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+ design

PLANNING RATIONALE

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Date: March 20, 2026

File: 100725 - 1435 Plumber Avenue

To: Michel Bellemare, Secretary Treasurer
Committee of Adjustment
City of Ottawa, 101 Centrepointe

Committee of Adjustment
Received | Reçu le
2026-04-01

City of Ottawa | Ville d'Ottawa
Comité de dérogation

RE: PROPOSED MINOR VARIANCE APPLICATION FOR 1435 PLUMBER AVENUE

Dear Mr. Bellemare,

Q9 Planning + Design have been retained by Matthew & Celina Baker to prepare a Planning Rationale regarding the requested minor variance to permit a front yard mudroom addition (approximately 7.37 m²) to a detached dwelling. The minor variance is required to permit a reduced front yard setback.

The following represents the Planning Rationale cover letter required as part of the submission requirements for an application to the Committee of Adjustment.

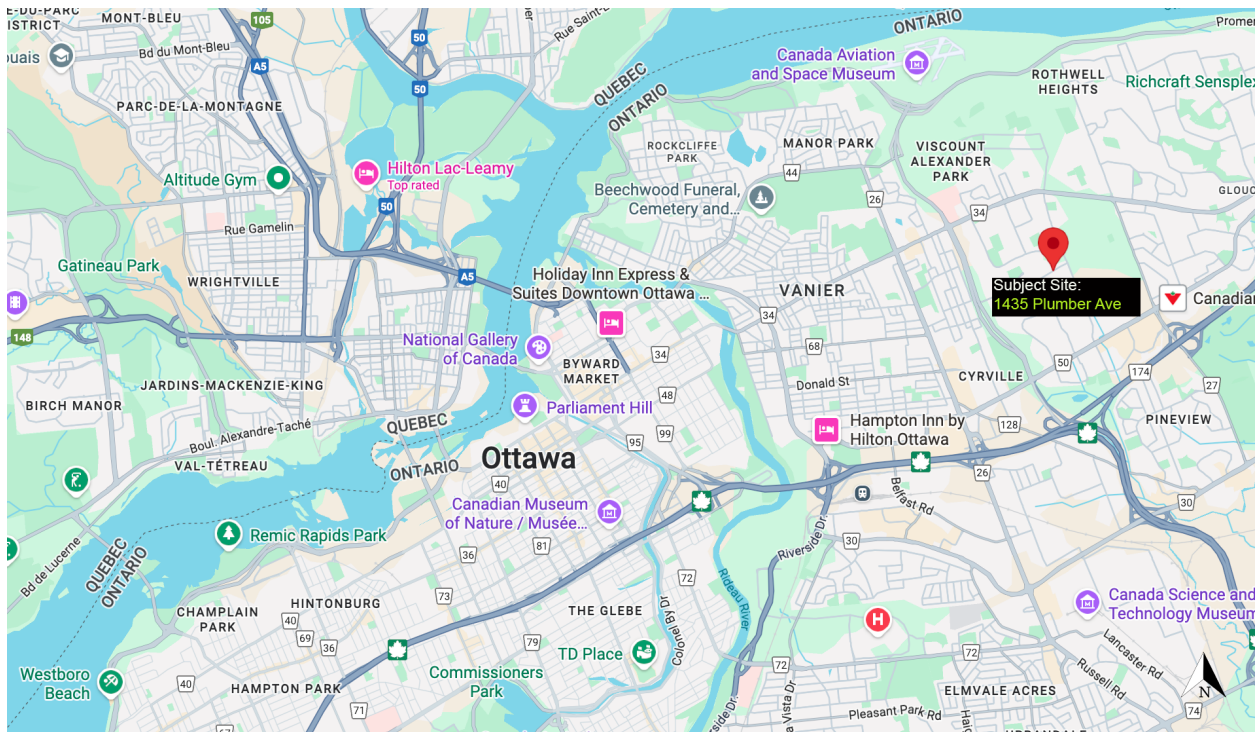


Figure 1: Location Plan (Source: Google Maps)

EXECUTIVE SUMMARY

The subject site is a rectangular lot on the north side of Plumber Avenue in the Carson Grove / Carson Meadows neighbourhood within Ward 13 - Rideau Rockcliffe in the City of Ottawa. The property is roughly symmetrical and aligns with the abutting lots, which are similar in size to the subject site. The subject site contains a 1.5-storey detached dwelling with an attached garage, which is consistent with the 1-2 storey context of the street.

The proposed development is to add a small mudroom addition (7.37 m²) to the front of the property. In order to permit this development, a Minor Variance application is required to permit a reduced front yard setback.

Minor Variance Requested

The requested variances are identified below:

Single Detached Dwelling (1435 Plumber Avenue) **[By-law 2008-250]**

- (a) To permit a front yard setback of 3.98 m, whereas the minimum front yard setback is 6.0 m (S156, Table 156A)

Single Detached Dwelling (1435 Plumber Avenue) **[By-law 2026-050]**

- (b) To permit a front yard setback of 3.98 m, whereas the minimum front yard setback is 6.0 m (S801, Table 801B)

Documents Required and Submitted

The following lists all required and submitted documents in support of the identified Committee of Adjustment applications.

- | | |
|--------------------------------------|--------------------|
| [Survey | [Application Form |
| [Site Plan | [Elevations |
| [Planning Rationale (this document) | |
| [Fee | |

SITE & CONTEXT

Site

The subject site is a rectangular lot on the north side of Plumber Avenue in the Carson Grove / Carson Meadows neighbourhood within Ward 13 - Rideau Rockcliffe in the City of Ottawa. The property is roughly symmetrical and aligns with the abutting lots, which are similar in size to the subject site. The subject site contains a 1.5-storey detached dwelling with an attached garage, which is consistent with the 1-2 storey context of the street. Plumber Avenue and the immediate area is characterized by 1-2 storey detached on large lots, with a mix of architectural styles that demonstrate mainly post-war architectural styles. The surrounding context is mostly residential, with residential uses abutting the property on all sides. The rear property line abuts a large scale educational institution. The following list provides the existing lot dimensions for 1435 Plumber Avenue:

- [Lot frontage: 17.68 metres
- [Lot depth: 30.48 metres
- [Lot area: 538.78 m²



Figure 2: Location Plan with Zoning (Source: GeoOttawa)



Figure 3: Photo of subject site with residential dwelling



Figure 4: Photo of the dwelling units across the street from the subject site. One has a front addition similar to what is proposed.

