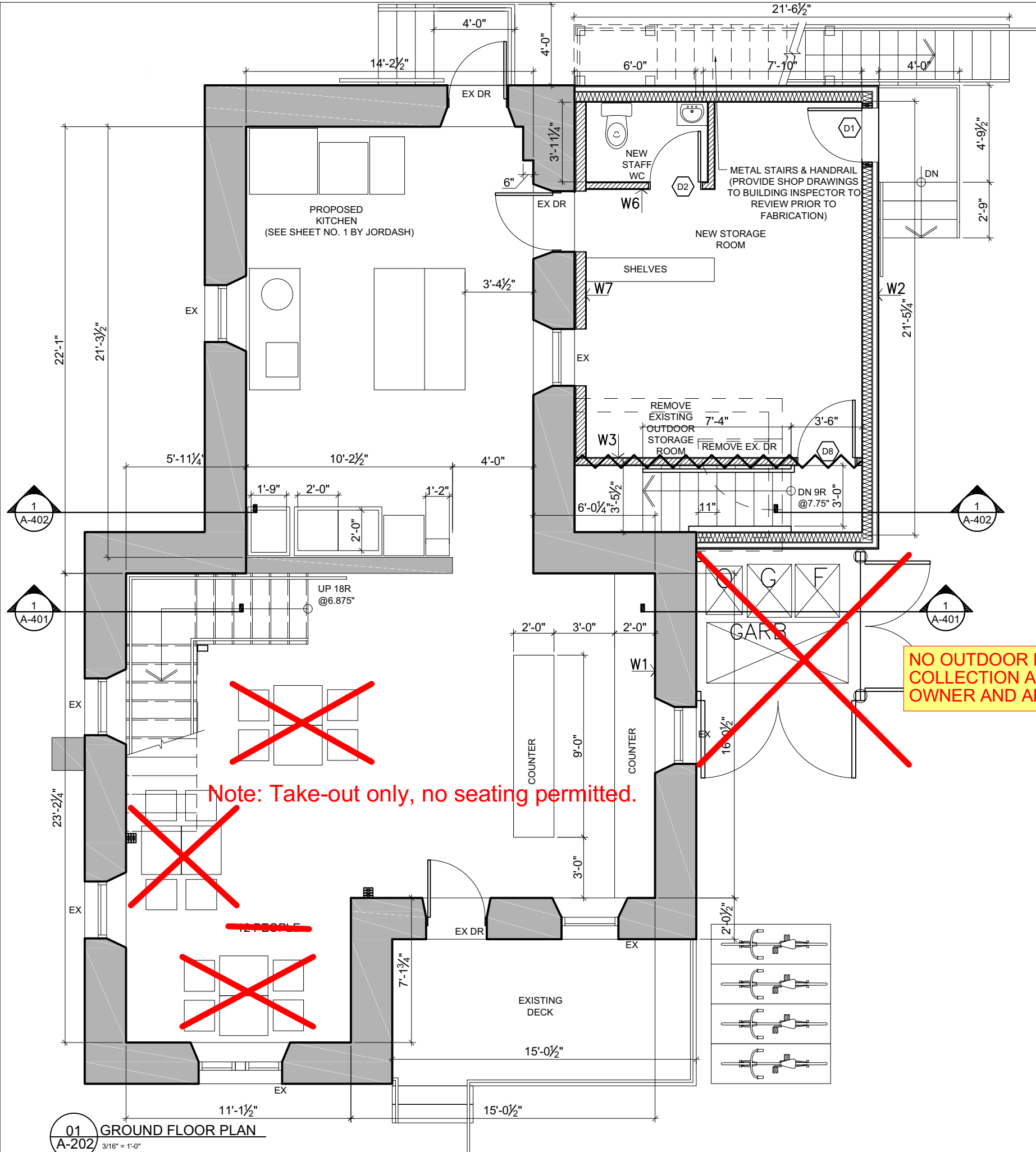
Drawn By:
SC & VN

Job No.:
2541

Sheet No.:

A-202

OF ##



01 GROUND FLOOR PLAN
A-202 3/16" = 1'-0"

PROPOSED RESTAURANT BAKEHOUSE

1837 Maple Grove,
Stittsville, ON K2S 3B3

Client:



Architect:

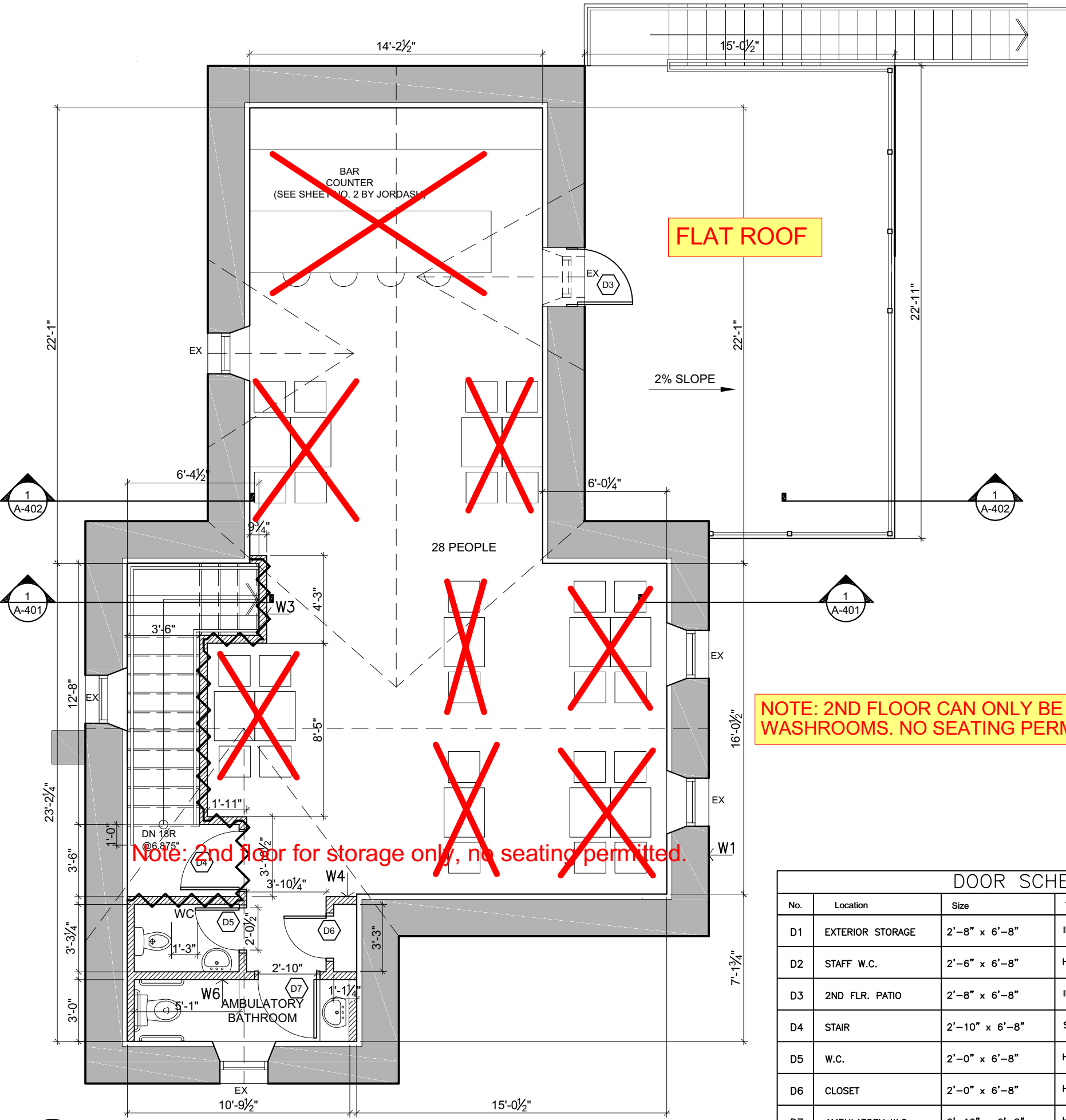
SUSAN D. SMITH
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LEGEND

- EXISTING WALL
- NEW WALL
- FIRE SEPARATED WALL
- DEMOLITION

City of Ottawa
Building Code Services
March 2, 2026
Zoning Reviewed

Ashley Lafontaine
Reviewer Name



FLAT ROOF

NOTE: 2ND FLOOR CAN ONLY BE ACCESSED FOR WASHROOMS. NO SEATING PERMITTED.

Note: 2nd floor for storage only, no seating permitted.

DOOR SCHEDULE

No.	Location	Size	Type	Frame	Fire Rating	Hardware -review functions & keying with Owner before ordering
D1	EXTERIOR STORAGE	2'-8" x 6'-8"	INSULATED METAL	WOOD		LOCKSET, DEADBOLT, CLOSER, WEATHER STRIP
D2	STAFF W.C.	2'-6" x 6'-8"	H.C.W.D	WOOD		PRIVACY SET
D3	2ND FLR. PATIO	2'-8" x 6'-8"	INSULATED METAL	WOOD		LOCKSET, DEADBOLT, CLOSER, WEATHER STRIP
D4	STAIR	2'-10" x 6'-8"	STEEL	STEEL	45 MIN.	GWG C/W CLOSER
D5	W.C.	2'-0" x 6'-8"	H.C.W.D	WOOD		PRIVACY SET
D6	CLOSET	2'-0" x 6'-8"	H.C.W.D	WOOD		LOCK SET
D7	AMBULATORY W.C.	2'-10" x 6'-8"	H.C.W.D	WOOD		PRIVACY SET
D8	CRAWL SPACE STAIR	2'-10" x 6'-8"	STEEL	STEEL	45 MIN.	GWG C/W CLOSER

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Drawing Title:
SECOND FLOOR

Reviewed By:

Project Start Date:
JULY, 2025

Scale:
AS INDICATED

Drawn By:
SC & VN

Job No.:
2541

Sheet No.:
A-203
OF ##

PROPOSED RESTAURANT BAKEHOUSE

1837 Maple Grove,
Stittsville, ON K2S 3B3


Client:

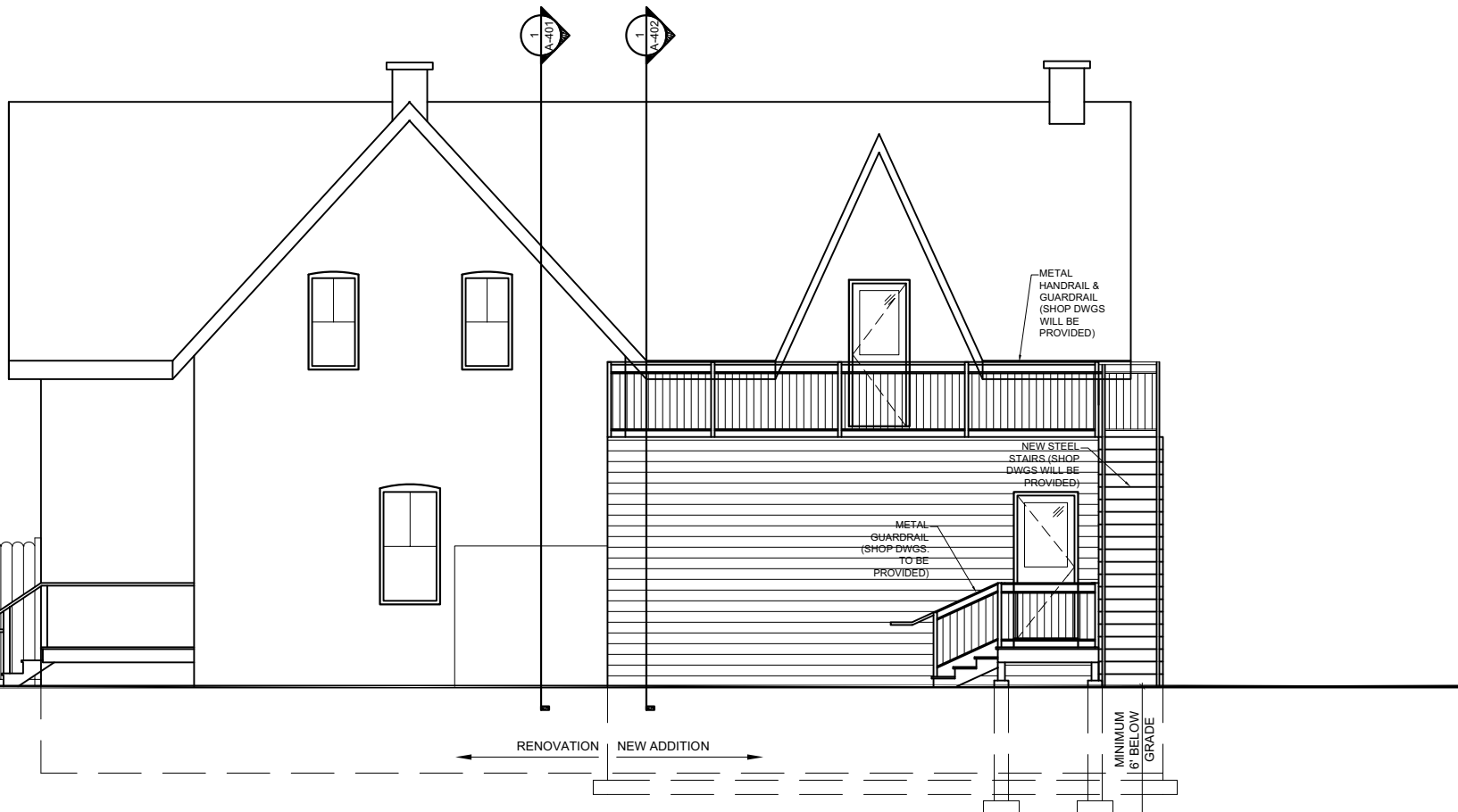
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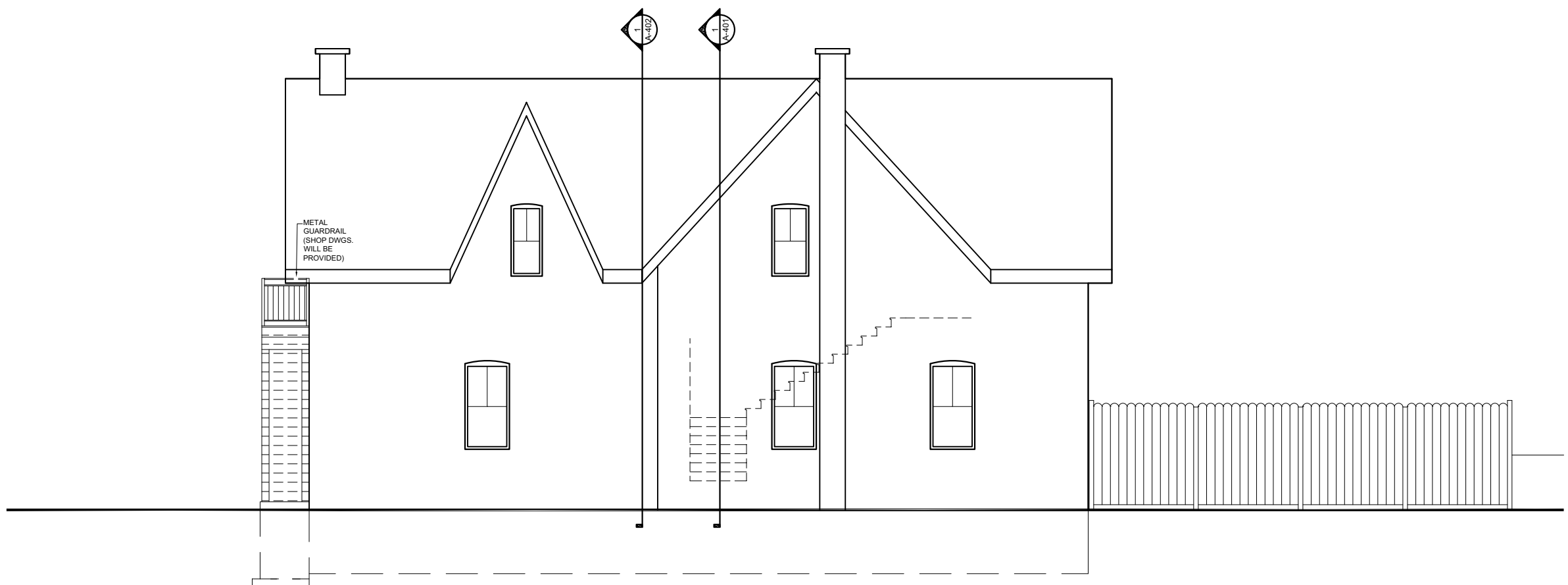
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Drawing Title:
 ELEVATIONS

Reviewed By:	Project Start Date: JULY, 2025
	Scale: AS INDICATED
	Drawn By: SC & VN
	Job No.: 2541
	Sheet No.: A-300 OF ##



02 EAST ELEVATION
 A-300 1/8" = 1'-0"



01 WEST ELEVATION
 A-300 1/8" = 1'-0"

**PROPOSED
RESTAURANT
BAKEHOUSE**
1837 Maple Grove,
Stittsville, ON K2S 3B3

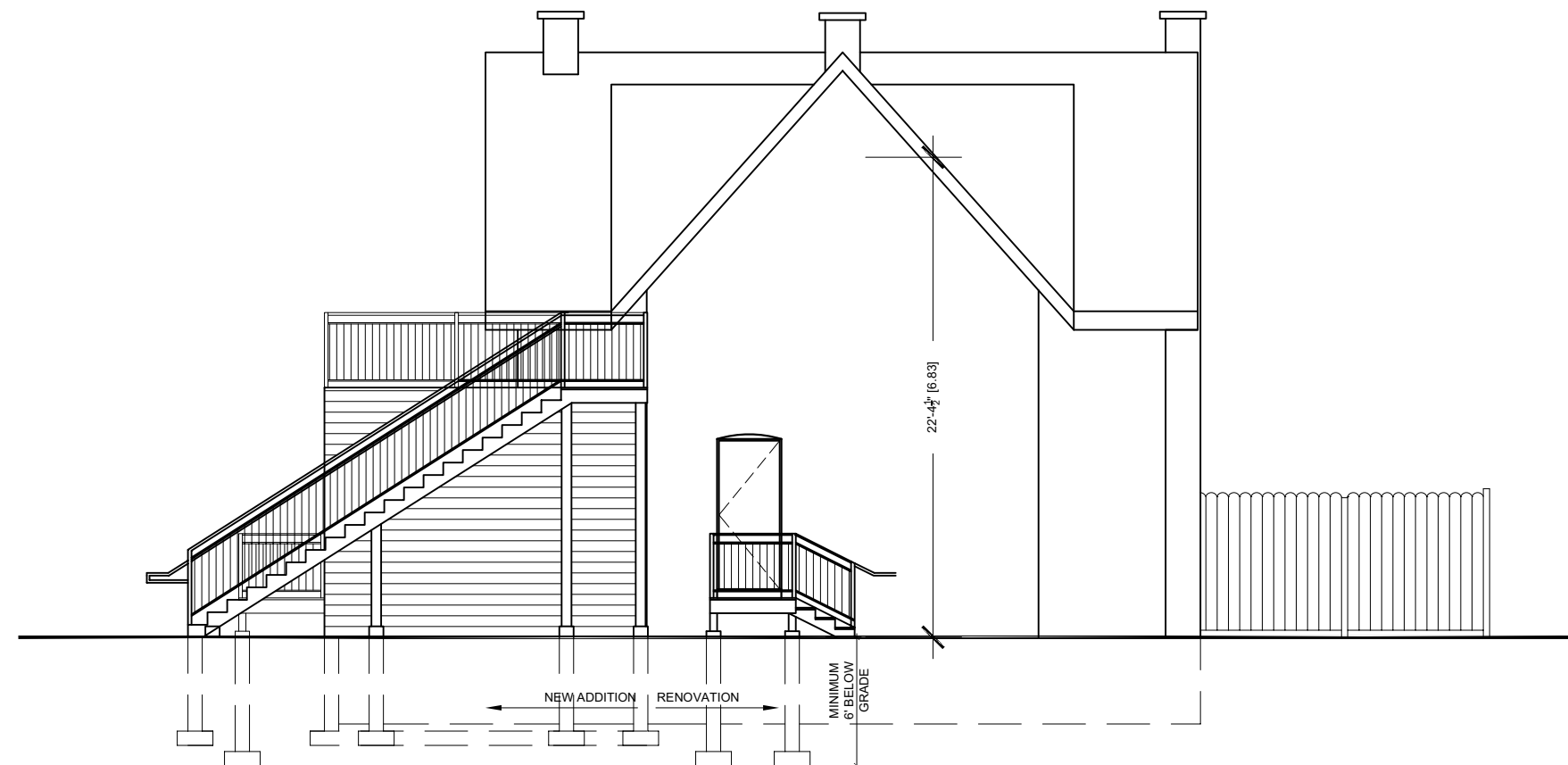
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01 SOUTH ELEVATION
A-301 1/8" = 1'-0"



02 NORTH ELEVATION
A-301 1/8" = 1'-0"

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Drawing Title:

ELEVATIONS

Reviewed By:



Project Start Date:
JULY, 2025

Scale:
AS INDICATED

Drawn By:
SC & VN

Job No.:
2541

Sheet No.:

A-301

OF ##

PROPOSED RESTAURANT BAKEHOUSE

1837 Maple Grove,
Stittsville, ON K2S 3B3

Client:

Architect:

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Drawing Title:

SECTION 1
BEAM DETAIL
AMBULATORY BATHROOM DETAIL

Reviewed By:

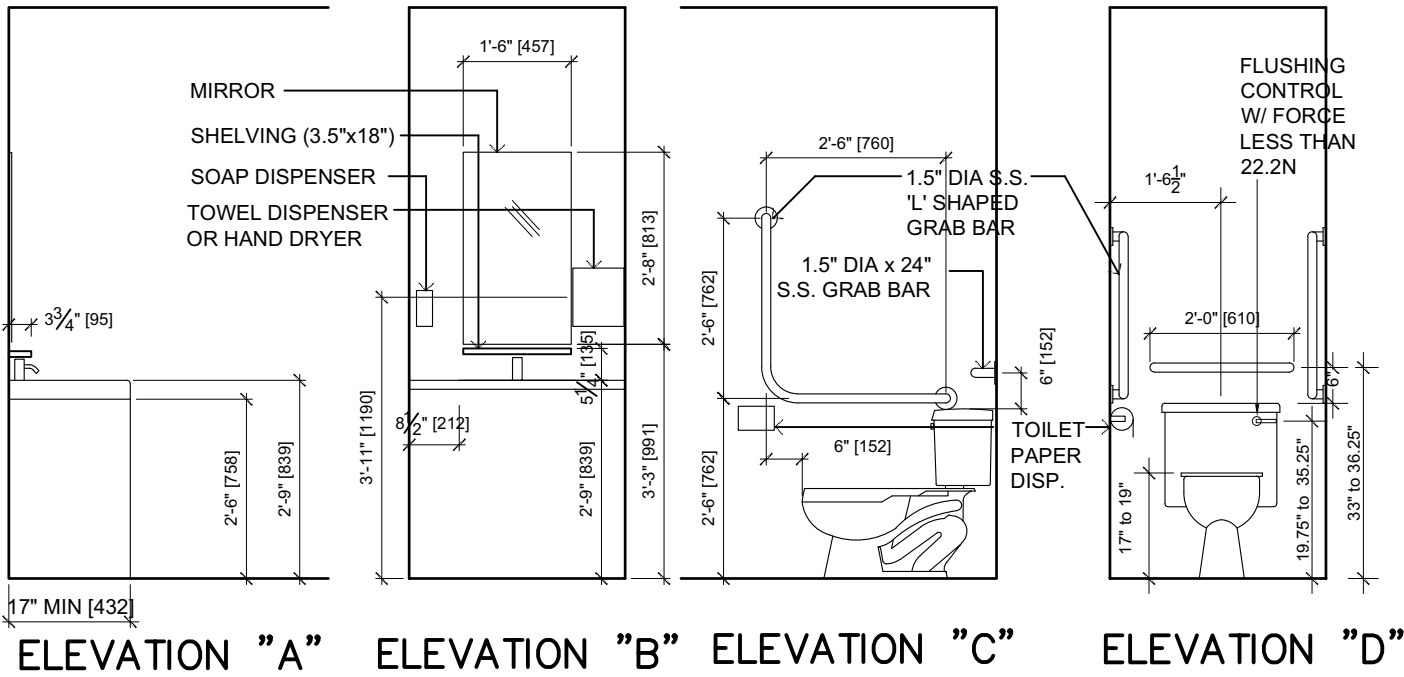
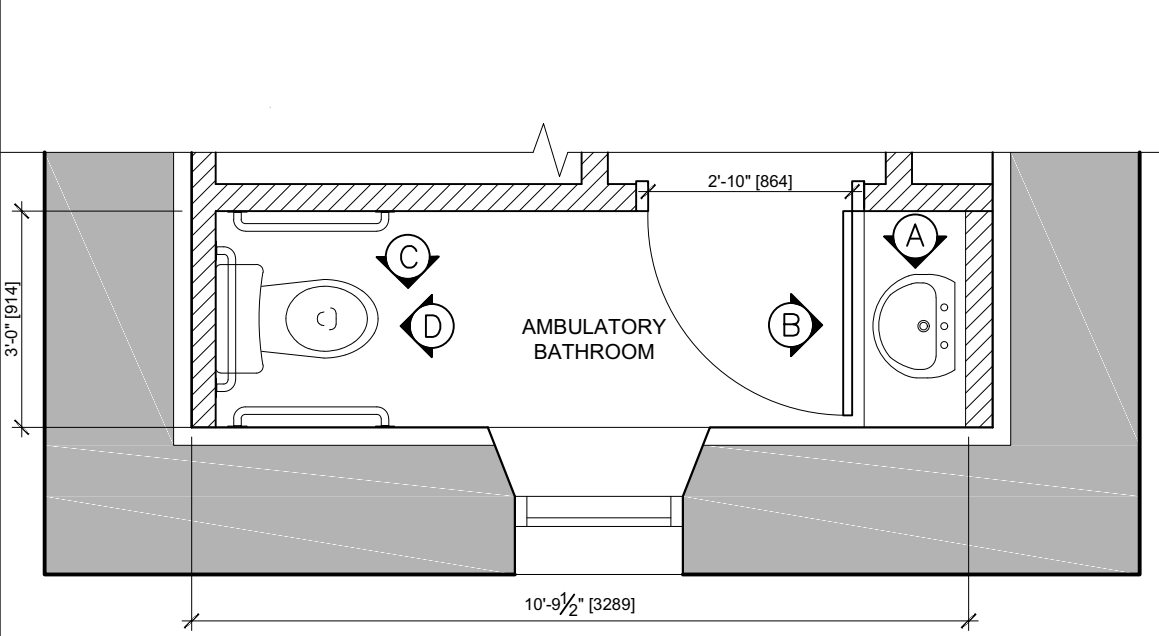
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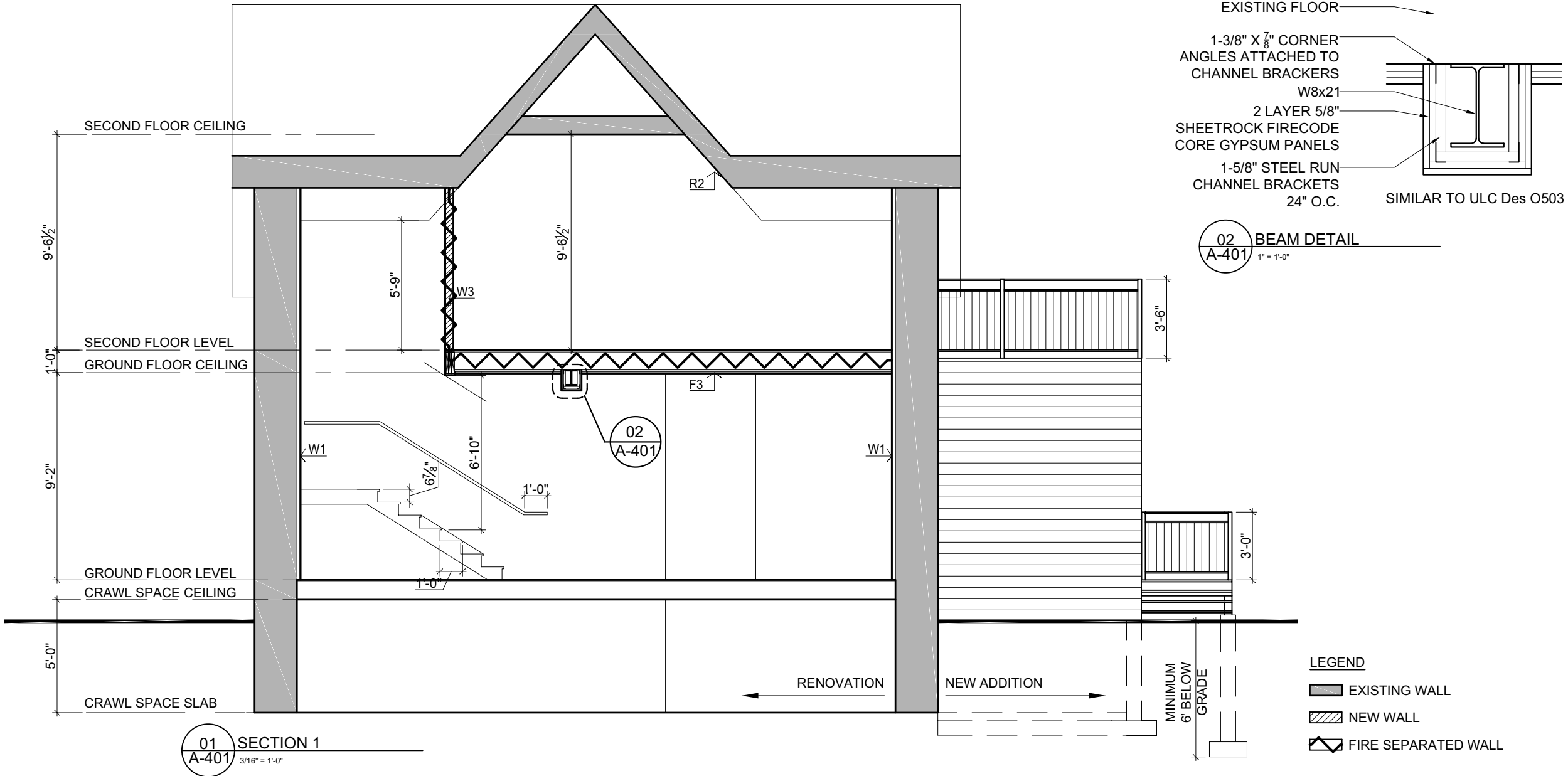
Drawn By:
SC & VN

Job No.:
2541

Sheet No.:
A-401
OF ##



03 AMBULATORY BATHROOM DETAIL
A-401 3/8" = 1'-0"



01 SECTION 1
A-401 3/16" = 1'-0"

LEGEND

- EXISTING WALL
- NEW WALL
- FIRE SEPARATED WALL



R1 2% SLOPE NEW PATIO ROOF: 45 MIN F.R.R. OBC SB-2

- 2x6 WD. DECKING
- 2x4 WD. JOISTS
- STYROFOAM SLEEPERS AT 2' O.C.
- 2 PLY MOD BITUMEN ROOF MEMBRANE
- PROTECTION BOARD TO MANUFACTURER'S RECOMMENDATION
(Install protection board by embedding into beads of adhesive 20mm wide on 300mm centres over the polyisocyanurate foam insulation. Lay out in rows in the same direction as the polyisocyanurate foam insulation by with joints staggered at least 456mm in both direction, stagger joints in alternative rows 610mm from each other. Do not install more insulation than can be completely roofed in the same day).
- POSI SLOPE R-35ci MINIMUM
- 3/4" EXT. GRADE T&G PLYWD
- 2x12 WD JOISTS @ 12" O.C.
- R32 SPRAY FOAM INSULATION
- VAPOUR BARRIER
- 1x3 WOOD STRAPPING @12 o.c
- 2 LAYERS OF 1/2" TYPE X GYPSUM BOARD

R2 EXISTING ROOF

- TO MATCH EXISTING:
- ADD INSULATION
- ADD 1/2" GYPSUM BOARD

CONSTRUCTION TYPES

W1 EXISTING EXTERIOR WALL

- NEW GYPSUM BOARD OVER
- EXISTING WOOD LATH
- EXISTING WOOD STUDS
- EXISTING STONE

W2 NEW EXTERIOR WALL: 45 MIN F.R.R. OBC SB-2

- 5/8" TYPE X GYPSUM BD.
- VAPOUR BARRIER
- 2x6 WOOD STUDS
- R20 BATT INSULATION
- 7/16" OSB SHEATHING
- TYVEK
- 2 1/2" RIGID INSULATION (R10 C.I.)
- HARDIE BOARD NON-COMBUSTIBLE SIDING

W3 NEW WD. STUD WALL - 45 MIN. F.R.R. OBC SB-2

- 5/8" TYPE X EACH SIDE
- NEW 2x4 WOOD STUDS

W4 TYPICAL INTERIOR WALL

- 1/2" GYPSUM BOARD
- 2x4 STUDS @ 16" O.C.
- 1/2" GYPSUM BOARD

W5 TYPICAL FOUNDATION WALL: (R20ci)

- 24"x8" CONTINUOUS PERIMETER FOOTING c/w KEY
- 4" DIA. PERFORATED PLASTIC DRAIN PIPE c/w FILTER CLOTH COVERED w/ 6" CRUSHED STONE FOUNDATION WALL DRAINAGE (O.B.C. 9.14.2.1)
- BITUMINOUS DAMPROOFING
- 8" POURED CONC. WALL (10" WHERE MASONRY ABOVE) STEPPED TO SUIT GRADE WHERE INDICATED c/w 2-15M BARS TOP & BOTTOM FROM GRADE LEVEL DOWN
- 2x4 FOUNDATION SILL PLATE CAULKED TO FOUNDATION
- 1/2" ANCHOR BOLTS @ 6' O.C.
- 4" RIGID INSULATION (R20ci)
- 2x4 STUDS @ 24" O.C.
- R12 BATT INSULATION
- POLY VAPOUR BARRIER (CGSB 51.34) SEALED TO REDUCE AIR CIRCULATION (O.B.C. 9.25.4.10.(2))
- 1/2" GYPSUM BOARD

W6 TYPICAL BATHROOM WALL

- 1/2" GYPSUM BOARD
- 2x4 STUDS @ 16" O.C.
- FILL WITH ROXUL INSULATION 1/2" MOISTURE-RESISTANT GYP. BD. (BATHROOM SIDE)

W7 NEW WD. STUD WALL

- 1/2" AIR SPACE ON STONE WALL SIDE
- 7/16" OSB SHEATHING
- 2x6 STUDS @ 16" O.C.
- 1/2" GYPSUM BOARD

F1 TYPICAL FLOOR:

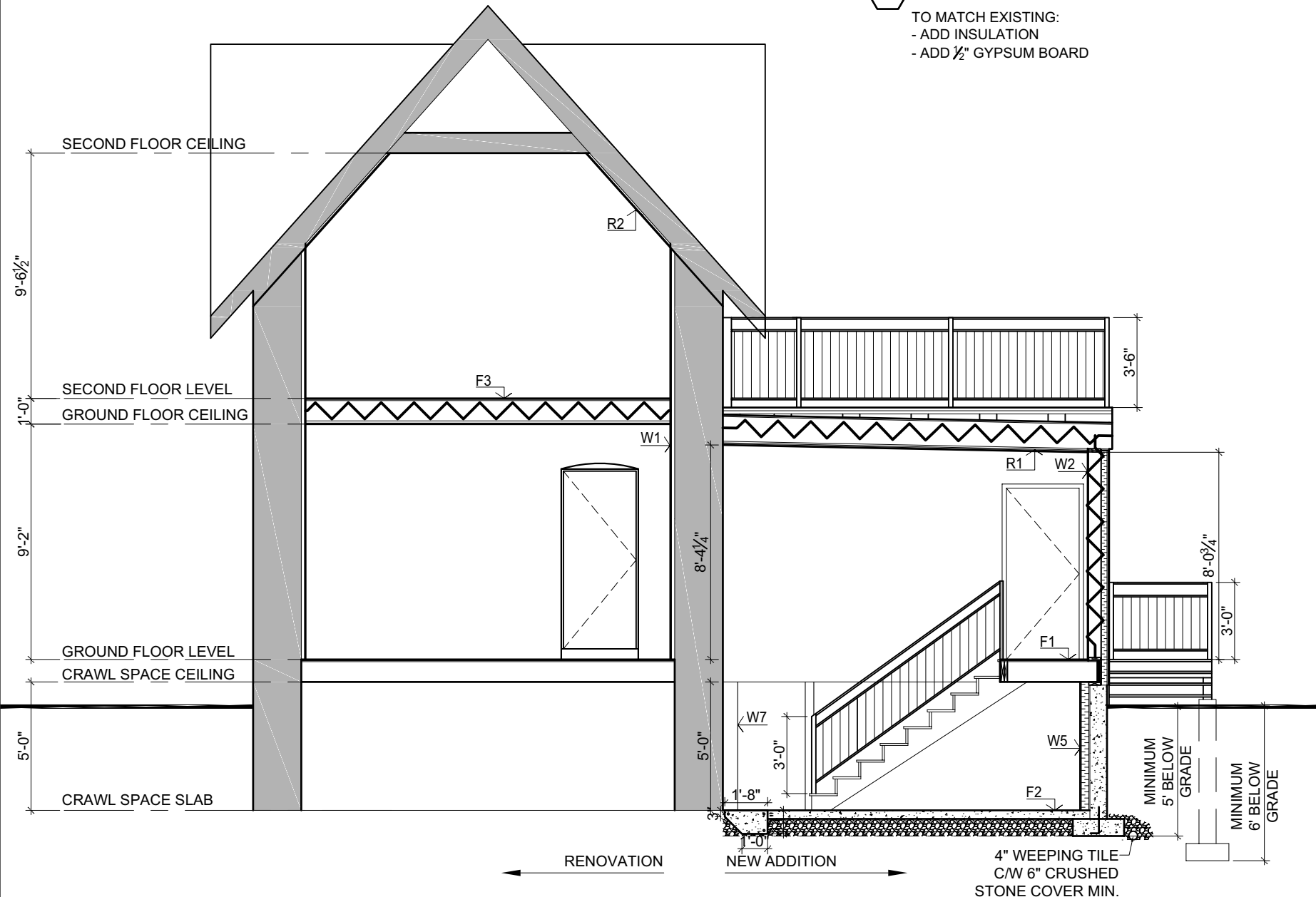
- FINISHED FLOORING AS PER OWNER SPEC.
- 5/8" PLYWOOD SUB FLOOR
- 2x10 WD. JOISTS @ 16" c/c c/w STRAPPING
- 1/2" GYPSUM BOARD

F2 NEW CRAWL SPACE FLOOR CONST'N:

- FINISH FLOORING ON FOAM UNDERLAY ON PLASTIC SHEETING (EXCEPT IN CRAWL SPACE)
- 3" UNREINFORCED POURED CONCRETE SLAB
- 6mil, POLY, VAPOUR BARRIER
- 2" SAND BED ON
- 6" GRANULAR FILL COMPACTED TO 95% P.D.

F3 EXISTING SECOND FLOOR: 45 MIN F.R.R. OBC SB-2

- FINISHED FLOORING AS PER OWNER SPEC.
- EXISTING SUB FLOOR
- EXISTING 2x10 WD. JOISTS @ 16" c/c c/w STRAPPING
- 2 LAYER 1/2" TYPE X GYPSUM BOARD



01 SECTION 2
A-402 3/16" = 1'-0"

- LEGEND**
- EXISTING WALL
 - NEW WALL
 - FIRE SEPARATED WALL

PROPOSED RESTAURANT BAKEHOUSE
1837 Maple Grove,
Stittsville, ON K2S 3B3

Client:

Architect:

SUSAN D. SMITH
941 MERIVALE ROAD,
OTTAWA, ON K1Z 6A1
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s.smith@sdsarch.ca

#	REVISION	DATE
05		
04		
03	REISSUED FOR BUILDING PERMIT	01/14/2026
02	ISSUED FOR BUILDING PERMIT	12/15/2025
01	ISSUED FOR REVIEW	10/10/2025

NOTE:

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Drawing Title:
SECTION 2

Reviewed By:	Project Start Date: JULY, 2025
	Scale: AS INDICATED
	Drawn By: SC & VN
	Job No.: 2541
	Sheet No.: A-402 OF ##

Susan D. Smith Architect

941 Merivale Road
Ottawa, Ont. K1Z 6A1
Ph (613) 722-5327

January 13, 2026

John Clark C. Tech., B.A.
Building Official III, Building Code Services Branch
101 Centrepointe Dr., Ottawa, Ontario K2G 5K7
Email: John.Clark2@ottawa.ca
Telephone: 613-580-2424 x 1355

Re: Building Application for 1837 MAPLE GROVE RD, Ottawa, ON
Application No: CON-2025-017412

Dear John Clark,

The following are our responses to your comments of December 18, 2025 regarding the **Building Code** for the above project:

Use and Occupancy

1 1), 9 3), 8 2) & 7 1) Resolved

14 4) See the response from the Mechanical Engineer.

13 3), 12 2), 11 1), 10 4) Resolved

27 10) The siding has been revised to HardiePlank Lap siding by JamesHardie, non-combustible siding, see drawing

17 8), 16 7), 6 6), 5 5) & 4 4) Resolved

3 3) A fire access route has been added on the site plan to the front entrance door. Aerial photos have also been added indicating the location of the adjoining streets.

2 2) With regard to 3.8.2.1. of the O.B.C., a barrier-free path of travel is not required at the new addition because the entrance to the addition is a service entrance, as per 3.8.1.2.(1), of the O.B.C.

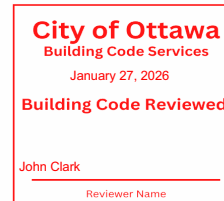
18 9) 15 5) Resolved

Please contact me if you have any further questions or comments,

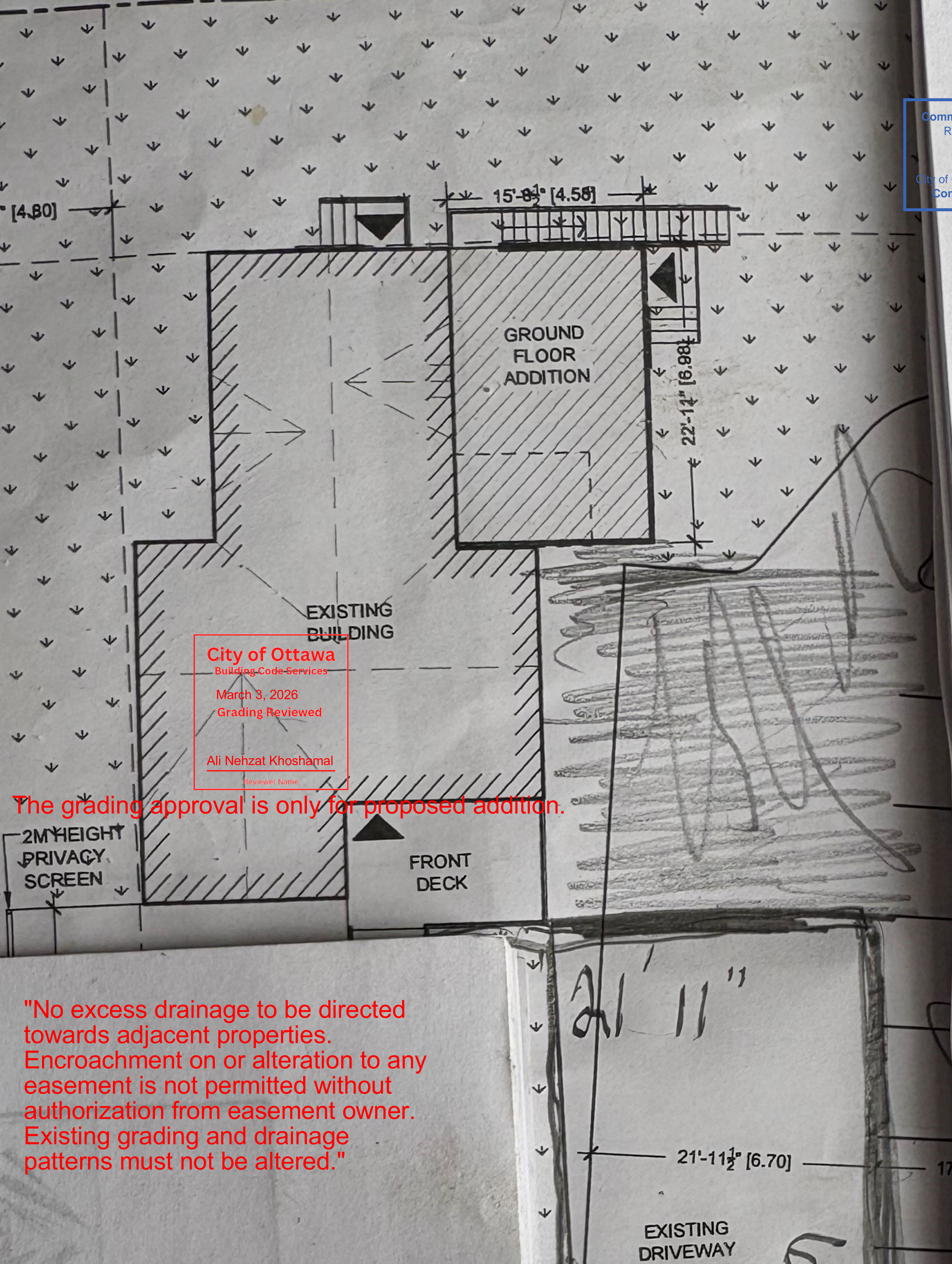
Yours truly,


Susan Smith

Cc Zac Rodier; z.rodier@hotmail.ca



2026-03-27



City of Ottawa
Building Code Services

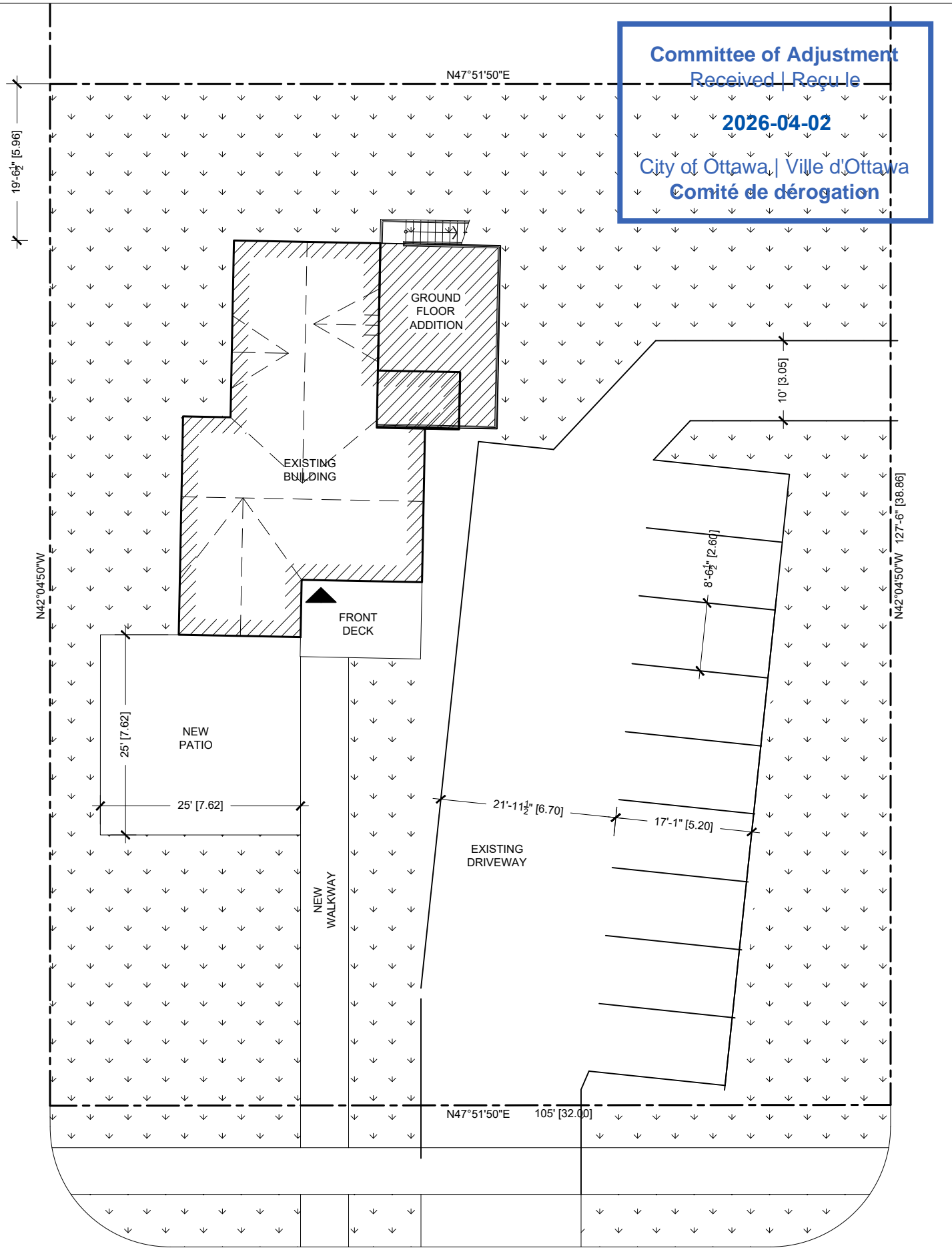
March 3, 2026
Grading Reviewed

Ali Nehzat Khoshamal
Reviewer Name

The grading approval is only for proposed addition.