Context

The subject site is a rectangular lot on the north side of Plumber Avenue in the Carson Grove / Carson Meadows neighbourhood within Ward 13 - Rideau Rockcliffe in the City of Ottawa. This area is characterized by a stable residential context comprised primarily of low-rise dwellings, including detached and semi-detached homes, with a consistent streetscape and mature tree canopy. Plumber Avenue functions as a local residential street with low traffic volumes, serving the surrounding community and contributing to a quiet and pedestrian-friendly environment. The neighbourhood benefits from its proximity to a range of institutional and recreational amenities, including schools, parks, and community facilities, which support a complete and livable community.

Carson Grove / Carson Meadows is well-connected to the broader urban area through nearby arterial and collector roads, as well as access to public transit routes, enhancing mobility for residents. The surrounding area includes a mix of land uses, with residential areas complemented by nearby commercial and employment uses along Montreal Road and other corridors. The neighbourhood has experienced gradual evolution over time, with some infill and redevelopment contributing to a modest increase in density while maintaining the overall character. As such, the subject site is situated within a context that supports sensitive intensification, provided that new development is compatible with the existing built form and respects the established neighbourhood pattern.

The following pages provide maps & images of the subject property and the street:



Figure 5: Looking east down Plumber Avenue towards Bathgate Drive



Figure 6: Looking west down Plumber Avenue



Figure 7: Public Transit Network (Source: OC Transpo)

PROPOSED DEVELOPMENT

The proposed development is to add a small mudroom addition (7.37 m²) to the front of the property. In order to permit this development, a Minor Variance application is required to permit a reduced front yard setback. The existing street tree will remain and will be protected as part of the development.

The development features a 3.98 -metre front yard setback, 2.17-metre and 2.68-metre interior side yard setbacks, and a 14.42-metre rear yard setback. The following pages contain the Site Plan and Elevations.

Existing: Detached dwelling

Proposed: Detached dwelling with 7.37 m² mudroom addition

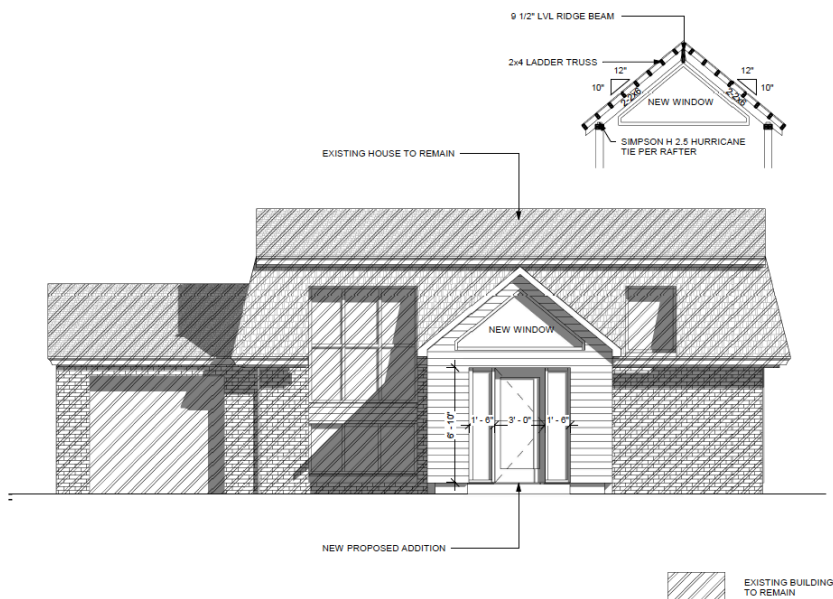


Figure 8: Front Elevation (Source: Redline Architecture)