"No excess drainage to be directed towards adjacent properties. Encroachment on or alteration to any easement is not permitted without authorization from easement owner. Existing grading and drainage patterns must not be altered."

EXISTING DRIVEWAY



Committee of Adjustment
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2026-04-02
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Comité de dérogation

MAPLE GROVE RD

ZONING INFORMATION		
GM16 [1470] H(10)		
TYPE OF BUILDING	REQUIRED FOR THE PROPOSED RESTAURANT	EXISTING
MINIMUM LOT WIDTH	NO MINIMUM	EXISTING TO REMAIN
MINIMUM LOT AREA	NO MINIMUM	EXISTING TO REMAIN
MAXIMUM BUILDING HEIGHT	18m	EXISTING 7M REMAIN
MINIMUM FRONT YARD SETBACK	3m	EXISTING 17.99 TO REMAIN
MINIMUM CORNER SIDE YARD SETBACK	3m	EXISTING TO REMAIN
MINIMUM REAR YARD SETBACK	5.9m	EXISTING 5.9m
MINIMUM INTERIOR SIDE YARD SETBACK	4.8	EXISTING 4.9 TO REMAIN

ITEM	ONTARIO BUILDING CODE DATA MATRIX - PART 3, PART 11	OBC REFERENCE	OBC REFERENCE						
1	PROJECT DESCRIPTION:	NEW PROPOSED RESTAURANT	PART 3						
2	MAJOR OCCUPANCY OF BUILDING:	PROPOSED GROUP "A2" RESTAURANT,	3.1.2.1						
3	BUILDING AREA (M²):	119.5 m² (1286.4 ft²)	1.4.1.2.						
4	AREA OF WORK (M²) gfa:	160.4 m² (1726.36 ft²)							
5	NUMBER OF STOREY(S):	2 ABOVE GRADE+CRAWL SPACE	2.1.1.3.						
6	HEIGHT OF BUILDING (M):	EXIST. APPROX. 7 M	1.4.1.2.						
7	NUMBER OF STREETS/ACCESS ROUTES:	2	3.2.2.10., 3.2.5.4.						
8	BUILDING CLASSIFICATION:	GROUP A2	3.2.2.25.						
9	PERMITTED CONSTRUCTION	COMBUSTIBLE OR NON-COMBUSTIBLE	3.2.2.25.						
	ACTUAL CONSTRUCTION	COMBUSTIBLE							
10	SPRINKLER SYSTEM	NO	3.2.2.25.						
11	FIRE ALARM SYSTEM:	NO	3.2.4.						
12	STANDPIPE SYSTEM	NOT REQUIRED	3.2.9.						
13	WATER SERVICE/SUPPLY IS ADEQUATE:	YES; EXISTING							
14	OCCUPANT LOAD:	BY DESIGN; GROUP A - 40 PEOPLE+STAFF	3.1.17.1.						
15	PLUMBING FIXTURES REQUIREMENTS:	GROUP A2 - 1 FOR MALE , 1 FOR FEMALE	3.7.4.3.D. (7)						
16	BARRIER-FREE DESIGN:	NO, EXISTING	3.8.2.						
17	FIRE RESISTANCE RATING	1HR REDUCED TO 45MIN FLOORS	3.1.3.1.						
18	SPATIAL SEPARATION			3.2.3 TABLE 3.2.3.1.D					
	WALL	AREA OF WALL EBF (SQ.M.)	LIM.DIST. (M)		PERMITTED % OF OPENINGS	PROPOSED % OF OPENINGS	FRR	WALL CONSTRUC.	CLADDING
	WEST	82.9 m²	STREET SIDE		100	4.9 sq.m (6%)	N/A	Combustible	Non-comb.
	EAST	82.9 m²	STREET SIDE		100	3.3 sq.m (4%)	N/A	Combustible	Non-comb.
	SOUTH	50.1 m²	STREET SIDE		100	5.7 sq.m (11.4%)	N/A	Combustible	Non-comb.
NORTH	61.2 m²	5.9 m	45	2.0 sq.m (3.7%)	45MIN	Combustible	Non-comb.		
ONTARIO BUILDING CODE DATA MATRIX - PART 3 & 11									
19	BUILDING CLASSIFICATION:	EXISTING CONSTRUCTION INDEX: 3 EXISTING HAZARD INDEX: 3 PROPOSED HAZARD INDEX: 4							
20	ALTERATIONS TO EXISTING BUILDING:	EXTENSIVE RENOVATION	11.3.3.1						
21	REDUCTION IN PERFORMANCE LEVEL:	STRUCTURAL: YES, MORE THAN 15% INCREASE IN OCCUPANT LOAD	11.4.2.1						
21	EXISTING OCCUPANT LOAD: 3.7 SQ.M. PER PERSON (3.1.17.1)	BY INCREASE IN OCCUPANT LOAD: YES, MORE THAN 15% INCREASE IN OCCUPANT LOAD	11.4.2.2						
22	130 SQ.M./ 3.7 SQ.M./PERSON = 35 PEOPLE IN EXISTING X .15 = 5.25	BY CHANGE OF MAJOR OCCUPANCY: YES	11.4.2.3(1)(a)						
23		CONSTRUCTION INDEX TO = NEW HAZARD INDEX, 45 MIN. FRR	11.4.2.4(1)& 11.2.11 A						
24		EARLY WARNING AND EVACUATION - SEE ELECT. DRAWING	11.4.3.4						
		TABLE 11.4.3.3: A. ACCESS TO EXIT WIDTHS TO 3.3.1 - COMPLIES B. EXIT WIDTHS TO 3.4.3 - COMPLIES C. EXIT SIGNS TO 3.4.5 - SEE ELECT. D. LIGHTING TO 3.2.7 - SEE ELECT. E. FIRE ALARM TO 3.2.4.1 - NOT REQUIRED 3.2.4.1(2)(j) F. SMOKE ALARM - NOT REQUIRED G. TRAVEL DISTANCE AND NUMBER OF EXITS: 2 EXITS PROVIDED H. DOOR RELEASE HARDWARE: EXISTING EXIT DOORS HAVE PANIC RELEASE BARS							
25		SEWAGE SYSTEM: EXISTING							
26	COMPLIANCE ALTERNATIVES PROPOSED:	N/A							

PROPOSED RESTAURANT

1837 Maple Grove,
Stittsville, ON K2S 3B3

Client:



Architect:

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 s.smith@sdsarch.ca

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01	ISSUED FOR REVIEW	10/10/2025
#	REVISION	DATE

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Drawing Title:

SITE PLAN

Reviewed By:

Project Start Date:
JULY, 2025

Scale:
AS INDICATED

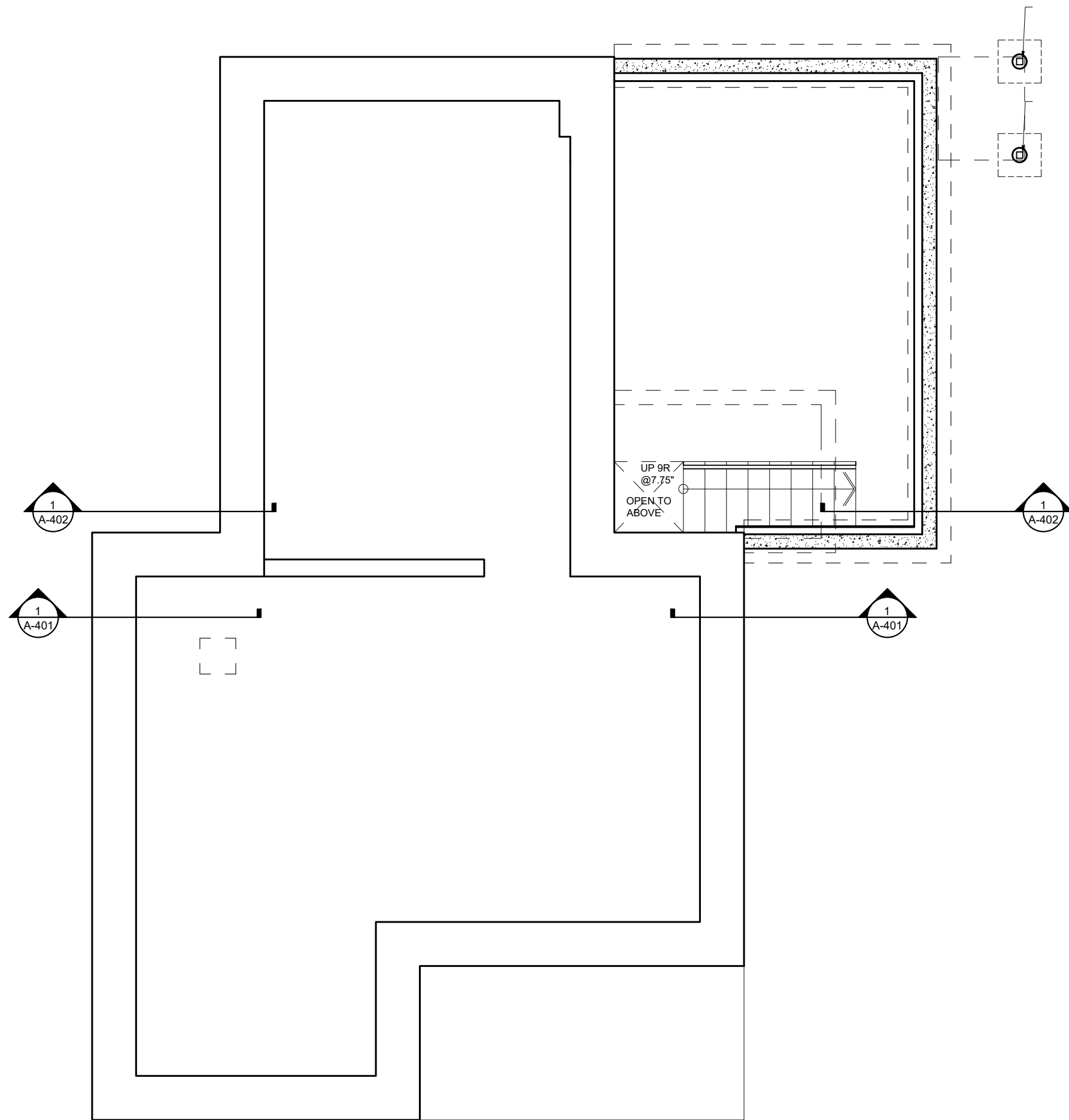
Drawn By:
SC

Job No.:
2540

Sheet No.:

A-100

OF ##



Committee of Adjustment
 Received | Reçu le
2026-04-02
 City of Ottawa | Ville d'Ottawa
Comité de dérogation

PROPOSED RESTAURANT

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Drawing Title:

GROUND FLOOR PLAN
 CRAWL SPACE PLAN

Reviewed By:

Project Start Date:
JULY, 2025

Scale:
AS INDICATED

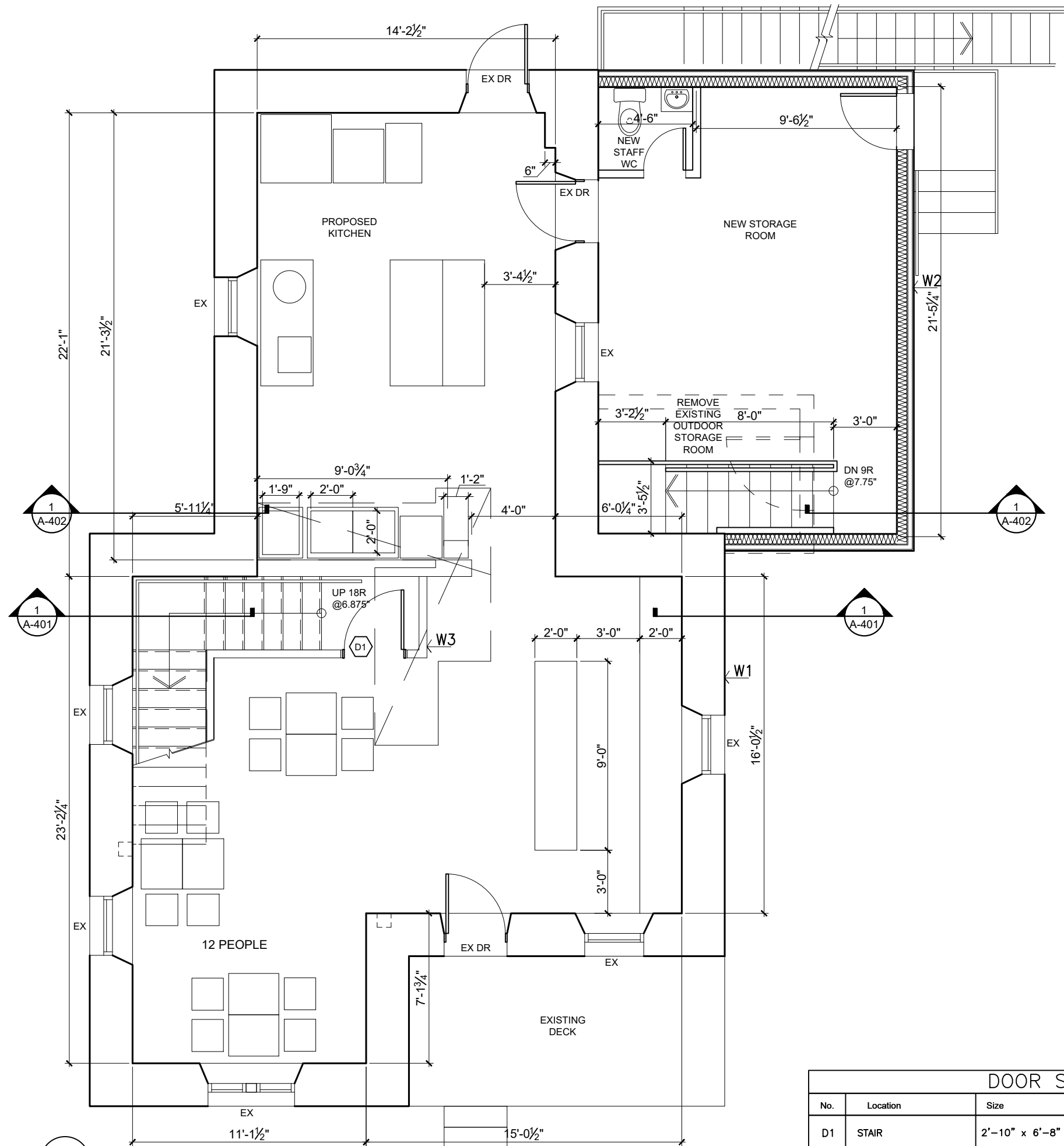
Drawn By:
SC

Job No.:
2540

Sheet No.:

A-201

OF ##

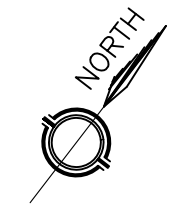


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Drawing Title:

GROUND FLOOR PLAN
BASEMENT PLAN

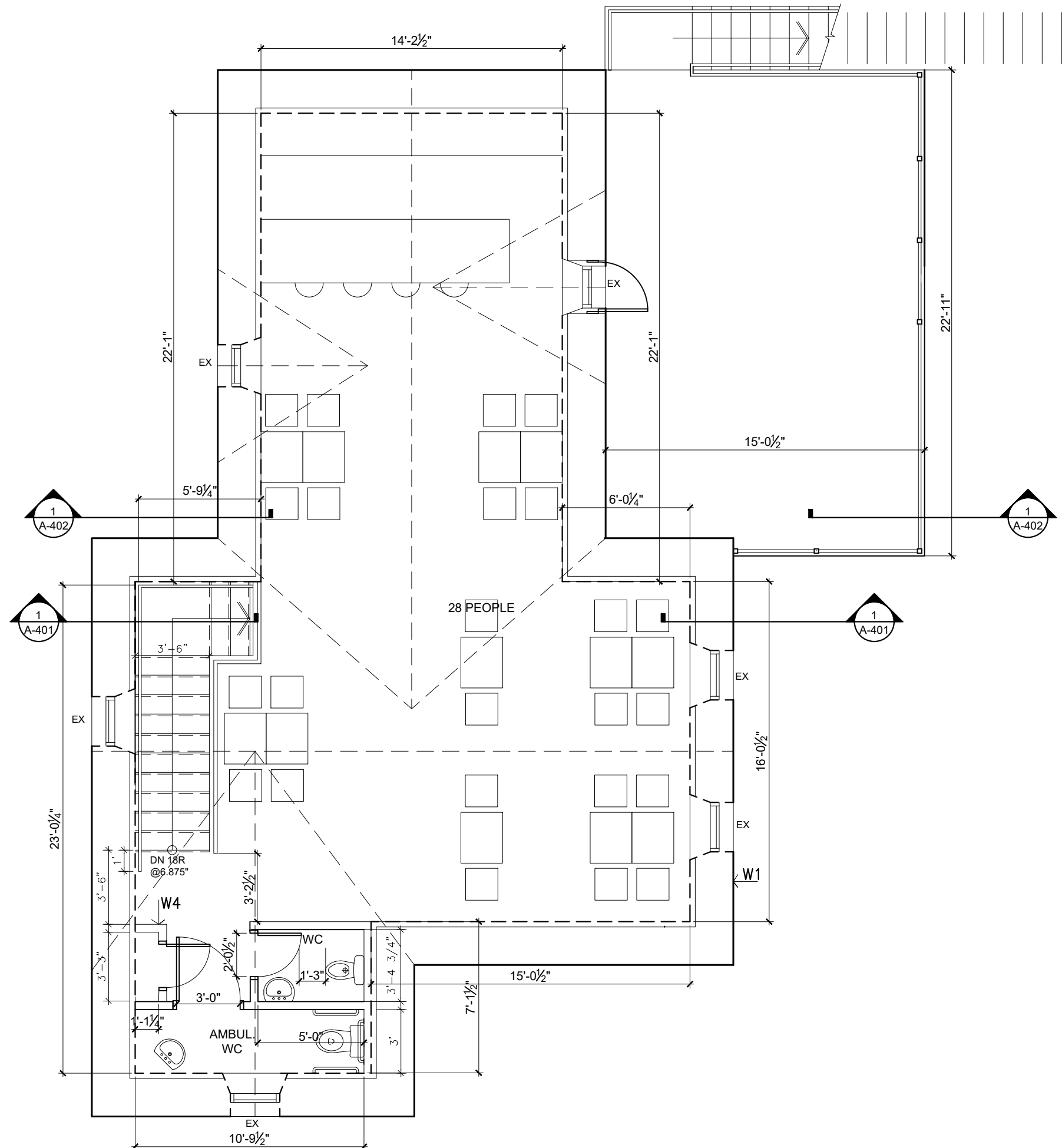
Reviewed By:	Project Start Date: JULY, 2025
	Scale: AS INDICATED
	Drawn By: SC
	Job No.: 2540
	Sheet No.:

DOOR SCHEDULE						
No.	Location	Size	Type	Frame	Fire Rating	Hardware -review funtions & keying with Owner before ordering
D1	STAIR	2'-10" x 6'-8"	STEEL	STEEL	45 MIN.	GWG C/W CLOSER

01 GROUND FLOOR PLAN
 A-202 3/16" = 1'-0"

A-202

OF ##

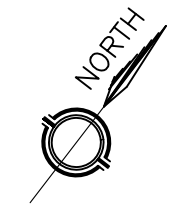


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Drawing Title:
SECOND FLOOR

Reviewed By:	Project Start Date: JULY, 2025
	Scale: AS INDICATED
	Drawn By: SC
	Job No.: 2540