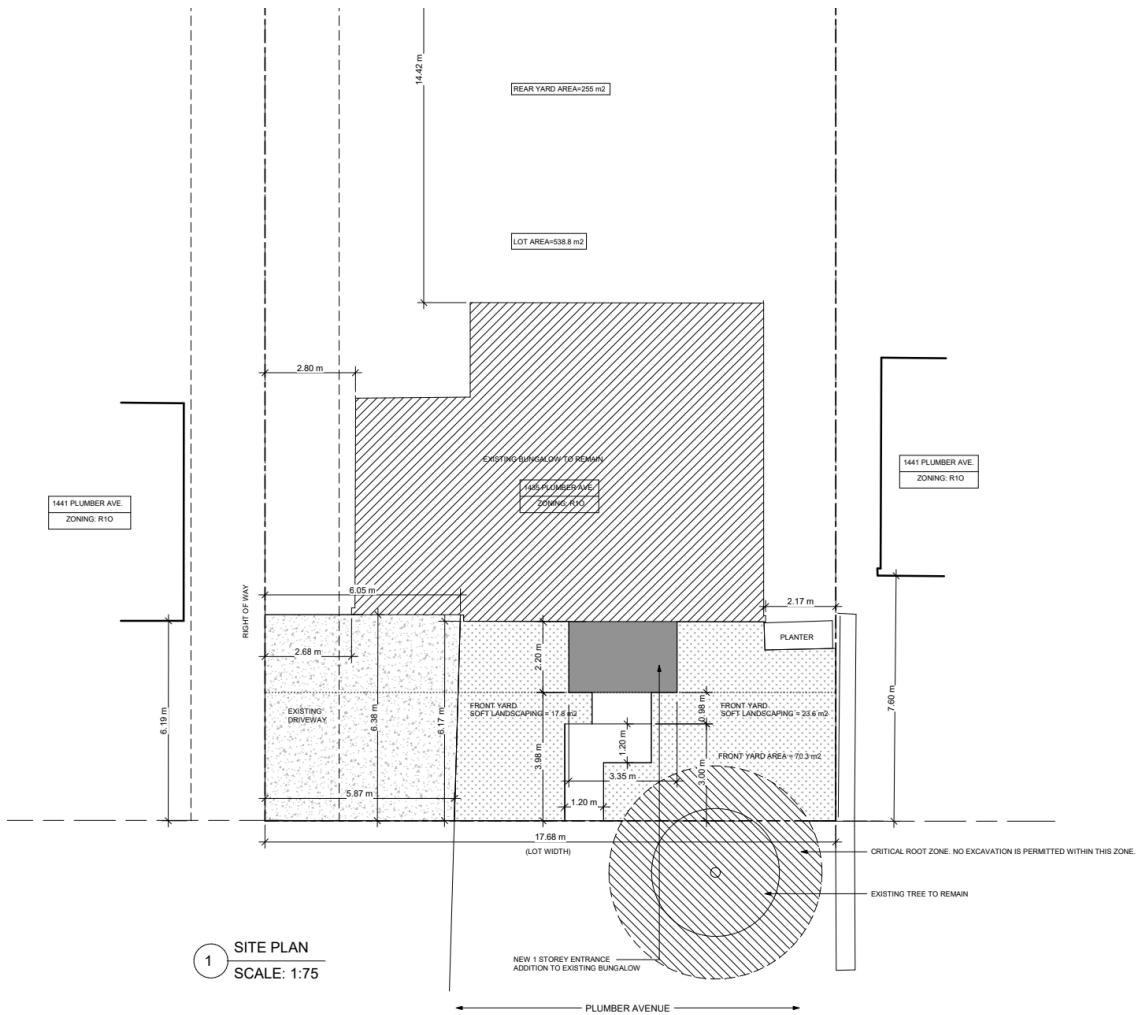


Figure 9: Extract Site Plan, Prepared by Redline Architecture

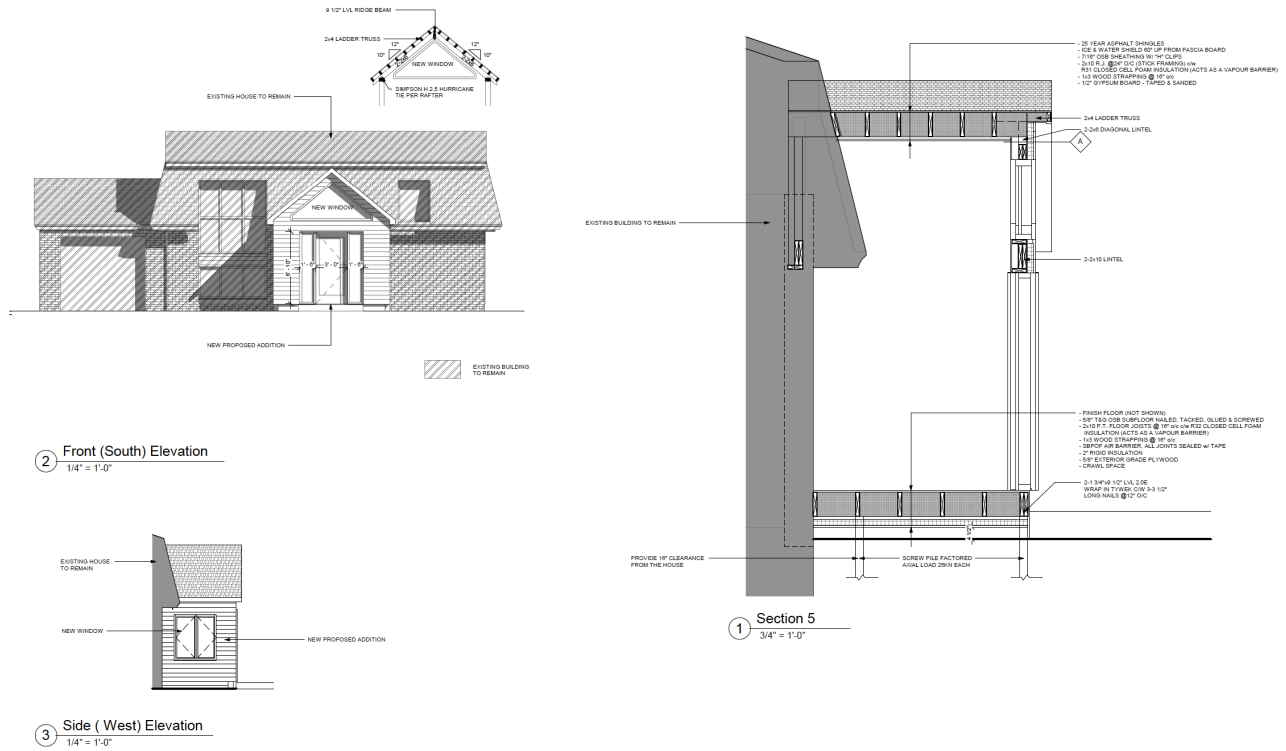


Figure 10: Front Elevation (top left), Side Elevations (bottom left), and Section (Source: Redline Architecture)

POLICY REVIEW

In order to obtain approval of the proposed minor variance application to permit a small front yard addition to an existing detached dwelling, a review of the relevant and applicable policies and provisions is required. These are reviewed and discussed below. Relevant policies will be indicated in *italics*.

Provincial Planning Statement, 2024

In order to obtain approval of the proposed permission application required to construct a new building addition on the subject property, a review of the relevant and applicable policies and provisions is required. These are reviewed and discussed below. Relevant policies will be indicated in *italics*.

The Provincial Planning Statement, 2024 (PPS) came into effect on October 20, 2024, and merges the previous “A Place to Grow: Growth Plan for the Greater Golden Horseshoe” and the “PPS (2020)”. It provides broad policy direction on land use planning and development, emphasizing intensification to reach a target of 1.5 million homes by 2031.

These policies must be integrated with other provincial and municipal plans, including local Official Plans and Secondary Plans, and all planning decisions must be consistent with the PPS. Relevant policies from the PPS are outlined below, with the specific policies provided in *italics*. Section 2.0 provides policies to ensure that planning authorities prepare for long-term growth by using provincial forecasts, maintaining adequate land for residential and other uses, and incorporating any additional growth from zoning orders into future plans. It emphasizes the creation of complete, accessible, and equitable communities through a diverse mix of land uses.