Sheet No.:
A-203
 OF ##

PROPOSED RESTAURANT

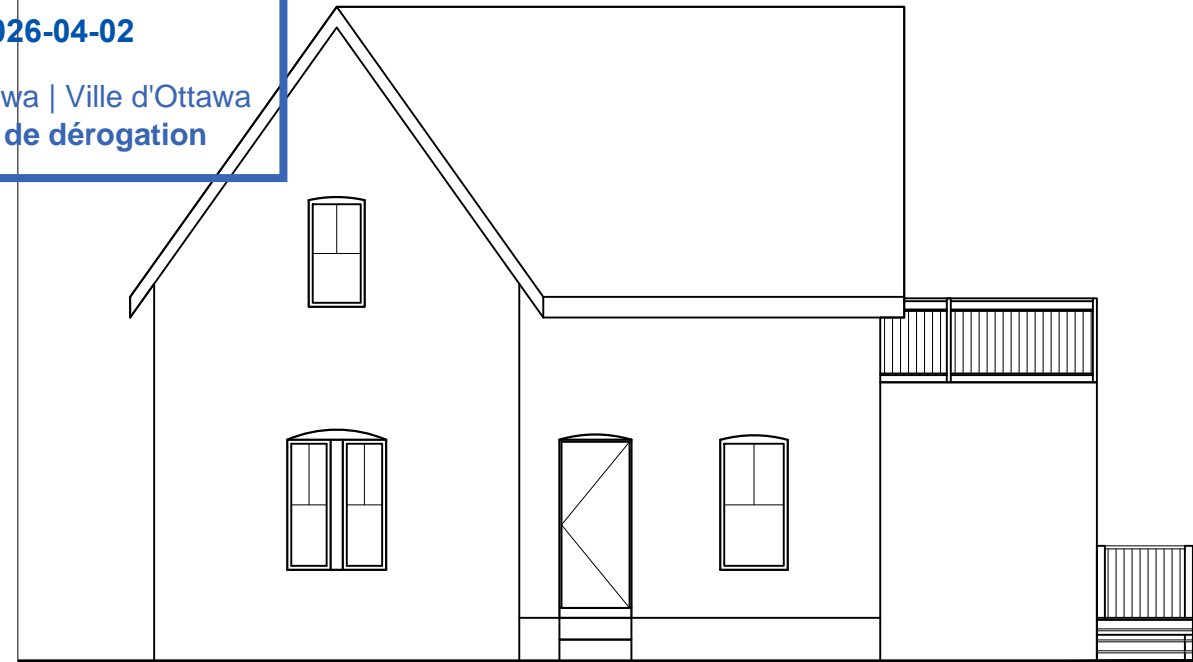
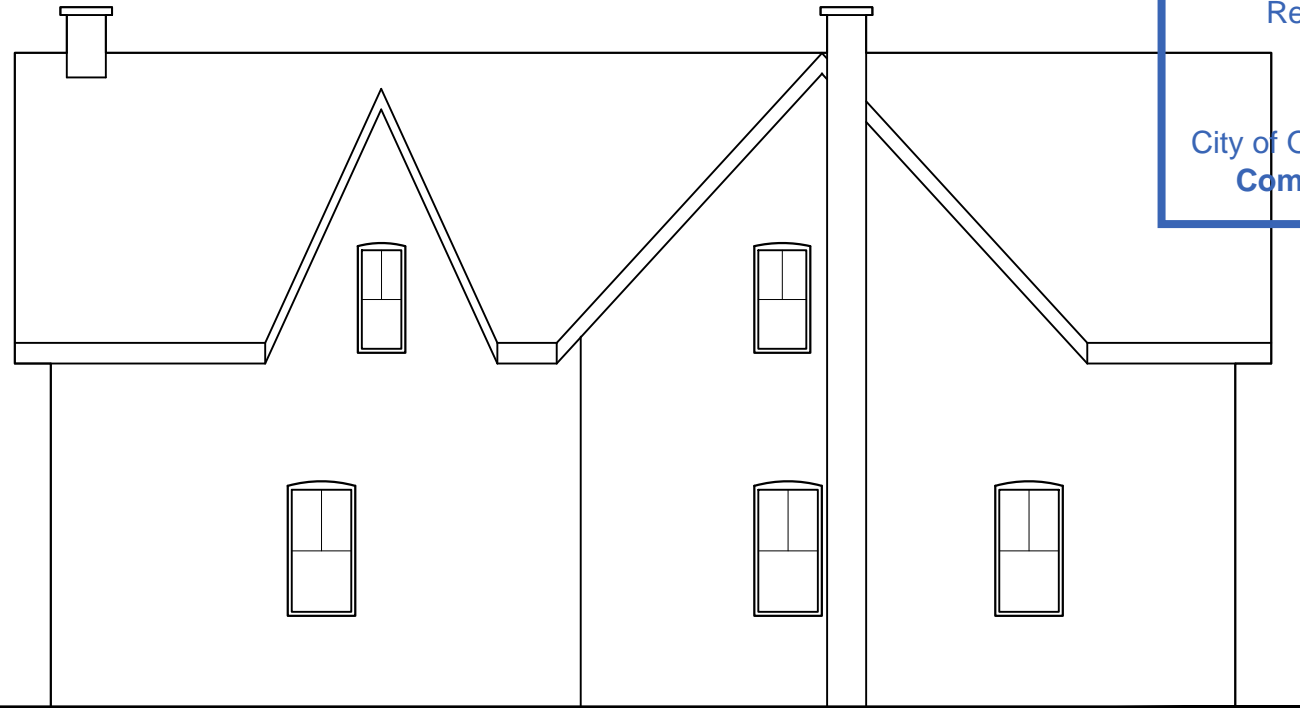
1837 Maple Grove,
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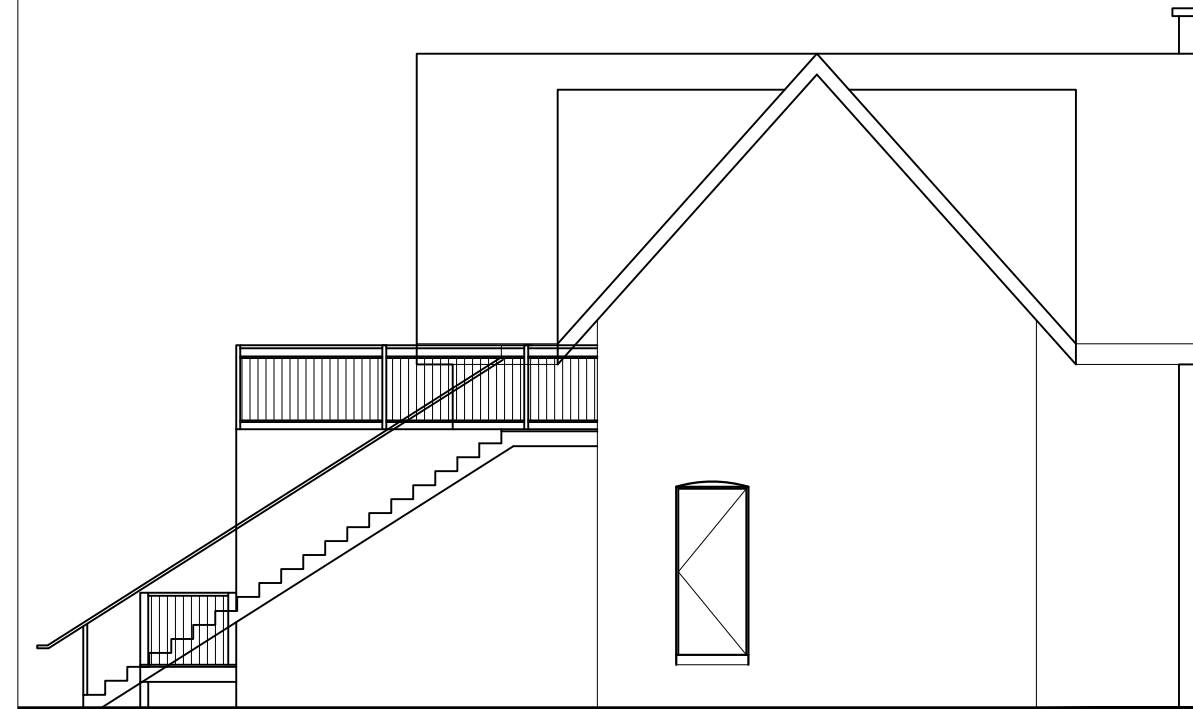
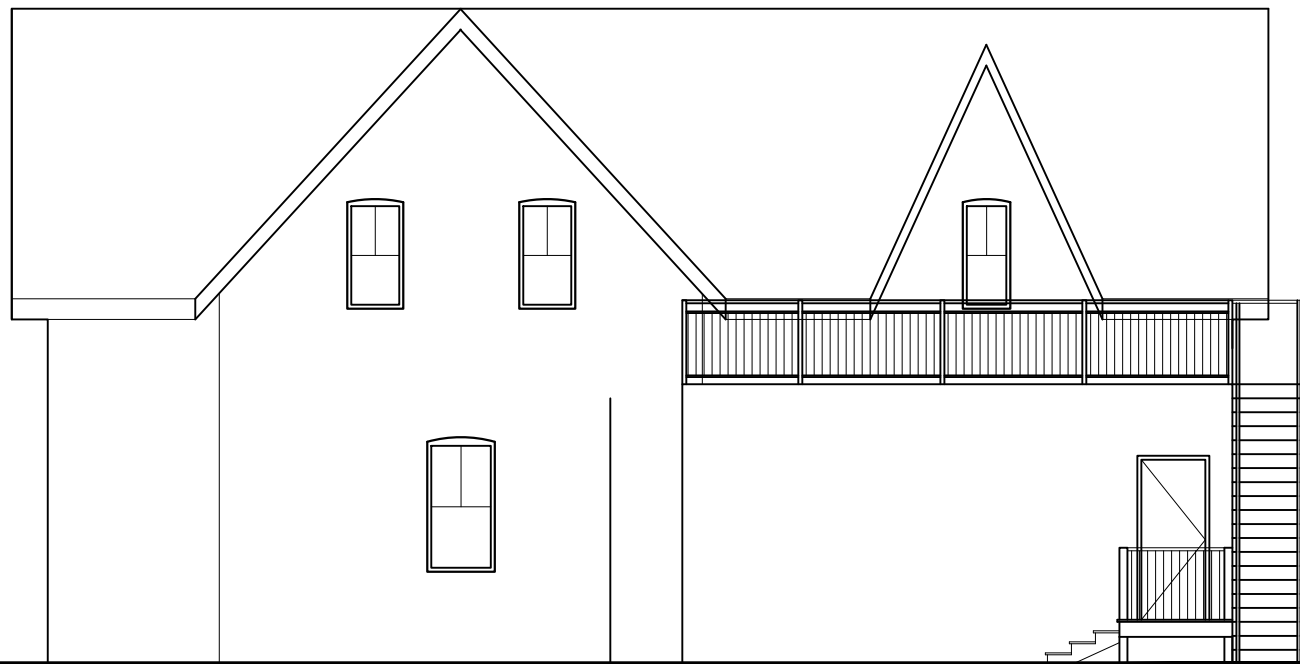
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2026-04-02
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Comité de dérogation



01 WEST ELEVATION
A-300 1/8" = 1'-0"

02 SOUTH ELEVATION
A-300 1/8" = 1'-0"



03 EAST ELEVATION
A-300 1/8" = 1'-0"

04 NORTH ELEVATION
A-300 1/8" = 1'-0"

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Drawing Title:
ELEVATIONS

Reviewed By:

Project Start Date:
JULY, 2025

Scale:
AS INDICATED

Drawn By:
SC

Job No.:
2540

Sheet No.:
A-300
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Drawing Title:

SECTION 1

Reviewed By:

Project Start Date:
JULY, 2025

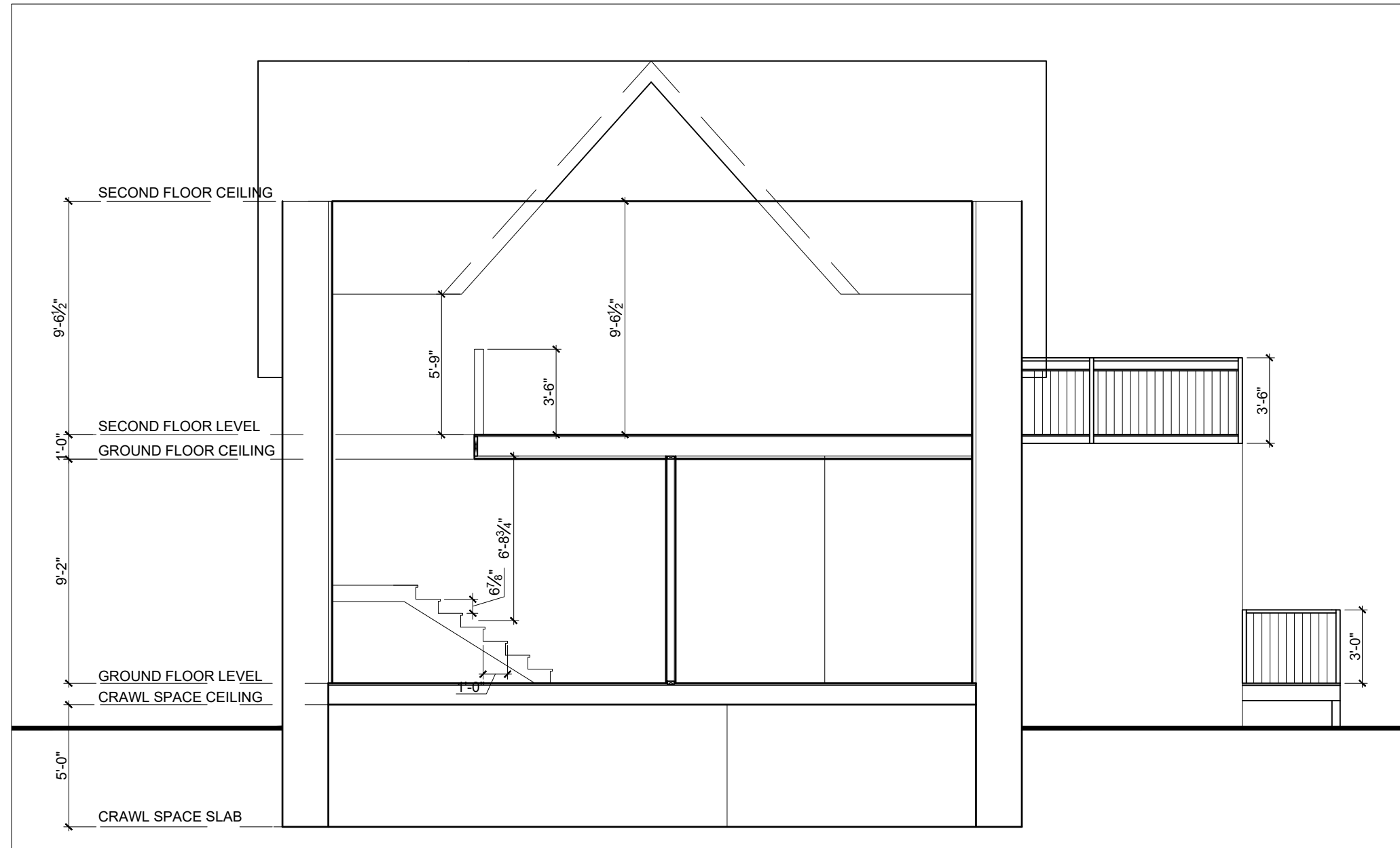
Scale:
AS INDICATED

Drawn By:
SC

Job No.:
2540

Sheet No.:

A-401
OF ##



01 SECTION 1
A-401 3/16" = 1'-0"

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2026-04-02
 City of Ottawa | Ville d'Ottawa
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PROPOSED RESTAURANT