Section 2.1 - Planning for People and Homes

2.1.6 Planning authorities should support the achievement of complete communities by:

- a. accommodating an appropriate range and mix of land uses, housing options, transportation options with multimodal access, employment, public service facilities and other institutional uses (including schools and associated child care facilities, long-term care facilities, places of worship and cemeteries), recreation, parks and open space, and other uses to meet long-term needs;*
- b. improving accessibility for people of all ages and abilities by addressing land use barriers which restrict their full participation in society; and*
- c. improving social equity and overall quality of life for people of all ages, abilities, and incomes, including equity-deserving groups.*

Section 2.2 - Housing

Policy 2.2.1. Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected needs of current and future residents of the regional market area by:

- a. establishing and implementing minimum targets for the provision of housing that is affordable to low and moderate-income households, and coordinating land use planning and planning for housing with Service Managers to address the full range of housing options including affordable housing needs;*

b. permitting and facilitating:

1. all housing options required to meet the social, health, economic and well-being requirements of current and future residents, including additional needs housing and needs arising from demographic changes and employment opportunities; and

2. all types of residential intensification, including the development and redevelopment of underutilized commercial and institutional sites (e.g., shopping malls and plazas) for residential use, development and introduction of new housing options within previously developed areas, and redevelopment, which results in a net increase in residential units in accordance with policy 2.3.1.3;

c. promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation; and

d. requiring transit-supportive development and prioritizing intensification, including potential air rights development, in proximity to transit, including corridors and stations.

Comment | The proposed development results in the construction of a front mudroom addition to a detached dwelling on an existing lot within the urban boundary. The proposed dwelling unit will meet the majority of the zoning regulations (with the exception of front yard setback), but will exceed all the requirements for soft landscaping on the site. The thoughtful design, with minimal environmental impact, will allow for the owners to better utilize an existing dwelling.

Section 2.3 - Settlement Areas and Settlement Area Boundary

Section 2.3 directs growth in Ontario's settlement area, particularly near strategic growth areas and major transit stations. It states that planning authorities shall establish minimum intensification and redevelopment targets to create complete communities within designated growth areas to ensure orderly development and sufficient infrastructure provision.

2.3.1.1. Settlement areas shall be the focus of growth and development. Within settlement areas, growth should be focused in, where applicable, strategic growth areas, including major transit station areas.

2.3.1.2 Land use patterns within settlement areas should be based on densities and a mix of land uses which:

- a. efficiently use land and resources;*
- b. optimize existing and planned infrastructure and public service facilities;*
- c. support active transportation;*
- d. are transit-supportive, as appropriate; and*
- e. are freight-supportive.*

2.3.2.1 States that planning authorities shall consider the following for new settlement areas and boundary expansions:

- a. the need to designate and plan for additional land to accommodate an appropriate range and mix of land uses;*
- b. if there is sufficient capacity in existing or planned infrastructure and public service facilities;*

- c. *whether the applicable lands comprise specialty crop areas;*
- d. *the evaluation of alternative locations which avoid prime agricultural areas and, where avoidance is not possible, consider reasonable alternatives on lower priority agricultural lands in prime agricultural areas;*
- e. *whether the new or expanded settlement area complies with the minimum distance separation formulae;*
- f. *whether impacts on the agricultural system are avoided, or where avoidance is not possible, minimized and mitigated to the extent feasible as determined through an agricultural impact assessment or equivalent analysis, based on provincial guidance; and*
- g. *the new or expanded settlement area provides for the phased progression of urban development.*

Comment | The proposed residential dwelling addition results in a more efficient use of available land, resources, and infrastructure by utilizing an existing, serviced parcel within the urban settlement area. Its location near OC Transpo routes supports transit-supportive commercial development while recognizing the existing neighbourhood conditions and commercial needs of the area.

Section 4.0 of the PPS provides policies aimed at protecting Ontario's natural heritage, water, agricultural, mineral, cultural heritage, and archeological resources in order to preserve the province's long-term prosperity, environmental health, and social wellbeing.

Section 5.0 of the PPS contains policies to protect the health and safety of Ontarians, reducing risk from natural and human-made hazards by directing development away from hazard areas.

Based on our review, it is our professional planning opinion that the proposed development is consistent with the policies of the Provincial Policy Statement (PPS), 2024.

City of Ottawa Official Plan

Designation: *Neighbourhood within the Outer Urban Transect*

The City of Ottawa Official Plan was passed by City Council on November 24th, 2021 and is currently being reviewed by the Ministry of Municipal Affairs and Housing (MMAH). The new Official Plan contains renewed goals, objectives, and policies that will guide growth and future change to the year 2046.

Section 2 provides the overarching strategic directions for the new Official Plan in order to help Ottawa become the most liveable mid-sized City in North America over the next century. It is centred around the Five Big Moves, which call for increased growth through intensification, more sustainable transportation, more context-based urban and community design, environmental, climate, and health resiliency, and planning policies based on economic development.