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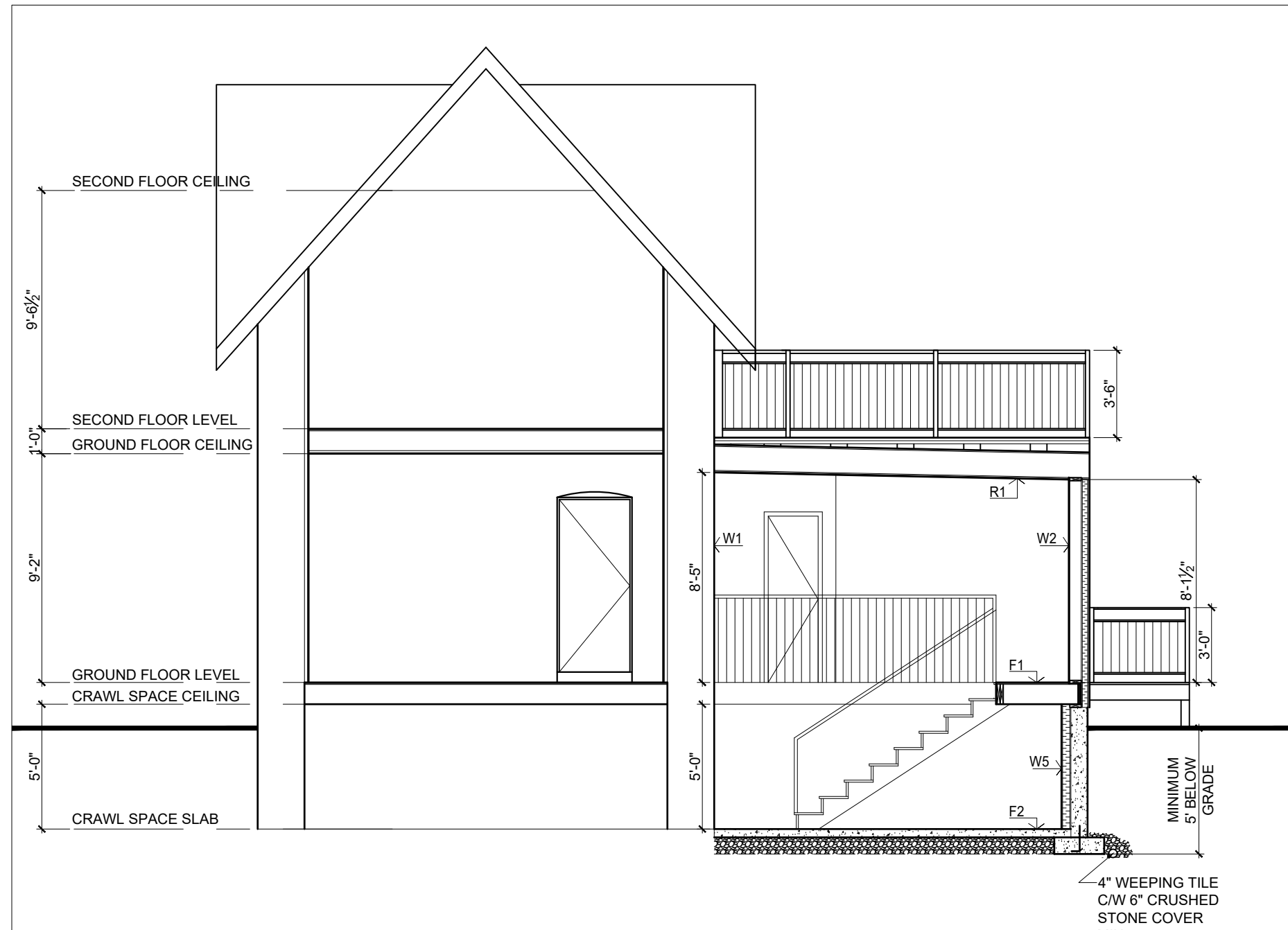
SECTION 2

Reviewed By:	Project Start Date: JULY, 2025
	Scale: AS INDICATED
	Drawn By: SC
	Job No.: 2540

Sheet No.:

A-401

OF ##



01 SECTION 2
 A-402 $\frac{3}{16}'' = 1'-0''$

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Drawing Title:

BASEMENT PLAN

Reviewed By:

Project Start Date:
 JULY, 2025

Scale:
 AS INDICATED

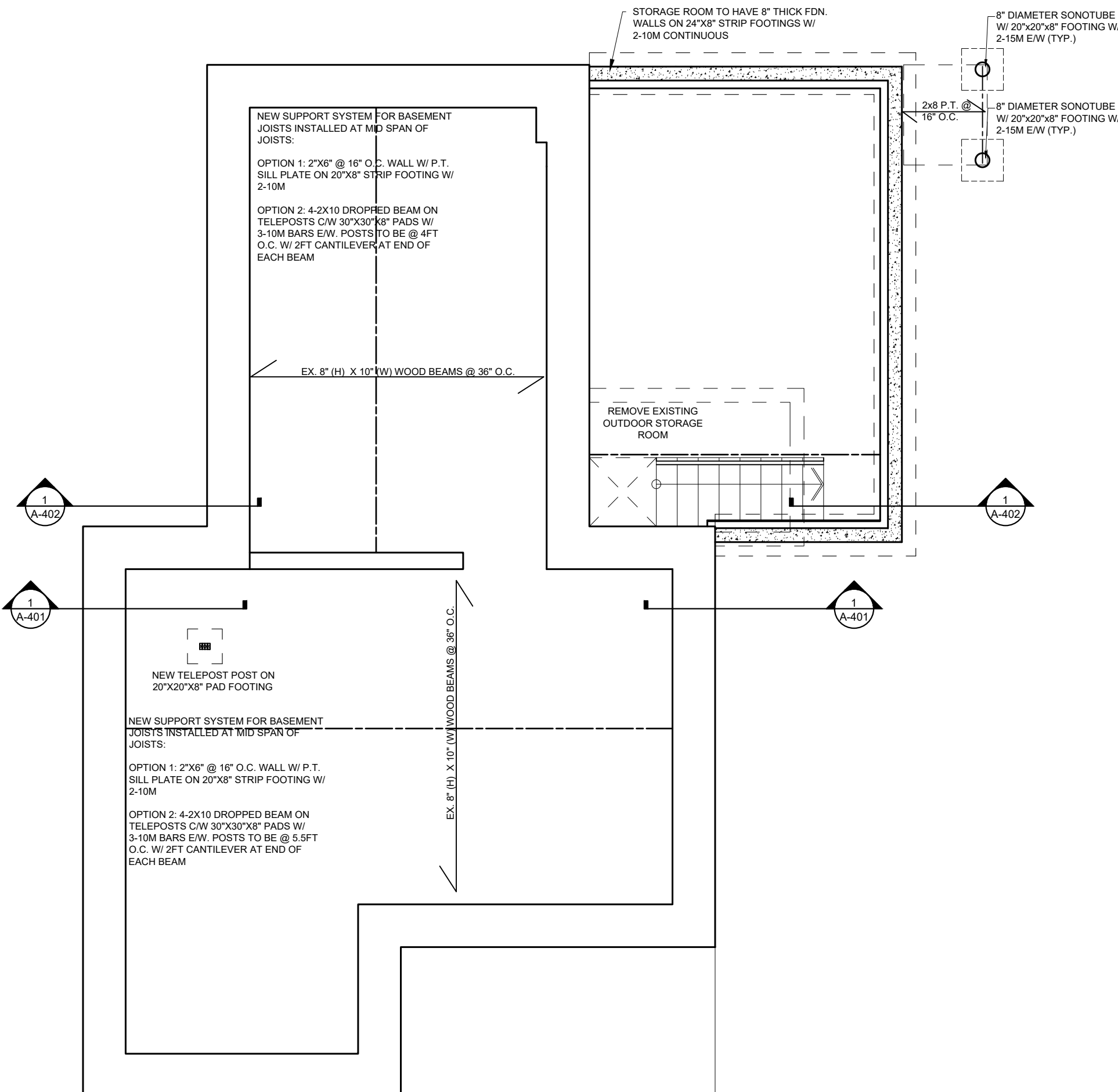
Drawn By:
 SC

Job No.:
 2540

Sheet No.:

S-1

OF ##



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2026-04-02
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- NOTE:
- DO NOT SCALE DRAWINGS.
 - All dimensions are to be checked onsite. ALL errors and omissions and discrepancies or ambiguities on the drawings, specifications and any other contract documents, must be forwarded in writing to the Architect within two (2) days, upon discovery and prior to work on site or ordering materials.
 - All work must comply with Ontario Building Code.
 - All dimensions include thickness of gypsum board on stud walls.
 - Drawings to be read in conjunction with structural drawings.

Drawing Title:

SECOND FLOOR PLAN

Reviewed By:

Project Start Date:
 JULY, 2025

Scale:
 AS INDICATED

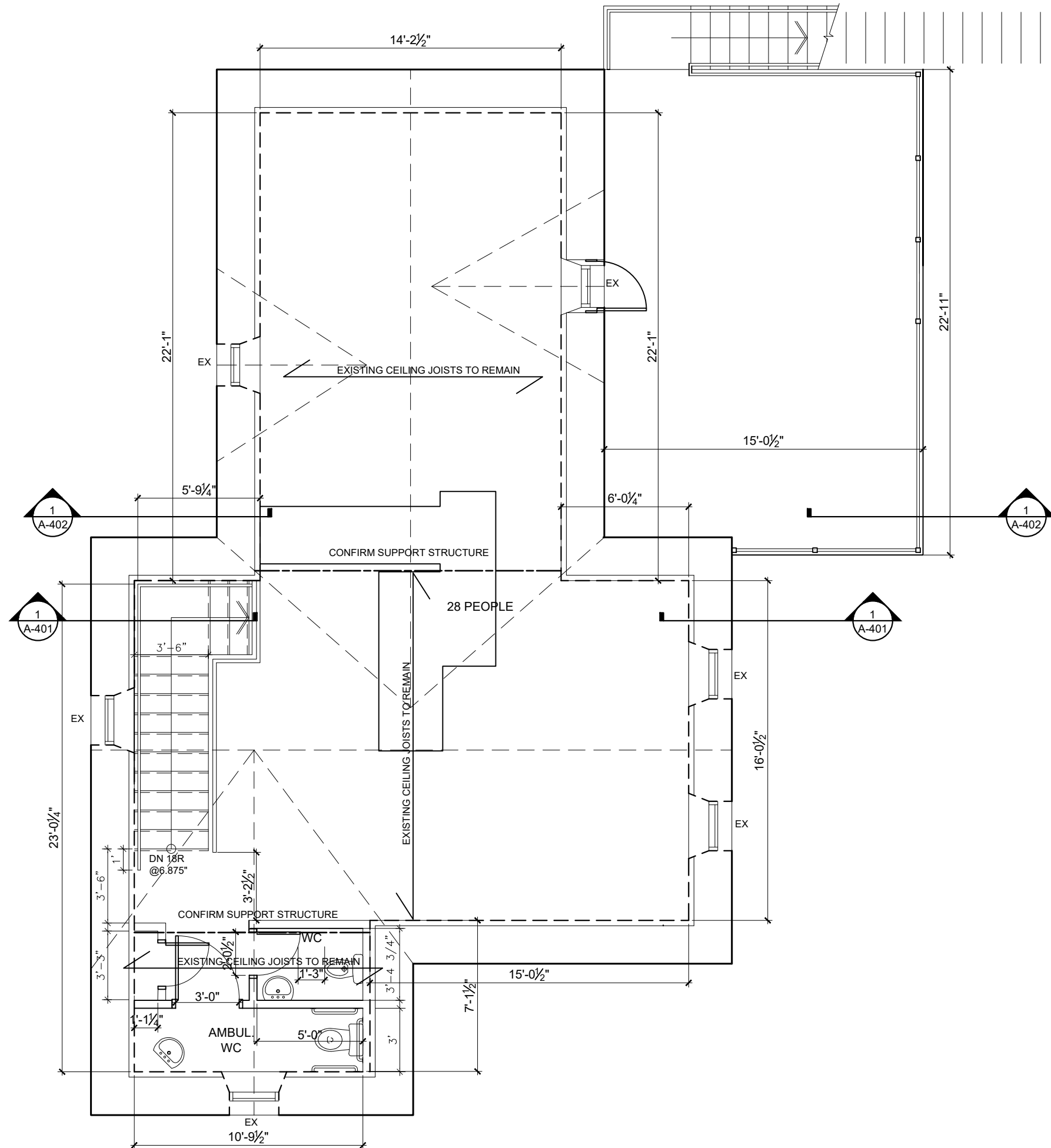
Drawn By:
 SC

Job No.:
 2540

Sheet No.:

S-3

OF ##



01 SECOND FLOOR PLAN
 S-3 3/16" = 1'-0"