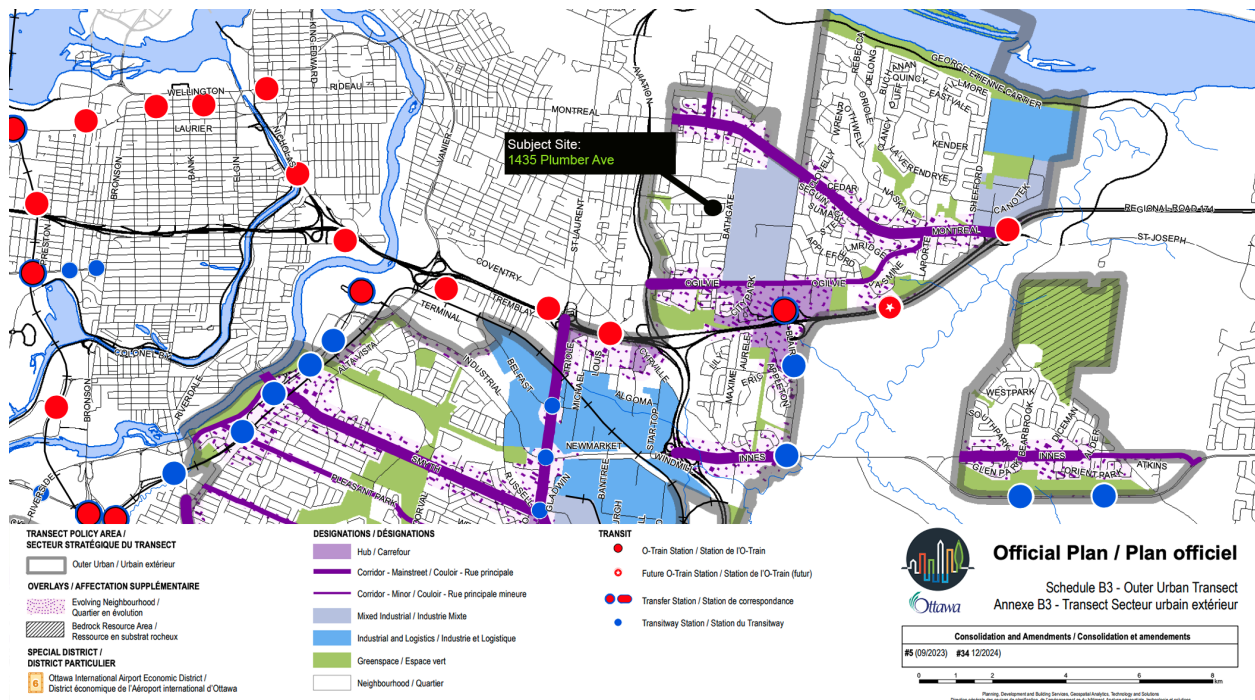


Figure 11: City of Ottawa Official Plan (Source: City of Ottawa)

Comment: The proposed development results in the renovation of an existing home on an existing property within the urban area. It achieves a context-based and compatible design that is appropriately scaled to the neighbourhood and fits within the existing streetscape. The development also accommodates the expanded needs of the current homeowners through redevelopment of an existing property, helping to manage growth through infill development and intensification. The proposal is appropriate based on the surrounding neighbourhood context and its location within a neighbourhood in the Outer Urban Transect, contributing to the achievement of the Five Big Policy Moves.

Section 3 of the Official Plan provides a renewed growth management framework that is intended to accommodate the anticipated future growth of the City. It allocates sufficient land in appropriate areas to accommodate varying types and intensities of growth. Majority of growth in the City will be accommodated in the urban area, with the balance directed to rural areas.

Comment: The subject site is located in the settlement area within an established residential neighbourhood in the Outer Urban Transect Area. The subject site currently contains a single-storey detached dwelling. The proposed development provide a front addition to the existing dwelling. It helps retain a contextual form and dwelling type on the site while supporting growth accommodation and accommodating the owner's needs on an existing lot. This aligns with the planned direction for growth management in urban areas. A larger dwelling supports diversity and life cycle adjustments for growing families and multi-generational families.

Section 4 of the Official Plan provide policies applicable to development throughout the City, including those for more sustainable modes of transportation and the design and

creation of healthy, 15-minute neighbourhoods. It also promotes housing choice to accommodate a variety of needs.

Comment: The proposed development provides an addition to an existing single-detached dwelling within the urban settlement area, contributing to renewal of housing stock and meeting the needs of the current homeowners.

Section 4.6 provides policies aimed at regulating the design of built form and the public realm in a manner that supports 15-minute neighbourhoods. It emphasizes design excellence throughout the City, especially in Design Priority Areas. The subject site is not located within a Design Priority Area.

Comment: The proposed development contributes a well-designed addition to a single-detached home which provides more living space for the current homeowners to better accommodate their needs. It results in a more functional site design that efficiently uses the available space on the lot while providing adequate zoning compliant setbacks and sufficient landscaping. The contextually-appropriate height and the overall scale and massing of the home is compatible with the abutting homes and fits into the streetscape context of surrounding detached dwellings with varied architectural styles. As designed, the home provides a 3.98 m setback from the street ensuring that the provision of landscaping is sufficient and that the urban tree canopy can be supported. Overall, the proposed development contributes an attractive, aesthetically pleasing, and more functional dwelling to the area that maintains the consistency of front yards, while preserving landscaping and the urban tree canopy, which aligns with the urban design policies of the Official Plan.

Section 5 provides more detailed policies for each of the six transect policy areas within the City. The transect policy areas recognize the existing land use and built form context of the city and provides tailored policy direction based on these existing geographies. The subject site is part of the Outer Urban Transect Policy Area. Within the Outer Urban Transect, the site is designated as Neighbourhoods.

Section 5.3.1.2 states that the Outer Urban Transect is generally characterized by low-to mid-density development. Development shall be: a) Low-rise within Neighbourhoods and along Minor Corridors; b) Generally Mid- or High-rise along Mainstreets, except where the lot is too small to provide a suitable transition to abutting low-rise areas, in which case only low-rise development shall be permitted; and c) Mid- or High-rise in Hubs.

Section 6.0 contains policies specific to designations within the urban settlement area.

Section 6.3 contains policies that pertain to the Neighbourhoods designation. Neighbourhoods are considered the heart of communities and are recognized as occurring at different densities and stages of development. The intent of the Official Plan is to reinforce the 15-minute neighbourhood model through support for gradual, integrated, sustainable, and context-sensitive development. Specifically, neighbourhoods are planned for low-rise development up to four storeys, within which a variety of housing types and options are included.

Comment: The proposed detached dwelling represents a contextually-appropriate building addition that aligns with the policy direction for Neighbourhoods in the Outer

Urban Transect. The development contributes to enhancing the existing built form in the neighbourhood, improving the residential use of the property through a building addition that better meets the owner's needs while being compatible in scale with abutting properties.

Based on our review, it is our professional planning opinion that the proposed development conforms with the City of Ottawa Official Plan.

City of Ottawa Zoning By-law

The City of Ottawa zones this site as R1O - Residential First Density Zone, Subzone O, in the City of Ottawa Zoning By-law 2008-250. The intent of the R1 Zone is to permit and regulate low-density, detached dwelling neighbourhoods. The R1 zone implements Official Plan policies for residential areas, ensuring new development is compatible in scale and form with surrounding homes and maintains the predominantly single-detached character of the community. The table below provides an overview of the required provisions for this zone and the proposal's compliance.



Figure 12: Zoning Schedule (Source: GeoOttawa)

| Single Detached Dwelling | | | Section / By-law |
|---|---|--|--|
| R10 | Required | Provided | |
| Minimum Lot Width | 9 m | 17.68 m | S156, Table 156A |
| Minimum Lot Area | 450 m ² | 538.78 m ² | S156, Table 156A |
| Max Building Height | 8.5 m | Existing <8.5 m | S156, Table 156A |
| Minimum Front Yard Setback | 6.0 m | 3.98 m | S156, Table 156A |
| Minimum Rear Yard Setback | 28% of the lot depth (8.53 m) | 14.42 m ² | S156, Table 156A, Footnote 7 Section 144, Table 144B |
| Minimum Rear Yard Area | 25% of lot area (538.8 m ² *0.25 = 134.7 m ²) | 255 m ² | S144(3)(a) |
| Minimum Interior Yard Setback | Total is 2.2 m with no one yard less than 1.0 m | 2.29 m & 2.27 m | S156, Table 156A, Footnote 4 |
| Garage Recession | 0.6 m recessed from front facade | Existing | Section 139(3)(b) |
| Minimum Aggregate Front Yard Soft Landscaped Area | 35% (Front Yard Area = 70.3*0.35=24.60 m ²) | 41.4 m ² = 58.89% | S139, Table 139 |
| Minimum Width of Landscaped Strip | 0.15 m | 0 m, existing | S139(2)(c) |
| Maximum Driveway Width | Individual: 3 m Shared: 3 m | 5.87, existing | S139, Table 139(3) |
| Maximum Walkway Width | 1.2 m | 1.2 m | S139(4)(c)(ii) |
| Location of Walkway | Separated from the driveway by 0.6 m landscape strip | Separated from the driveway by 0.6 m landscape strip | S139(4)(b) |
| Maximum Projection (front porch) | 2 m and no closer than 1 m to lot line | 0.98 m and 3.0 m to lot line | S65(6)(c) |
| Minimum Parking Spaces (Area C) | 1 per dwelling unit | 1 parking space, existing | S101(3)(a) |
| Parking Space Size | Not more than 3.1 m wide, and at least 5.2 m long | 2 parking spaces, existing | S106(1) |

The new Zoning By-law was approved by Ottawa City Council on January 28, 2026 and enacted on March 11, 2026. At this time, all development applications and building permits must comply with the provisions in Zoning By-law 2008-250 and the new Zoning By-law 2026-50, with the most restrictive provisions from both by-laws applying.

Zoning By-law 2026-50:

The subject site is zoned Neighbourhood Zone 2 in the New Zoning By-law

| Single Detached Dwelling | | | Section / By-law |
|--|--|---|------------------------|
| N2D | Required | Provided | |
| Max Number of Dwelling Units | 1.5 per 100 m ² of lot area, maximum 6 | 1 | S801, Table 801A |
| Minimum Lot Width | 15 m | 17.68 m | S801, Table 801B |
| Max Building Height | 11 m and 3 storeys | Existing <11 m | S801, Table 801A |
| Minimum Front Yard Setback | 6 m, or average of the abutting (6.89 m) | 3.98 m | S801, Table 801B |
| Minimum Rear Yard Setback | 28% of the lot depth (8.53 m), not greater than 7.5 m | 14.42 m ² | S801, Table 801B |
| Minimum Rear Yard Area | 25% of lot area (538.8 m ² *0.25 = 134.7 m ²) | 255 m ² | S802(12)(b) |
| Minimum Interior Yard Setback | Total is 3.0 m with no one yard less than 1.2 m | 2.29 m & 2.27 m | S801, Table 801B |
| Minimum Aggregate Front Yard Soft Landscaped Area | 40% (Front Yard Area = 70.3*0.40=28.12 m ²) | 41.4 m ² = 58.89% | Section 802, Table 802 |
| Maximum Walkway Width | 1.2 m | 1.2 m | Section 802(8) |
| Maximum Projection (front porch) | Minimum setback from lot line is 1 m and the max projection is the greater of 2.0 and 50% of the required yard (3.0 m) | 3.0 m from lot line and 0.98 m projection | Section 204(9)(d) |

PLANNING ACT REVIEW

Review of Section 45(1) Minor Variances

The *Planning Act* requires that minor variances are only to be permitted so long as they meet the four tests as set in Section 45(1). These tests are: whether the variance is minor; whether the variance meets the intent and purpose of the Official Plan; whether the variance meets the intent and purpose of the Zoning By-law; and lastly whether variance is suitable and desirable for the use of the land.

Is the variance minor?

The test for a variance to be considered minor is based on whether the variance constitutes a minor change or whether it is too large or too important to be considered minor.

Variance (Front Yard Setback): The requested Minor Variance is to permit a minimum front yard setback of 3.98 m whereas the minimum permitted front yard setback is 6.0 m. The decreased front yard setback is to accommodate a front yard mudroom addition which is similar to many of the houses within the existing context. The addition will only comprise the portion of the front yard around the entrance (approximately 7.37 m²) and will not comprise the entirety of the front yard width. Many of the dwellings on Plumber Avenue have a mudroom addition similar to what is proposed. It can be demonstrated from the provided elevations that the proposed mudroom is of similar scale and design to the existing dwellings within the local context. The building addition will only be 3.35 m wide and therefore only that portion of the building will require relief from the setback. The development also accommodates the expanded needs of the current homeowners through redevelopment of an existing property, helping to manage growth through infill development and intensification. The reduced front yard setback is consistent with the setback of surrounding buildings, therefore, **the proposed variance is considered minor.**

Does the variance meet the intent and purpose of the Official Plan?

The intent and purpose of the Official Plan as it applies to this property is to accommodate a wide range of ground-oriented, low-rise residential dwelling types within Neighbourhoods in order to promote the creation of 15-minute communities. The proposal achieves this intent by providing an addition to an existing low-rise detached dwelling.

The proposed development meets the intent and purposes of the new Official Plan by supporting the following sections of the Official Plan and relevant policies within.

Section 2: Strategic Directions

The proposed development complies with the policies of Section 2.0 - Strategic Directions by supporting intensification within a built-up urban area, support for sustainable transportation.

Section 3: Growth Management Framework

Section 3 of the Official Plan provides a renewed growth management framework that directs various types and intensities of growth to appropriate areas, ensuring that adequate

land is provided to accommodate new growth. The proposed development aligns with the planned direction for growth management in urban areas as a larger dwelling supports large family households, life cycle adjustments for growing families, and multi-generational families.

Section 4: City-Wide Policies

Section 4.6 provides policies aimed at regulating the design of built form and the public realm in a manner that supports 15-minute neighbourhoods. It emphasizes design excellence throughout the City. The proposed development contributes a well-designed single detached dwelling. The proposed materials contribute to quality urban design. Soft landscaping and trees are prioritized.

Section 5: Transect

Section 5 of the Official Plan provides direction for transect areas and identifies that the Outer Urban Context defines areas of transition between the inner city and suburbs, emphasizing enhanced connectivity, mixed-use hubs, and varied housing densities. It focuses on integrating transit-oriented development, supporting 15-minute neighbourhoods, and managing growth in post-war to present-day residential areas.

Section 5.2.4(1)(d) states “Provides an emphasis on regulating the maximum built form envelope that frames the public right of way rather than unit count or lot configuration.” and (e) “in appropriate locations, to support the production of missing middle housing, lower-density typologies may be prohibited.”

Section 6: Urban Designations

Section 6 of the Official Plan sets out the policies for the urban designations, including Neighbourhood. The intent of this designation is to support a range of densities and built form and acknowledges that neighbourhoods are in various stages of transition. The proposed development conforms to the policies of the applicable Neighbourhood designation.

Overall, the proposed development contributes an attractive, aesthetically pleasing, and more functional dwelling to the area that maintains the consistency of all built form setbacks, while preserving landscaping and aligning with the urban design policies of the Official Plan. **The intent and purpose of the Official Plan is met.**

Does the variance meet the intent and purpose of the Zoning By-law?

Variance (Front Yard Setback): The intent of the provision to provide a minimum front yard setback is to ensure that the buildings are consistent with the setback other buildings along the street wall and to ensure there is adequate soft landscaping in the front yard as well as space to park a vehicle in a driveway. Due to the generous lot frontage (17.68 m), the front & rear yards can meet and exceed the soft landscaping requirement even with the building addition. The building addition subject to the variance is only 3.35 m wide. Only the building addition will require relief from the front yard setback. The existing dwelling will remain in place which is in line with other dwelling on the street. The mudroom is similar in size and impact to a porch, which would be reviewed as an building projection. The driveway and the remainder of the existing dwelling will remain as existing. The front street

tree will be protected from excavation. With the exception of the front yard setback, all of the other zoning requirements that pertain to development setbacks and soft landscaping will be exceeded. The addition will only comprise the portion of the front yard around the entrance and will not comprise the entirety of the front yard width. Many of the dwellings in on Plumber Avenue have a mudroom addition similar to what is proposed. **The intent and purpose of the Zoning By-law is met.**

Is the variance suitable for the use of the land?

The proposed development with the requested variance is a suitable and desirable use of land. The proposal allows for a modest mudroom addition to an existing lot in the urban area, allowing for the renovation within the urban boundary which is sited and scaled in a contextually appropriate way, within an existing neighbourhood. The proposal is consistent with the intent and purpose of relevant provincial and municipal policies, including the PPS, the Official Plan, and the Zoning By-law. **The proposed development is desirable for the suitable use and development of the land.**

CONCLUSION

As noted, the proposed development with the requested variance results in a small mudroom addition to the front of the property. In order to permit this development, a Minor Variance application is required to permit a reduced front yard setback.

The proposed development requires a variance to permit a reduced front yard setback.

As demonstrated in this cover letter, the proposed variance is minor in nature, with the development demonstrating good urban design and not adversely impacting the streetscape. The proposal also meets the intent of the Official Plan by contributing an addition to an existing dwelling and meets the intent of the Zoning By-laws. Lastly, the proposed development is demonstrated to be a suitable and desirable use of land.

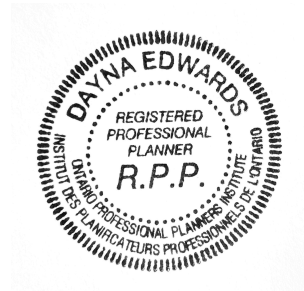
Collectively considered, the development with the requested variance meets the four tests required under Section 45(1) of the *Planning Act*.

It is the opinion of Q9 Planning + Design that the proposed minor variance constitutes good land use planning and meets the required tests and criteria set out in the *Planning Act*.

Yours truly,



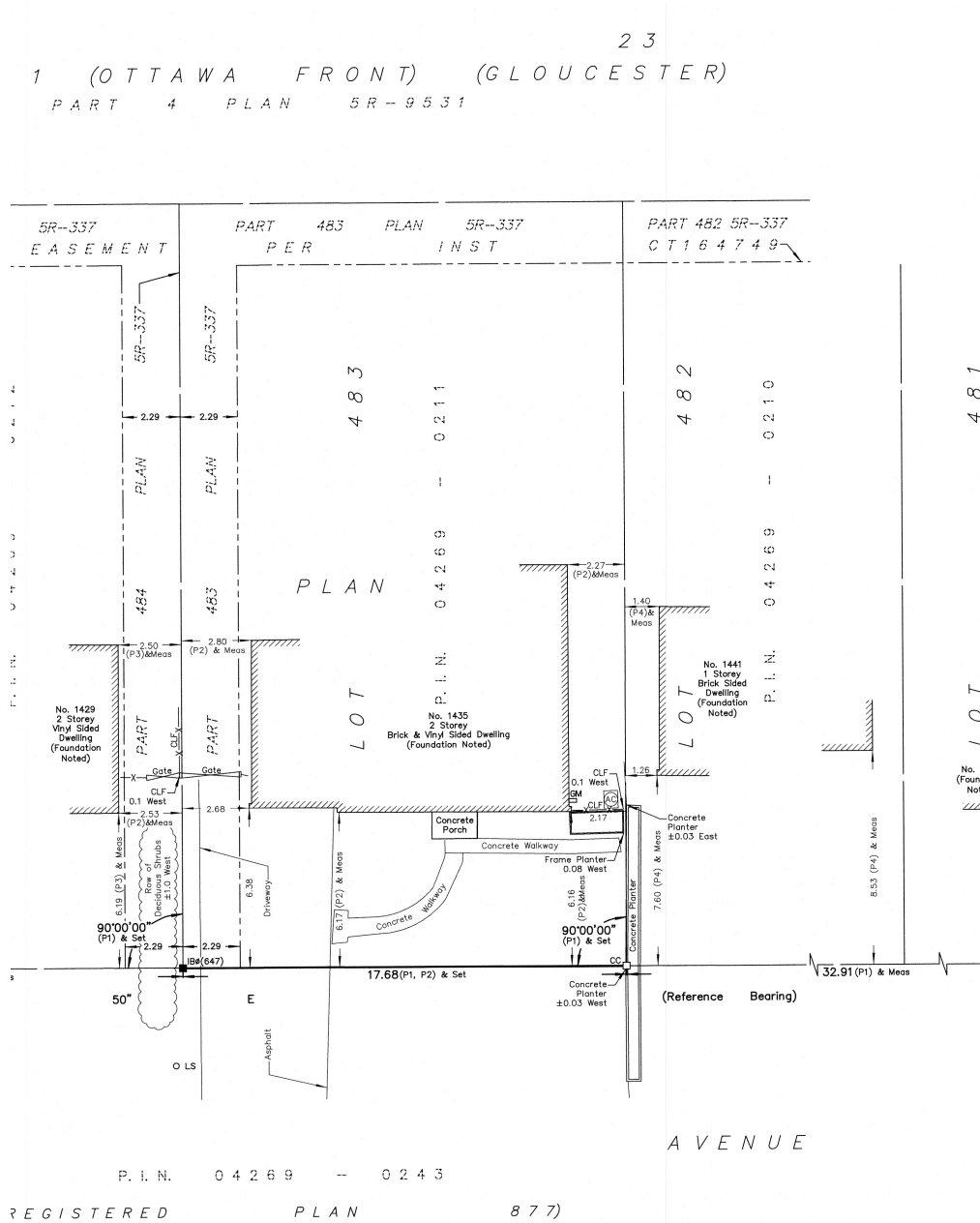
Dayna Edwards, RPP MCIP M.PI
Partner, Senior Planner + Urban Designer



CC: Matthew & Celina Baker

APPENDIX

SURVEY



PRE-CONSULTATION WITH CITY OF OTTAWA STAFF

----- Forwarded message -----

From: **Panel 1 Committee of Adjustment Planners / Urbanistes Groupe 1 du Comité de dérogation** <panel1_planners@ottawa.ca>

Date: Fri, Oct 31, 2025 at 2:09 PM

Subject: RE: PreConsultation for 1435 Plumber Ave

To: Dayna Edwards <dayna@g9planning.com>, Panel 1 Committee of Adjustment Planners / Urbanistes Groupe 1 du Comité de dérogation <panel1_planners@ottawa.ca>

Cc: Red Line Architecture Info <info@redlinearchitecture.ca>, Robert Posch <bobposch.austrian@gmail.com>

Hi Dayna,

Thank you for sending this in. In terms of comments, I generally don't anticipate raising concerns. The subject site is within Schedule 342, so the alternative setbacks would apply. If a survey shows that the front yard setbacks of the adjacent lots are closer than the 6m required in the subzone, you could refer to the average of the abutting lots rather than the 6m. However, it does appear that the setbacks of the adjacent lots are further than the 6m, so it may not be relevant in this case.

If you would like to confirm the required variances you are able to apply for building permit first, which will then allow a full zoning review to be completed. The downside with that approach is that there is a chance that if the minor variance didn't get approved, you'd have to change your design to comply with the zoning by-law. This is a very common approach and often allows applicants to avoid adjournments for missing variances or multiple minor variance applications. Planning staff comment on the proposed variances, it is ultimately up to the applicant to identify the correct variances. That being said, if I notice any additional variances during my review, I would let you know.

Submission Requirements

1. Completed application form(s)
2. Cover letter or brief report describing the proposal, 4 tests for a minor variance etc.
3. Up to date survey of the property – signed by an Ontario Land Surveyor
4. Site Plan
5. Tree Information Report – prepared by an arborist showing location and quality of existing trees
6. Elevation Drawings
7. Authorization form – signed by all Registered Owners
8. Streetscape Character Analysis—if applicable

The application forms also include a full list of submission requirements and additional info:

[Apply for a minor variance / permission | City of Ottawa](#)

- Minor Variance: https://app06.ottawa.ca/online_services/forms/ds/minor_variance_en.pdf

BUILDING PERMIT LETTER



Application No: CON-2025-018515

December 23, 2025

Attention: Levent Tatar

To whom it may concern:

Re: Building Application for 1435 PLUMBER AVE, Ottawa, ON

The following comments are the results of a review of documents received to date for the referenced permit application at the subject address.

Deficiencies

Resolved Date

Zoning

- 1 The proposed scope of work is an addition in the front yard. The minimum required front yard setback is 5.4m. The proposed front yard setback of the addition is 3.98m.

Please revise the plans to meet 5.4m or a Minor Variance will be required.

To ensure a timely review of your re-submission, please provide responses to all outstanding items at the same time. If you have any questions with respect to the foregoing matters, please contact the undersigned.

Aly Mann
Zoning Plan Examiner

Permit Approvals, Building Code Services
City of Ottawa, Ben Franklin Place
tel.: 613-580-2424, ext. 41477